DUNELAND SCHOOL CORPORATION

2020 NURSE'S OFFICE RENOVATIONS AT: BAILLY ELEMENTARY SCHOOL

800 S. 5TH STREET, CHESTERTON, INDIANA 46304

TRIA PROJECT#: 20-006

GENERAL BUILDING CODE REQUIREMENTS

BUILDING CODES REFERENCED:
2012 INTERNATIONAL BUILDING CODE WITH 2014 INDIANA AMENDMENTS

2006 INTERNATIONAL PLUMBING CODE 2ND EDITION AMENDED INDIANA 2012

2008 NATIONAL ELECTRICAL CODE WITH 2009 INDIANA AMENDMENTS

2012 INTERNATIONAL MECHANICAL CODE WITH 2014 INDIANA AMENDMENTS

INDIANA ENERGY CONSERVATION CODE 2010

2012 INTERNATIONAL FIRE CODE WITH 2014 INDIANA AMENDMENTS

2012 INTERNATIONAL FUEL GAS CODE 2ND EDITION WITH 2014 INDIANA AMENDMENTS

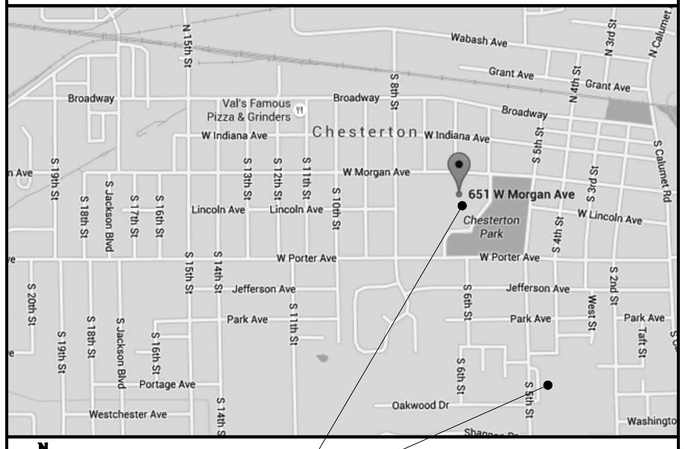
OCCUPANCY CLASSIFICATION:
EDUCATIONAL GROUP E

DESIGN FIRM REGISTRATION:
THOMAS R. SZURGOT
INDIANA LICENSE NUMBER: *AR10800173

SCHOOL BOARD

BOARD PRESIDENT	BRANDON KROFT
BOARD VICE PRESIDENT	KRISTIN KROEGER
BOARD SECRETARY	RONALD STONE
BOARD MEMBER	JOHN MARSHALL
BOARD MEMBER	ALAYNA LIGHTFOOT POL
SUPERINTENDENT	DR. CHIP PETTIT

SITE LOCATION MAP



DRAWING INDEX

ARCHITECT:

TRIA ARCHITECTURE, INC.

West Suburban Office: 901 McClintock Drive, Suite 100
Burr Ridge, Illinois 60527

South Suburban Office: 1820 Ridge Road, Suite 209
Homewood, Illinois 60430

Indiana Office: 436 Sand Creek Drive N, Suite 105
Chesterton, Indiana 46304

Company Main: 630.455.4500 Fax: 630.455.4040
www.TriaArchitecture.com

M.E.P. CONSULTANT:

OAS, LLC.

769 Heartland Dr., Unit A
Sugar Grove, Illinois 60554
Phone: 630.538.1996
www.oasllc.net

AS-BUILT
PROJECT MANAGER APPROVAL
Larson-Danielson Construction Company, Inc.
219-362-2127 www.ldconstruction.com

ISSUED FOR PROPOSAL:

APRIL 07, 2020

April 17, 2020 — VIA EMAIL
To: Prospective Bidders
Re: Dunelend School Corporation
2020 Nurses Room Renovation at: Bailly Elementary School
Architect's Project Number: 20-006
Addendum #1

April 20, 2020 — VIA EMAIL
To: Prospective Bidders
Re: Dunelend School Corporation
2020 Nurses Room Renovation at: Bailly Elementary School
Architect's Project Number: 20-006
Addendum #2

THOMAS R. SZURGOT REGISTERED AR10800173 STATE OF INDIANA ARCHITECT
EXPIRES 12/01/2021

TRIA ARCHITECTURE

REVISIONS:
1
2
3
4
5

T1.00

ARCHITECTURAL SYMBOLS AND ABBREVIATIONS

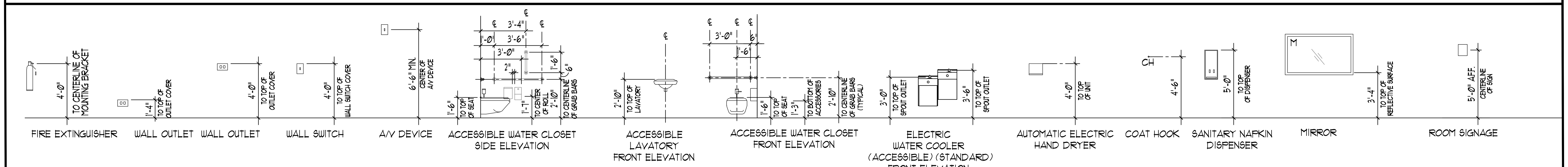
Symbols

Symbol	Description
??? | ??? EXIT ?	SAFETY REFERENCE ROOM INFORMATION TAG
EXIT ? ??? | ???	SAFETY REFERENCE EXIT INFORMATION TAG
100'	SAFETY REFERENCE EGRESS PATH
	BREAK LINE
X	WINDOW TAG
X	DOOR TAG
N	NORTH ARROW
X AXXX	SECTION TAG
X AXXX	ELEVATION TAG
X TITLE 1'-0" = 1'-0"	DETAIL TAG / DRAWING TITLE
XX	WALL TYPE TAG
X	COLUMN LINE TAG
T/ X (+) 0'-0"	ELEVATION TAG (HEIGHT)
X	REMODELING NOTE TAG
X	DEMOLITION NOTE TAG
X	ROOF INSULATION TAGS
X X X	ROOM NAME TAG
	2'x4' RECESSED FLUORESCENT FIXTURE
	RECESSED DOWNLIGHT
	HVAC SUPPLY
	HVAC RETURN
	S.A.T. CEILING
	PLASTER OR GYP. BD.

Abbreviations

AP	ACOUSTICAL PANEL
BCS	BABY CHANGING STATION
CH	COAT HOOK
CT	CERAMIC TILE
CMU	CONCRETE MASONRY UNIT
CP	CONDENSATE PIPE
CPT	CARPET
CRT	CONCRETE
CU	CONDENSING UNIT
DF	DRINKING FOUNTAIN
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EP	ELECTRICAL PENETRATION
EQ.	EQUAL
ETR	EXISTING TO REMAIN
EWC	ELECTRIC WATER CHILLER
EX	EXISTING
EXP	EXPOSED
FD	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
FP	FIRE PROTECTION
GB	GRAB BAR
GL	GLAZING
GP	GAS PIPING
GYP.	GYPSUM BOARD
HC	HANDICAPPED ACCESSIBLE
HM	HOLLOW METAL
LAV	LAVATORY
M.E.	MATCH EXISTING
M	MIRROR
MO	MASONRY OPENING
MTL	METAL
MUA	MAKE-UP AIR
N.I.C.	NOT IN CONTRACT
OH	OPPOSITE HAND
PL	PLASTER
PRT	PORCELAIN TILE
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PTTD	PAPER TOWEL TRASH DISPOSAL
RBR	RUBBER
RBB	RUBBER BASE
RBT	RUBBER TILE FLOORING
RD	ROOF DRAIN
RH	ROOF HATCH
RTU	ROOFTOP UNIT
RST	RUBBER STAIR TREADS AND RISERS
REF	REFRIGERATOR
SAT	SUSPENDED ACOUSTICAL TILE
SD	SOAP DISPENSER
SGT	STRUCTURAL GLAZED TILE
SIM	SIMILAR
SND	SANITARY NAPKIN DISPOSAL
SNP	SANITARY NAPKIN DISPENSER
STL	STEEL
TDU	TRASH DISPOSAL UNIT
TRZ	TERRAZZO
TTD	TOILET TISSUE DISPENSER
TV	TELEVISION
TYP	TYPICAL
UR	URINAL
VCT	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
VP	VENT PIPE
WC	WATER CLOSET
WD	WOOD
WF	WASH FOUNTAIN
WL C	WALL COVERING

TYPICAL MOUNTING HEIGHTS



TRIA ARCHITECTURE

M.E.P./F.P. CONSULTANT:

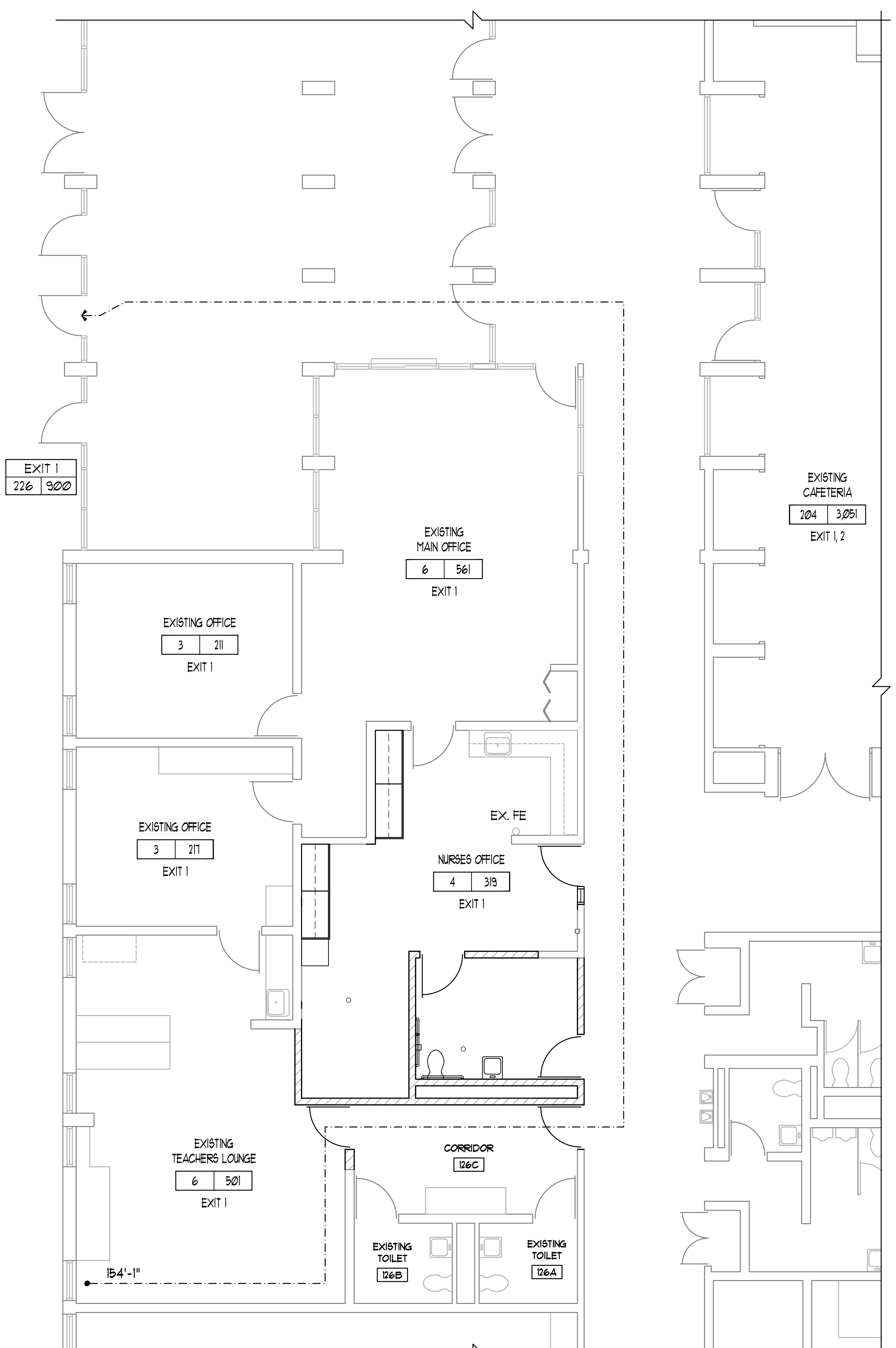
DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: GM
ISSUED FOR PROPOSAL: 04/07/2020
REVISIONS: 1 2 3 4 5

SYMBOLS, ABBREVIATIONS AND TYPICAL MOUNTING HEIGHTS

EXPIRES 12/01/2021

AG0.00



1 PARTIAL SAFETY REFERENCE PLAN
3/16" = 1'-0"

SAFETY REFERENCE LEGEND

Symbol	Description
OCCUPANCY — X | X — AREA (S.F.); EXIT(S) USED — EXIT X	ROOM OCCUPANCY AND EXIT INFORMATION
EXIT NUMBER — EXIT # / OCC. | CAP.; EGRESS CAPACITY USED; MAXIMUM EGRESS CAPACITY	EXIT EGRESS
▬ ▬ ▬	1 HOUR FIRE RATED WALL CONSTRUCTION (EXISTING AND NEW)
▬ ▬ ▬	2 HOUR FIRE RATED WALL CONSTRUCTION
XX' - - - ->	SAFETY REFERENCE EGRESS PATH AND DISTANCE
(XXX)	FIRE RATING OF DOOR ASSEMBLY
K.B.	KNOX BOX LOCATION
EX FEC	EXISTING FIRE EXTINGUISHER CABINET
EX FE	EXISTING FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET RECESSED IN WALL CONSTRUCTION
FE	FIRE EXTINGUISHER

OCCUPANCY

ASSEMBLY: (UNCONCENTRATED)	204 OCCUPANTS
BUSINESS:	22 OCCUPANTS
TOTAL OCCUPANCY:	226 OCCUPANTS

EGRESS

EXIT ACCESS TRAVEL DISTANCE CALCULATED PER TABLE 1017.2 OF THE 2015 INTERNATIONAL BUILDING CODE

ALL EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 250 FEET.

AREA OF WORK

NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE

THOMAS R. SZURGOT
REGISTERED
AR10800173
STATE OF INDIANA
ARCHITECT

EXPIRES 12/01/2021

TRIA ARCHITECTURE

M.E.P./F.P. CONSULTANT:
(P) 630.538.1996
OAS O'Higgins & Arnold Sustainability, LLC
769 HEARTLAND DR., UNIT A SUGAR GROVE, ILLINOIS 60554

DUNELAND SCHOOL CORPORATION

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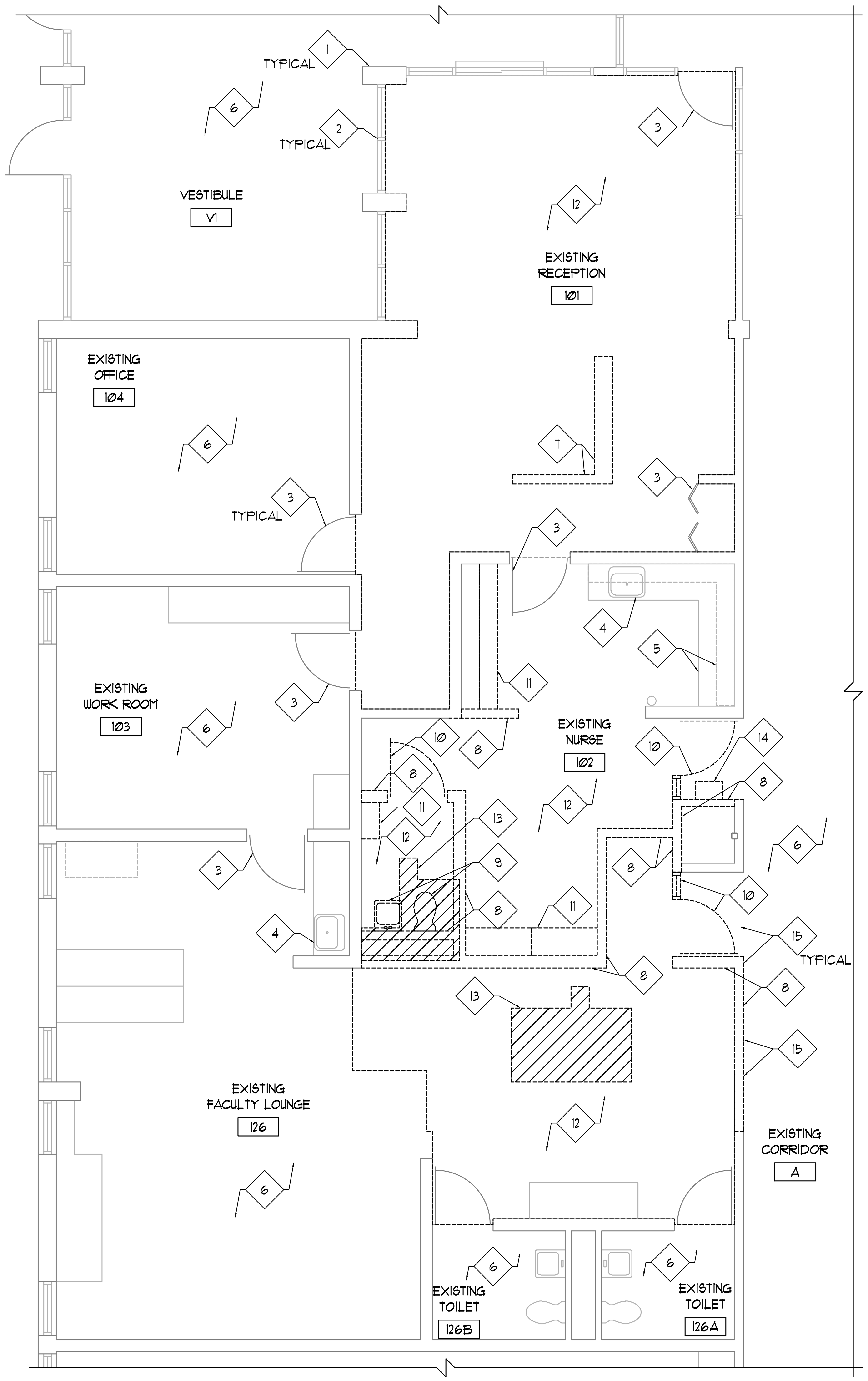
04/07/2020

REVISIONS: 1, 2, 3, 4, 5

PARTIAL SAFETY REFERENCE PLAN

AG2.10



1 PARTIAL EXISTING FLOOR PLAN
1/4" = 1'-0"

LEGEND

----------	EXISTING CONSTRUCTION TO BE REMOVED / DEMO
――――――	EXISTING CONSTRUCTION TO REMAIN
(hatch)	SAW CUT EXISTING CONCRETE FLOOR SLAB TO PROVIDE WORK INDICATED - REFER TO ELECTRICAL, MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS.

FURNITURE / EQUIPMENT RELOCATION NOTES

1. OWNER TO REMOVE AND REINSTALL ALL LOOSE FURNITURE, AND ELECTRONIC EQUIPMENT UNLESS OTHERWISE NOTED - REMOVED ITEMS WILL BE HOUSED ON SITE - CONTRACTOR TO COORDINATE MOVING SCOPE AND STORAGE LOCATIONS WITH OWNER PRIOR TO BEGINNING ANY WORK.
2. 2.OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS OTHERWISE NOTED - OWNER TO REINSTALL - COORDINATE ALL OUTLET AND DATA LOCATIONS WITH OWNER - REFER TO ELECTRICAL PLANS .

EXISTING PLAN GENERAL NOTES

1. REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
2. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
3. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
5. REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
6. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
7. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED
8. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
9. AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
10. REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
11. GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
12. PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
13. ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE PLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
14. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

EXISTING PLAN REFERENCED NOTES (X)

1. EXISTING MASONRY WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
2. EXISTING STOREFRONT FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
3. EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
4. EXISTING PLUMBING FIXTURE TO REMAIN - PROTECT DURING CONSTRUCTION.
5. EXISTING CASEWORK TO REMAIN - PROTECT DURING CONSTRUCTION.
6. EXISTING FLOOR FINISH TO REMAIN - PROTECT DURING CONSTRUCTION.
7. EXISTING HALF-HEIGHT WALL TO BE REMOVED IN ITS ENTIRETY.
8. EXISTING MASONRY WALL CONSTRUCTION TO BE REMOVED IN ITS ENTIRETY.
9. EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY - REFER TO PLUMBING DRAWINGS.
10. EXISTING DOOR AND FRAME SYSTEM TO BE REMOVED IN IT ENTIRETY.
11. EXISTING CASEWORK TO BE REMOVED IN ITS ENTIRETY.
12. EXISTING FLOOR FINISH AND ASSOCIATED WALL BASE TO BE REMOVED IN ITS ENTIRETY.
13. SAWCUT EXISTING SLAB AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO PLUMBING DRAWINGS - PROTECT ADJACENT FLOOR FINISH SCHEDULED TO REMAIN DURING CONSTRUCTION - CONTRACTOR TO REPAIR/REPLACE ANY DAMAGE AT NO COST TO OWNER.
14. EXISTING OWNER LIFE SAFETY EQUIPMENT TO BE REMOVED, SALVAGED, AND STORED FOR REINSTALLATION.
15. EXISTING STRUCTURAL BEAMS AND JOISTS MUST BE SHORED DURING CONSTRUCTION.

AREA OF WORK
NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE

THOMAS R. SZURGOT REGISTERED AR10800173 STATE OF INDIANA ARCHITECT
EXPIRES 12/01/2021

TRIA ARCHITECTURE

MEP/FP CONSULTANT: DAS

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

PROJECT NUMBER: 20-006	REVISIONS: 1
PROJECT MANAGER: MG	2
DRAWN BY: GM	3
ISSUED FOR PROPOSAL:	4
04/07/2020	5

PARTIAL EXISTING FLOOR PLAN

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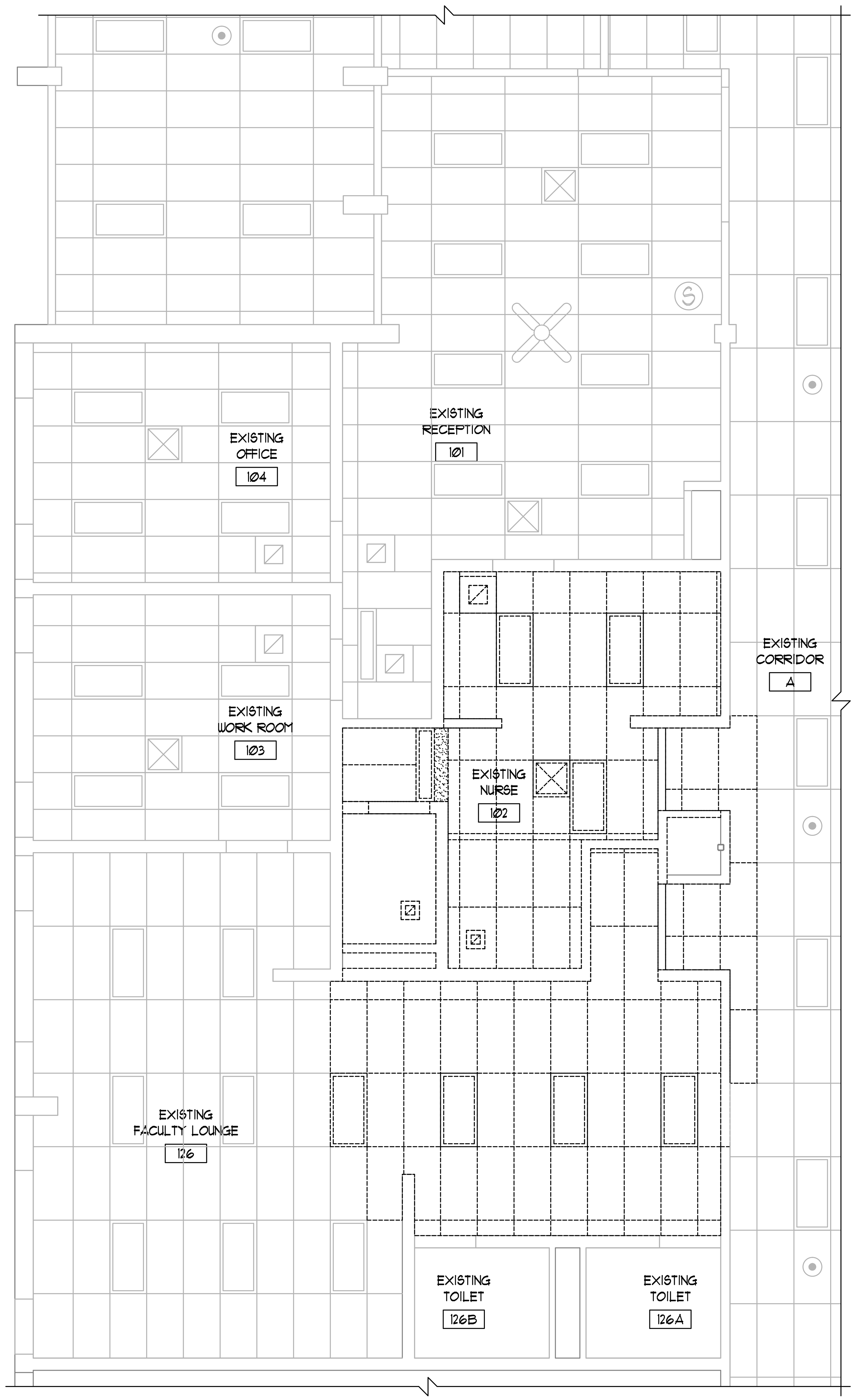

1 PARTIAL EXISTING REFLECTED CEILING PLAN
1/4" = 1'-0"

LEGEND

- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN - PROTECT DURING CONSTRUCTION.
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED IN IT'S ENTIRETY. REMOVE ALL LIGHTS, LOUVERS, AND OTHER DEVICES.
- AREA OF GYPSUM CEILING/SOFFIT/HEADER TO BE REMOVED IN IT'S ENTIRETY - REFER TO DETAILS (UNLESS NOTED OTHERWISE) - REMOVE ALL LIGHTS, LOUVERS, AND OTHER DEVICES
- 2' X 4' RECESSED LIGHT FIXTURE TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- 1' X 4' RECESSED LIGHT FIXTURE TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- 2' X 4' RECESSED LIGHT FIXTURE TO BE REMOVED AND RELOCATED- REFER TO ELECTRICAL DRAWINGS
- 1' X 4' RECESSED LIGHT FIXTURE TO BE REMOVED AND RELOCATED- REFER TO ELECTRICAL DRAWINGS
- MECHANICAL SUPPLY DIFFUSER TO REMAIN - REFER TO MECHANICAL DRAWINGS
- MECHANICAL RETURN/EXHAUST DIFFUSER TO REMAIN - REFER TO MECHANICAL DRAWINGS
- MECHANICAL SUPPLY DIFFUSER TO BE REMOVED - REFER TO MECHANICAL DRAWINGS
- MECHANICAL RETURN/EXHAUST DIFFUSER TO BE REMOVED - REFER TO MECHANICAL DRAWINGS
- SPEAKER TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- EXIT SIGN TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- OCCUPANCY SENSOR TO REMAIN- REFER TO ELECTRICAL DRAWINGS
- SPEAKER TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS
- EXIT SIGN TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS
- OCCUPANCY SENSOR TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS
- EXISTING CONSTRUCTION TO BE REMOVED/DEMO
- EXISTING CONSTRUCTION TO REMAIN

EXISTING REFLECTED CEILING PLAN GENERAL NOTES

1. ALL EXISTING CEILING SYSTEMS, LIGHTS, EQUIPMENT AND CEILING-MOUNTED SPEAKERS TO BE REMOVED IN THEIR ENTIRETY WHERE INDICATED - REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
2. REFER TO SHEETS A1.10A-A1.10B AND MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR SCOPE OF NEW WORK.
3. REFER TO ELECTRICAL PLANS FOR ADDITIONAL CEILING MOUNTED DEVICES AND EQUIPMENT TO BE REMOVED.
4. CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
5. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
6. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM DEMOLITION WORK.
7. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/ REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
8. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
9. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

AREA OF WORK
NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE

TRIA ARCHITECTURE

M.E.P./F.P. CONSULTANT:
OAS

DUNELAND SCHOOL CORPORATION
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PARTIAL EXISTING REFLECTED CEILING PLAN

THOMAS R. SZURGOT REGISTERED AR10800173 STATE OF INDIANA ARCHITECT
EXPIRES 12/01/2021

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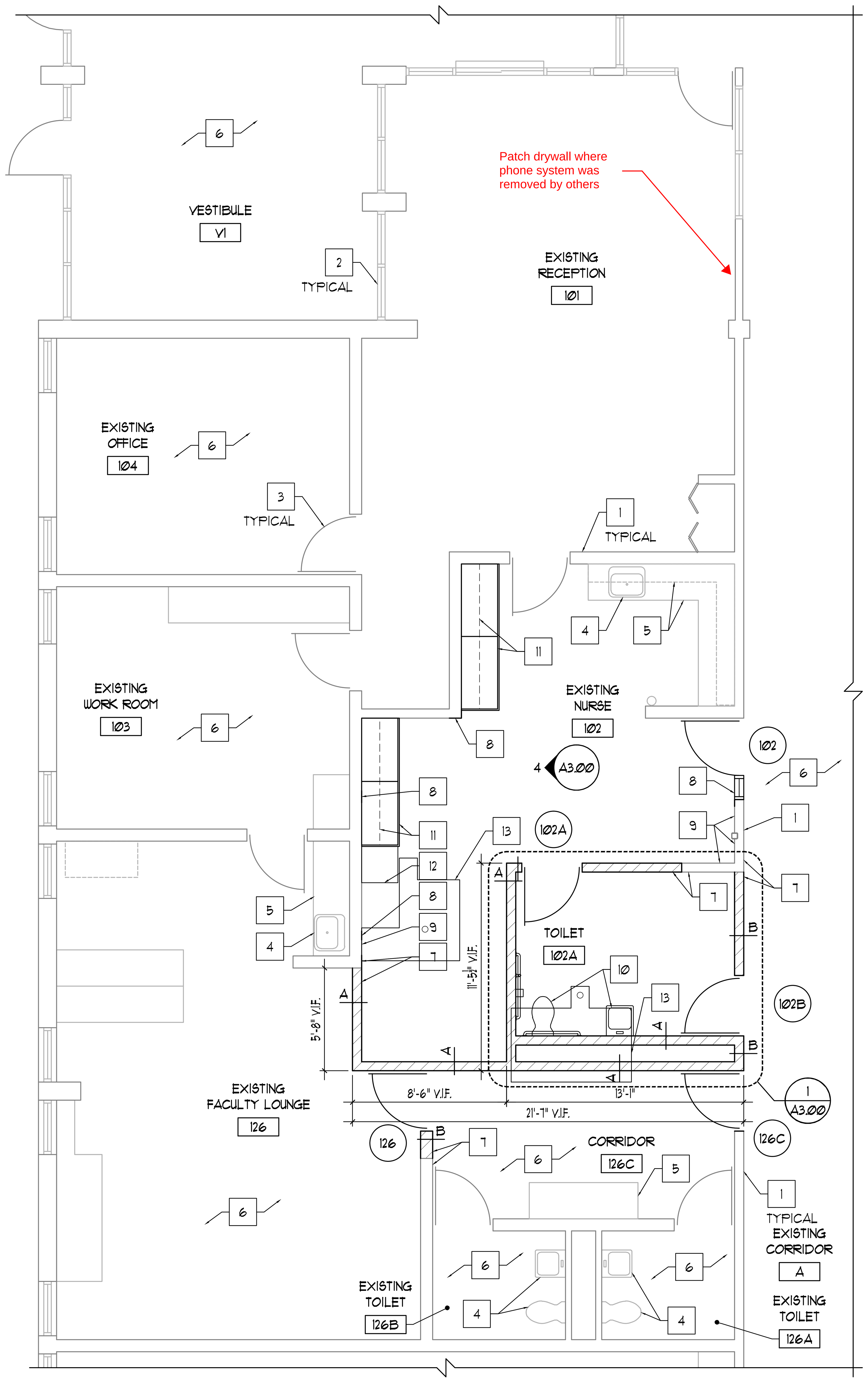


1 PARTIAL FLOOR PLAN
1/4" = 1'-0"

LEGEND

EXISTING CONSTRUCTION TO REMAIN

FURNITURE / EQUIPMENT RELOCATION NOTES

1. OWNER TO REMOVE AND REINSTALL ALL LOOSE FURNITURE, AND ELECTRONIC EQUIPMENT UNLESS OTHERWISE NOTED - REMOVED ITEMS WILL BE HOUSED ON SITE - CONTRACTOR TO COORDINATE MOVING SCOPE AND STORAGE LOCATIONS WITH OWNER PRIOR TO BEGINNING ANY WORK.
2. 2.OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS OTHERWISE NOTED - OWNER TO REINSTALL - COORDINATE ALL OUTLET AND DATA LOCATIONS WITH OWNER - REFER TO ELECTRICAL PLANS.

ROOF GENERAL NOTES

1. ALL INSULATION JOINTS ARE TO BE STAGGERED.
2. ALL GAPS IN INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED WITH INSULATION STRIPS.
3. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
4. ALL COUNTER FLASHING, COPING, AND MISCELLANEOUS METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
5. ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED WITH SEALANT FOLLOWING ARCHITECT'S APPROVAL.
6. APPLY EPDM MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
7. ALL AREAS OF EXISTING SITE USED TO ACCESS AREA OF WORK SHALL BE PROTECTED AND/OR REPAIRED BACK TO ORIGINAL CONDITION PRIOR TO SUBSTANTIAL COMPLETION DATE - AT ALL GRASS AREAS DAMAGED DURING CONSTRUCTION, PROVIDE NEW SOD TO MATCH EXISTING SPECIES.
8. EXTEND ALL PIPE PENETRATIONS AS REQUIRED TO PROVIDE WORK INDICATED.
9. AT ALL ROOF PENETRATIONS TO BE REMOVED - PATCH DECK, FILL OPENING WITH INSULATION TO MATCH EXISTING AND PATCH MEMBRANE PER MANUFACTURER'S REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
10. CONTACT GLUTH BROTHERS ROOFING COMPANY, INC., PHONE 219.844.5536. YOU CAN ALSO CONTACT THE SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COPLEY, PHONE 260.312.0483. TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL CORPORATION.

ROOF CONSTRUCTION NOTES

ROOF AREA #1:
EXISTING ROOF CONSISTS OF METAL DECK, INSULATION AND TREMCO SINGLE PLY ROOF SYSTEM - AT AREAS TO PATCH, MATCH EXISTING ADJACENT CONSTRUCTION - CONTACT GLUTH BROTHERS ROOFING COMPANY, INC., PHONE 219.844.5536. YOU CAN ALSO CONTACT THE SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COPLEY, PHONE 260.312.0483. TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL CORPORATION.

CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: August 6, 2020

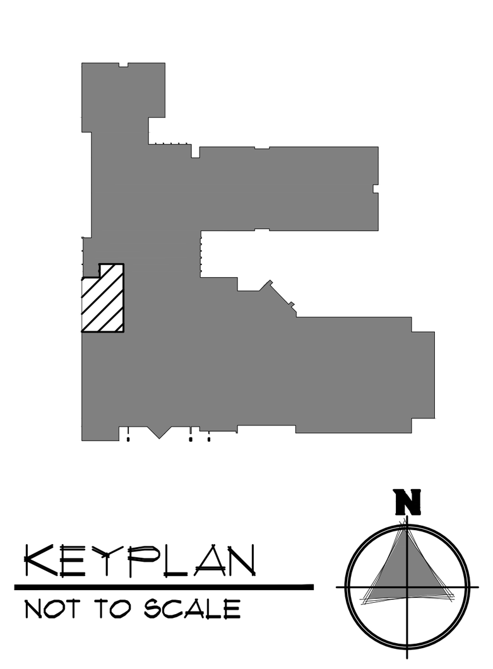
Terrazzo Patching

FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD. DIMENSIONS SHOWN FOR REFERENCE ONLY - GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL LAY OUTS AMONG ALL TRADES AFFECTED - NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION BY ANY TRADE.
2. ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
3. REFER TO PROJECT MANUAL FOR PRODUCTS, MATERIALS, PROCEDURES AND ADDITIONAL INFORMATION NOT COVERED IN DRAWINGS.
4. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
5. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE. TOOTH-IN ALL MASONRY IN WHOLE UNITS.
6. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
7. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
8. PROVIDE LINTELS ABOVE ALL DOORS, PENETRATIONS, LOUVERS, ETC. IN MASONRY WALLS - REFER TO LINTEL SCHEDULE ON STRUCTURAL DRAWINGS - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL LINTEL LOCATIONS REQUIRED DUE TO DUCT PENETRATIONS, ETC.
9. PATCH, PAINT, AND CLEAN EXISTING WALLS, FLOORS, AND CEILINGS AT ITEMS SCHEDULED TO BE REMOVED.
10. REFER TO ROOF, MECHANICAL AND PLUMBING PLANS FOR LOCATIONS OF ROOF PENETRATIONS.
11. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
12. REMOVE EXISTING WALL CONSTRUCTION AS REQUIRED TO INSTALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK - PATCH WALLS AT REMOVED MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT TO BE REMOVED. TOOTH-IN ALL MASONRY
13. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - PATCH CONSTRUCTION AS REQUIRED TO PROVIDE WORK INDICATED.
14. CUT, CORE AND PATCH SLABS (NEW AND EXISTING) AS REQUIRED TO INSTALL PLUMBING, MECHANICAL AND ELECTRICAL WORK.
15. AT ALL NEW WINDOW AND DOOR OPENINGS, TOOTH-IN NEW MASONRY UNITS AT JAMB CONDITIONS IN WHOLE UNITS TO PROVIDE A FINISHED APPEARANCE.

FLOOR PLAN REFERENCED NOTES

1. EXISTING WALL CONSTRUCTION - PROTECT DURING CONSTRUCTION.
2. EXISTING STOREFRONT FRAME AND GLAZING SYSTEM - PROTECT DURING CONSTRUCTION.
3. EXISTING DOOR AND FRAME - PROTECT DURING CONSTRUCTION.
4. EXISTING PLUMBING FIXTURE - PROTECT DURING CONSTRUCTION.
5. EXISTING CASEWORK - PROTECT DURING CONSTRUCTION.
6. EXISTING FLOOR FINISH - PROTECT DURING CONSTRUCTION.
7. ALIGN WALLS.
8. PATCH CONCRETE MASONRY WALL - PROVIDE NEW MASONRY AND TOOTH-IN IN WHOLE UNITS AS REQUIRED TO PROVIDE SMOOTH SURFACE - PAINT
9. TUCKPOINT EXISTING CONCRETE MASONRY WALL WHERE NEWLY EXPOSED - PAINT TO MATCH EXISTING ADJACENT FINISH.
10. PLUMBING EQUIPMENT - REFER TO PLUMBING DRAWINGS.
11. PLASTIC LAMINATE CASEWORK - REFER TO INTERIOR ELEVATIONS.
12. OWNER PROVIDED ELECTRICAL EQUIPMENT - INSTALLED BY OWNER.
13. PATCH EXISTING CONCRETE SLAB - MATCH ADJACENT SLAB IN CONSTRUCTION - PROVIDE 12" #4 DOWELS AT 12" ON CENTER STAGGERED - EMBED DOWELS 6" INTO EXISTING SLAB - WRAP ONE END IN BOND BREAK PAPER.



KEYPLAN
NOT TO SCALE

AREA OF WORK
NOT IN SCOPE OF WORK

TRIA ARCHITECTURE

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

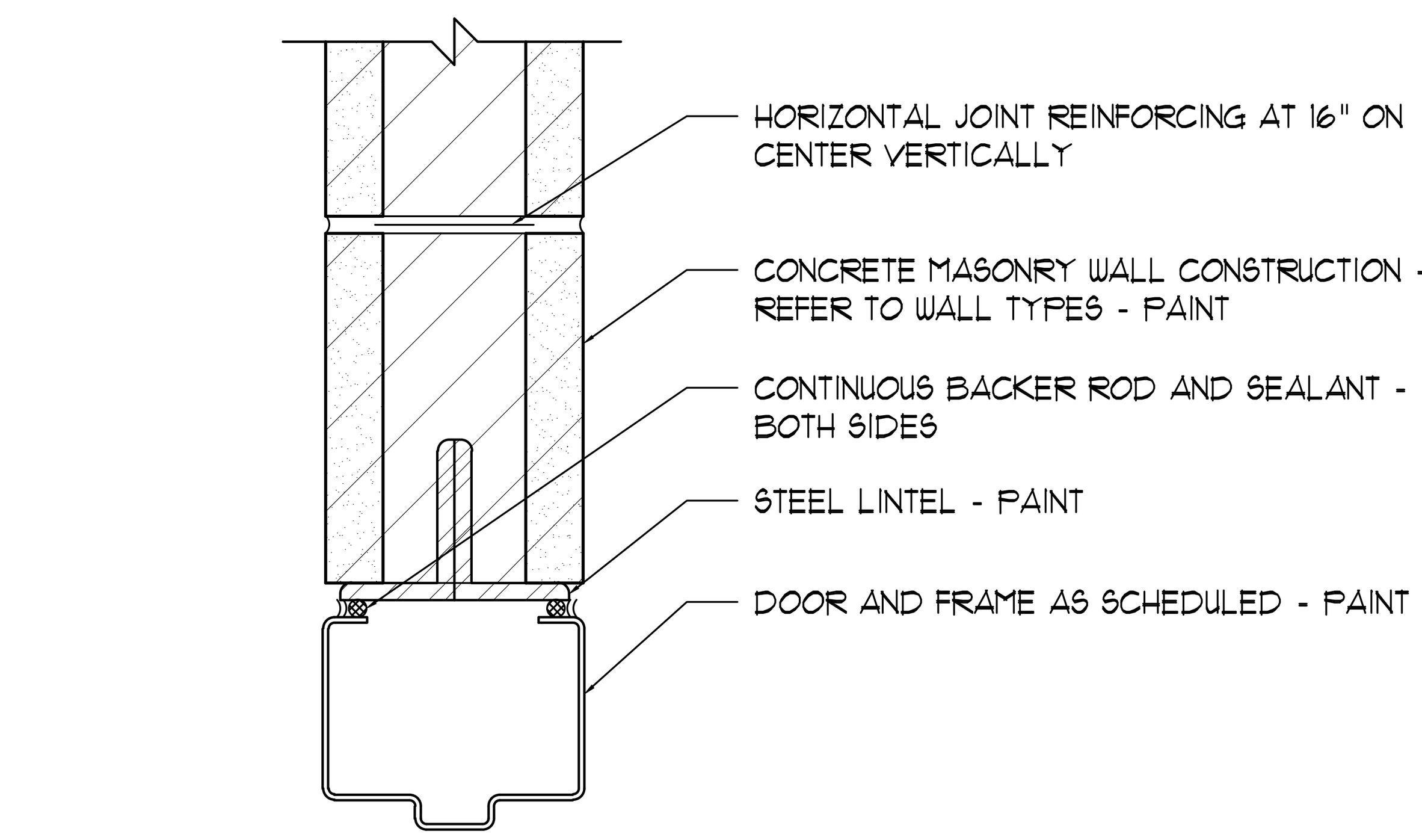
PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: GM
ISSUED FOR PROPOSAL: 04/07/2020

PARTIAL FLOOR PLAN

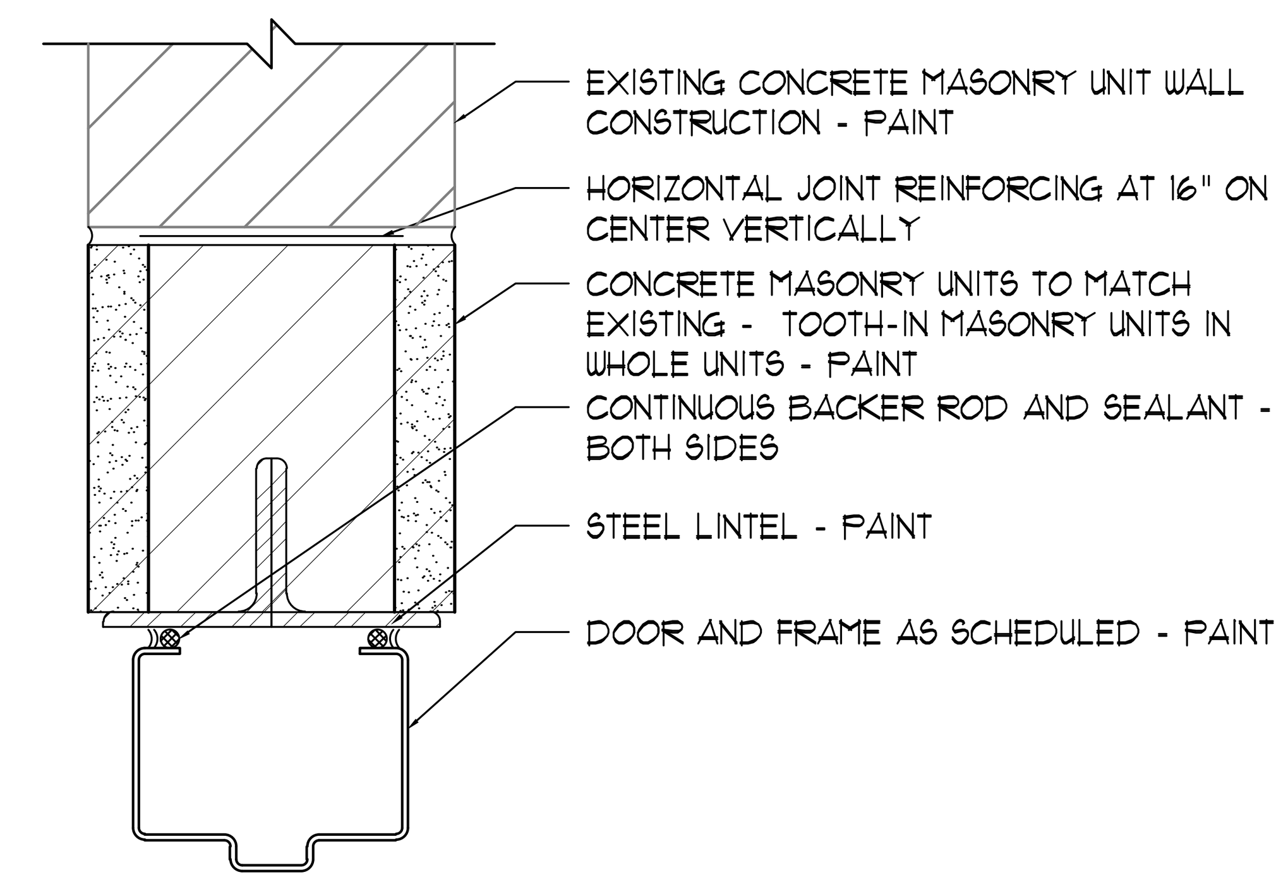
A1.10

DOOR AND FRAME SCHEDULE

OPN'G NO.	DOOR SIZE WIDTH	DOOR SIZE HEIGHT	DOOR TYPE	DOOR MAT'L	HDWR SET	PROT. RATING HOURS	FRAME SIZE WIDTH	FRAME SIZE HEIGHT	FRAME TYPE	FRAME MAT'L	PROT. RATING HOURS	REF. NOTES	FRAME DETAILS HEAD	JAMB	JAMB	SILL	COMMENTS ROOM TYPE	ROOM SIGN TYPE	LINTEL
FIRST FLOOR																			
102	3'-0"	7'-0"	B	WD	01	-	5'-0" V.I.F.	7'-4"	B	HM	-	4	1/A2.00	4/A2.00	8/A2.00	-	NURSE'S OFFICE	-	L3
102A	3'-0"	7'-0"	A	WD	02	-	3'-4"	7'-4"	A	HM	-	-	1/A2.00	3/A2.00	5/A2.00	-	TOILET	-	L2
102B	3'-0"	7'-0"	A	WD	02	-	3'-4"	7'-4"	A	HM	-	-	2/A2.00	3/A2.00	6/A2.00 SIM	-	TOILET	-	L3
126	3'-0"	7'-0"	B	WD	01	-	3'-4"	7'-4"	A	HM	-	-	1/A2.00	3/A2.00	7/A2.00	-	FACULTY LOUNGE	-	L1
126C	3'-0"	7'-0"	B	WD	01	-	3'-4"	7'-4"	A	HM	-	-	2/A2.00	4/A2.00	6/A2.00	-	CORRIDOR	-	L3



1 HEAD DETAIL
3"=1'-0"



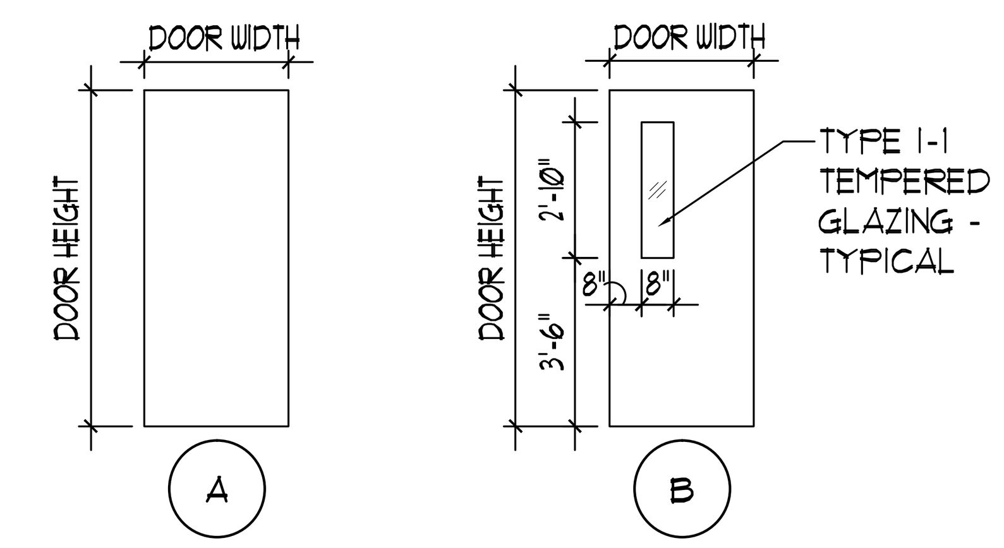
2 HEAD DETAIL
3"=1'-0"

DOOR AND FRAME ABBREVIATIONS

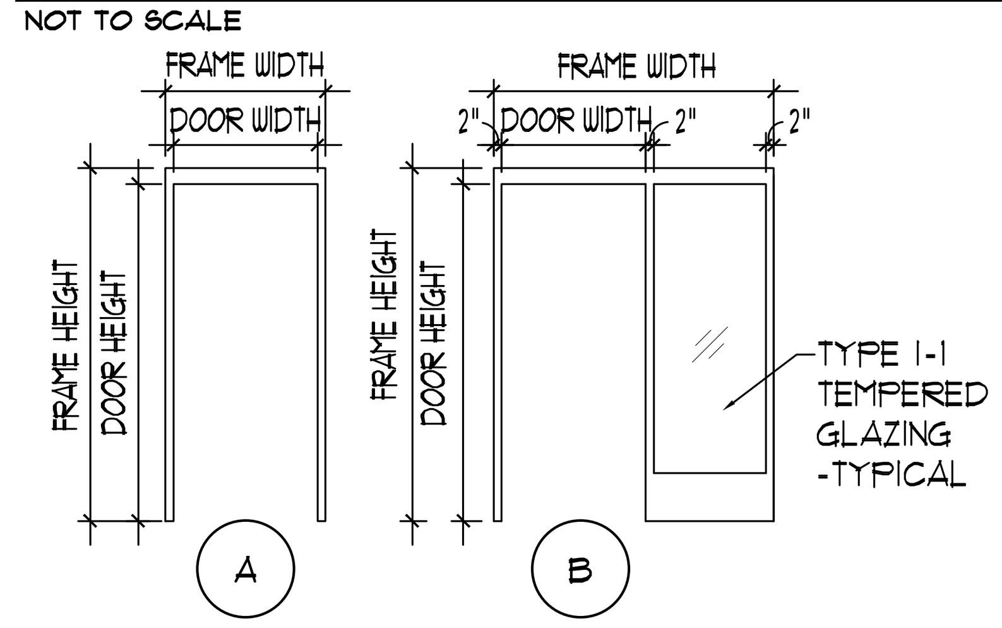
EX	EXISTING	SIM	SIMILAR
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
ME	MATCH EXISTING	WD	WOOD

DOOR AND FRAME REFERENCED NOTES

1. SALVAGED AND REINSTALLED WOOD DOOR.
2. 4 HINGED DOOR.
3. PROVIDE 180 DEGREE HINGES.
4. NEW DOOR AND FRAME IN EXISTING MASONRY OPENING - VERIFY IN FIELD.



DOOR TYPES
NOT TO SCALE



FRAME TYPES
NOT TO SCALE

DOOR AND FRAME GENERAL NOTES

1. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL ROUGH OPENINGS IN FIELD.
2. REFER TO WALL TYPES FOR WALL CONSTRUCTION AT DOOR LOCATIONS.
3. REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.
4. GROUT JAMBS SOLID AT ALL FRAMES INSTALLED IN MASONRY OPENINGS.
5. ALL EXPOSED ANCHORS ON HOLLOW METAL FRAMES ARE TO BE COUNTERSUNK INTO FRAMES, COVERED IN BONDO, SANDED SMOOTH, AND PAINTED TO MATCH FRAME.
6. REFER TO STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
7. VERIFY DIMENSIONS OF ALL DOORS AND FRAMES TO BE INSTALLED IN EXISTING WALL OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS.
8. HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.
9. DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
10. DOOR OPERATING FORCE SHALL NOT EXCEED: EXTERIOR HINGED DOORS: 8.5 LB
INTERIOR HINGED DOORS: 5 LB
11. ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.
12. AT ALL OPENINGS SCHEDULED TO RECEIVE WORK - BOND AND PAINT ALL FRAMES (NEW AND EXISTING).
13. ALL EXISTING FIRE RATED OPENINGS ARE TO BE MAINTAINED.

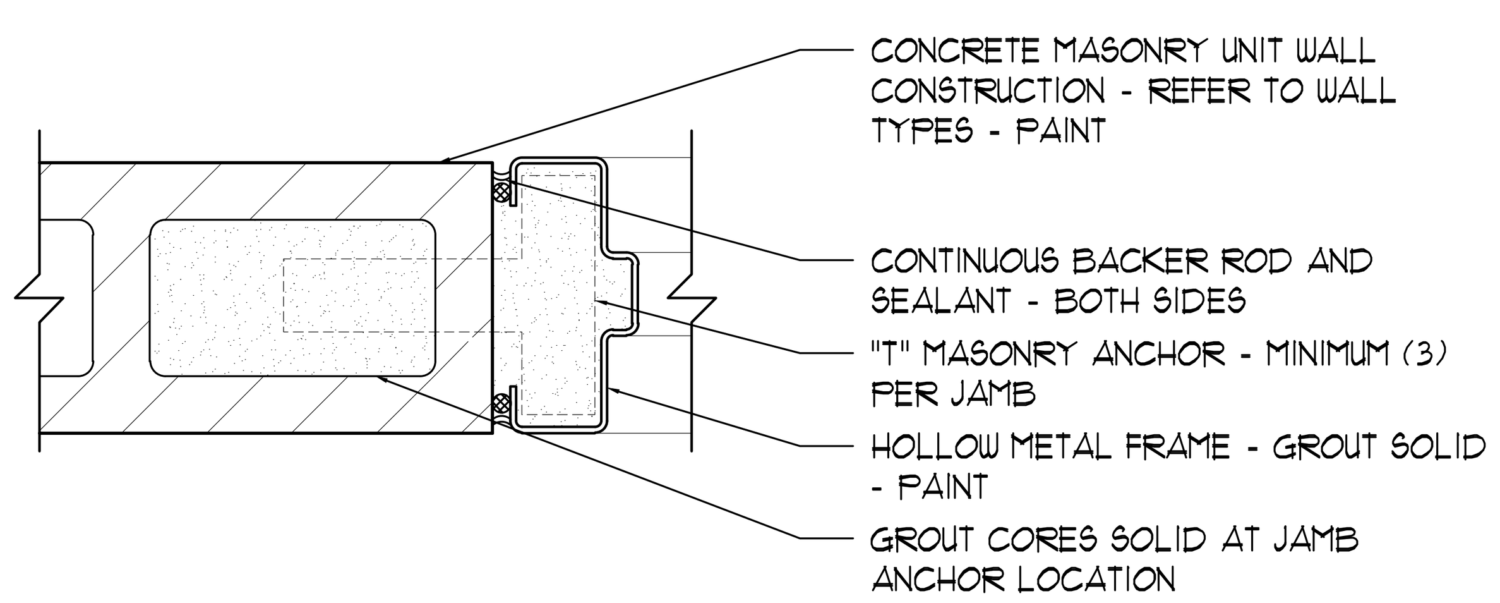
LOOSE LINTEL SCHEDULE

MARK	SIZE	END BEARING	SHAPE	REMARKS
L1	(2) L3-1/2"x3-1/2"x5/16"	8" MIN	⊥	---
L2	(2) L3-1/2"x2-1/2"x5/16"	8" MIN	⊥	---
L3	(2) L5"x3-1/2"x5/16"	8" MIN	⊥	---

1. PLATES ON LINTELS SHALL BE SHOP WELDED TO MEMBER W/ 1/4"x2" FILLET WELDS AT 12" O.C. STAGGERED. PLATES TO BE 1/2" LESS THAN NOMINAL WIDTH OF WALL.
2. WELD TOGETHER ALL BACK-TO-BACK ANGLES.
3. CONTRACTOR TO FIELD VERIFY EXISTING WALL CONSTRUCTION PRIOR TO FABRICATING LINTELS.

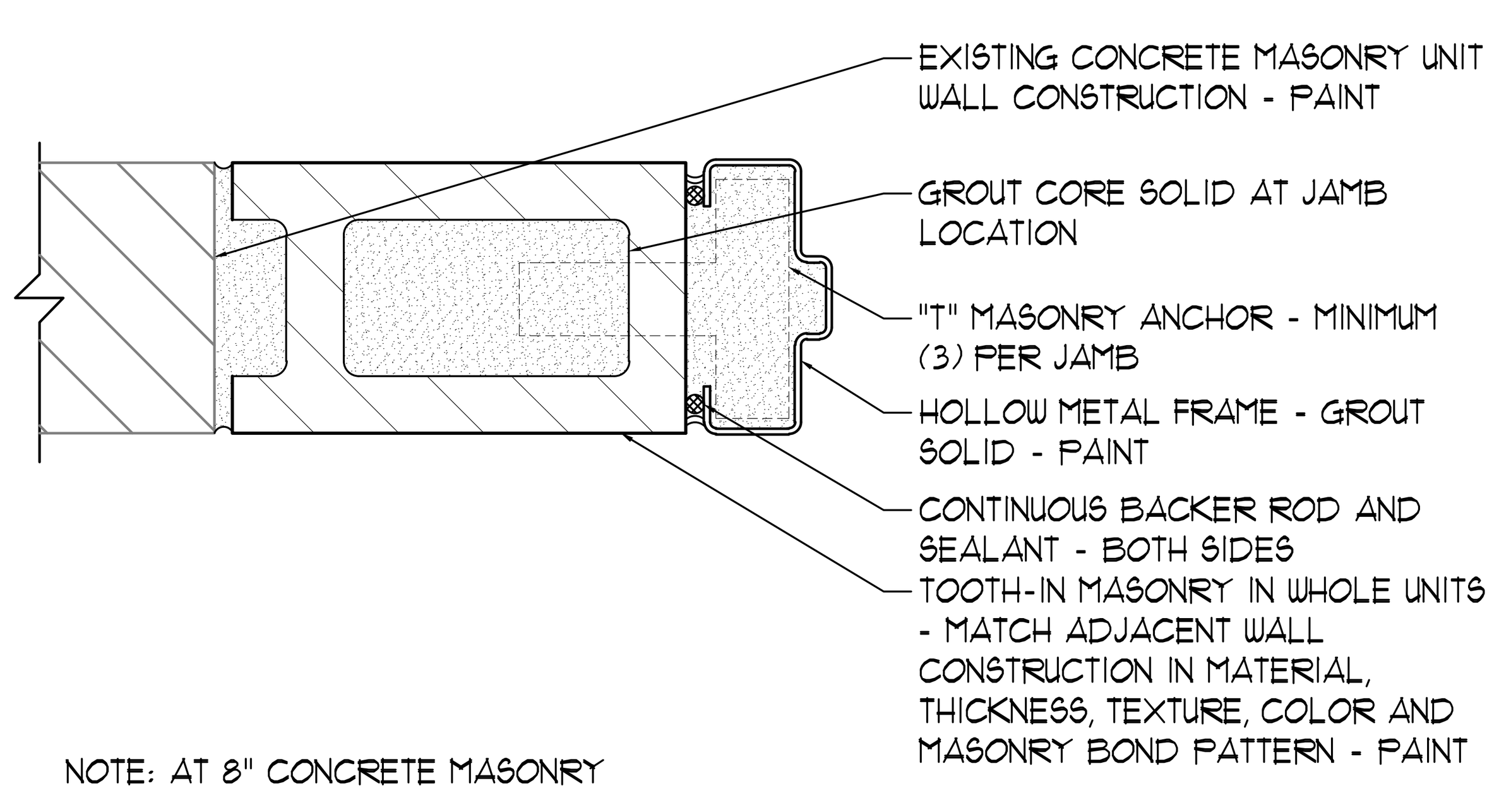
WALL TYPE GENERAL NOTES

1. PROVIDE HORIZONTAL JOINT REINFORCING AT FIRST TWO COURSES AT TOP AND BOTTOM OF ALL MASONRY WALLS AND ABOVE AND BELOW ALL MASONRY OPENINGS.
2. ALL WALL TYPES ARE TO EXTEND UP THROUGH, AND AROUND, ALL STRUCTURES, AND INTERFERENCES TO MAINTAIN CONTINUITY UP TO DECK - UNLESS NOTED OTHERWISE.
3. PROVIDE FIRESAFING AT PERIMETER AND AT ALL PENETRATIONS OF ALL FIRE RATED WALL CONSTRUCTION
4. ALL WALL TYPES TO EXTEND ABOVE AND BELOW ALL OPENINGS AND PENETRATIONS.



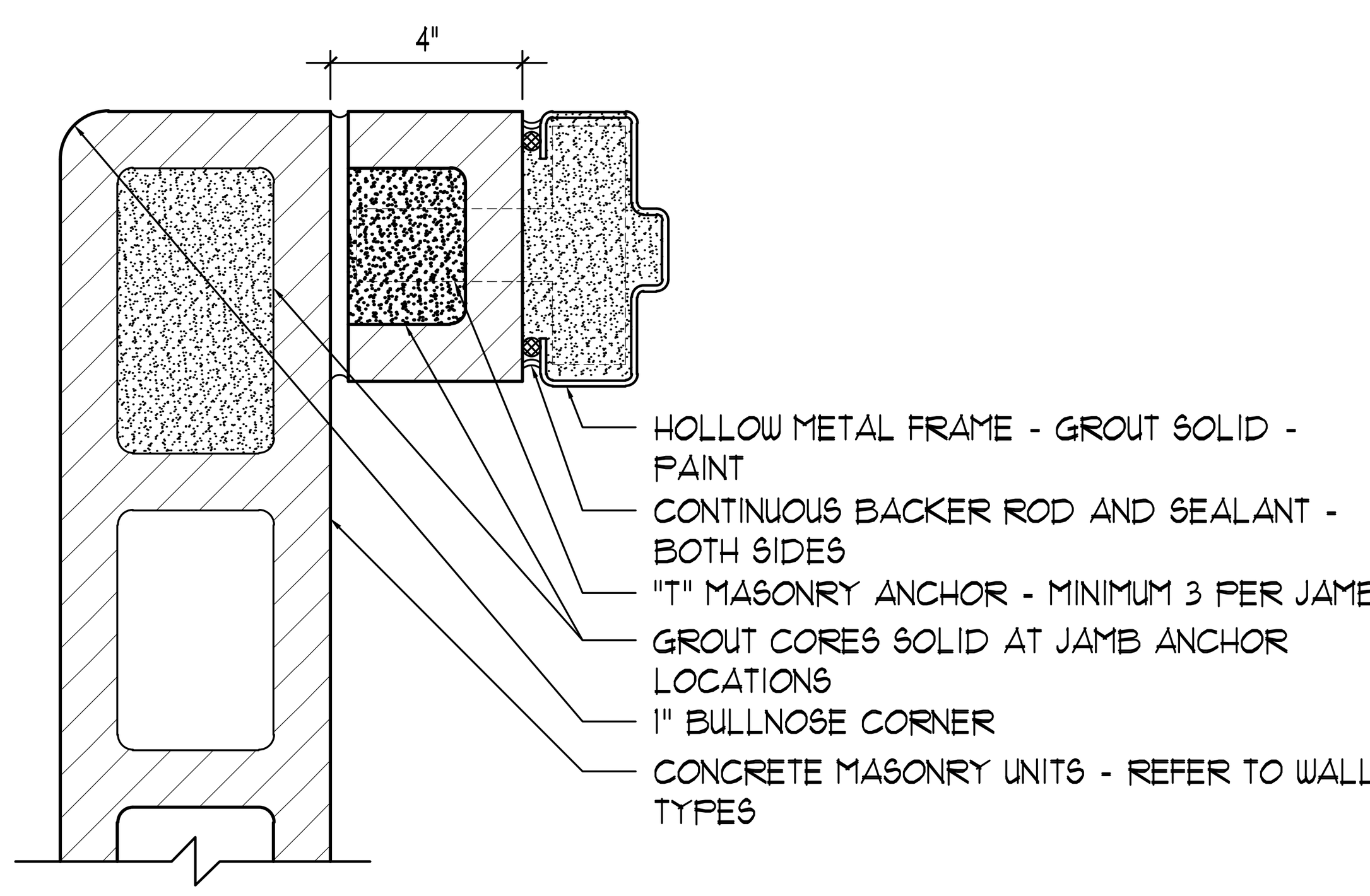
NOTE: AT 8" CONCRETE MASONRY UNIT WALL CONSTRUCTION BULLNOSE AT DOOR FRAME

3 JAMB DETAIL
3"=1'-0"

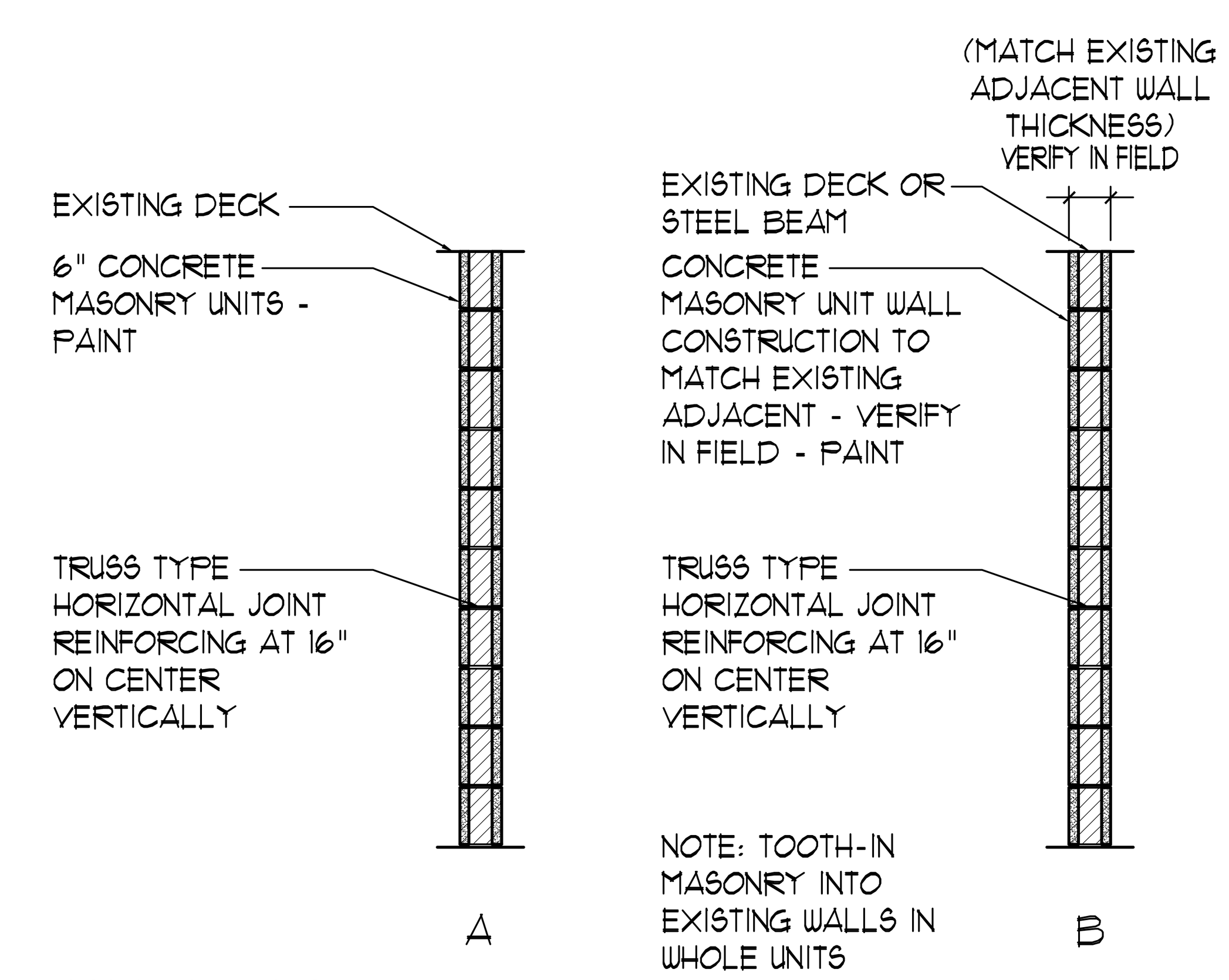


NOTE: AT 8" CONCRETE MASONRY UNIT WALL CONSTRUCTION BULLNOSE AT DOOR FRAME

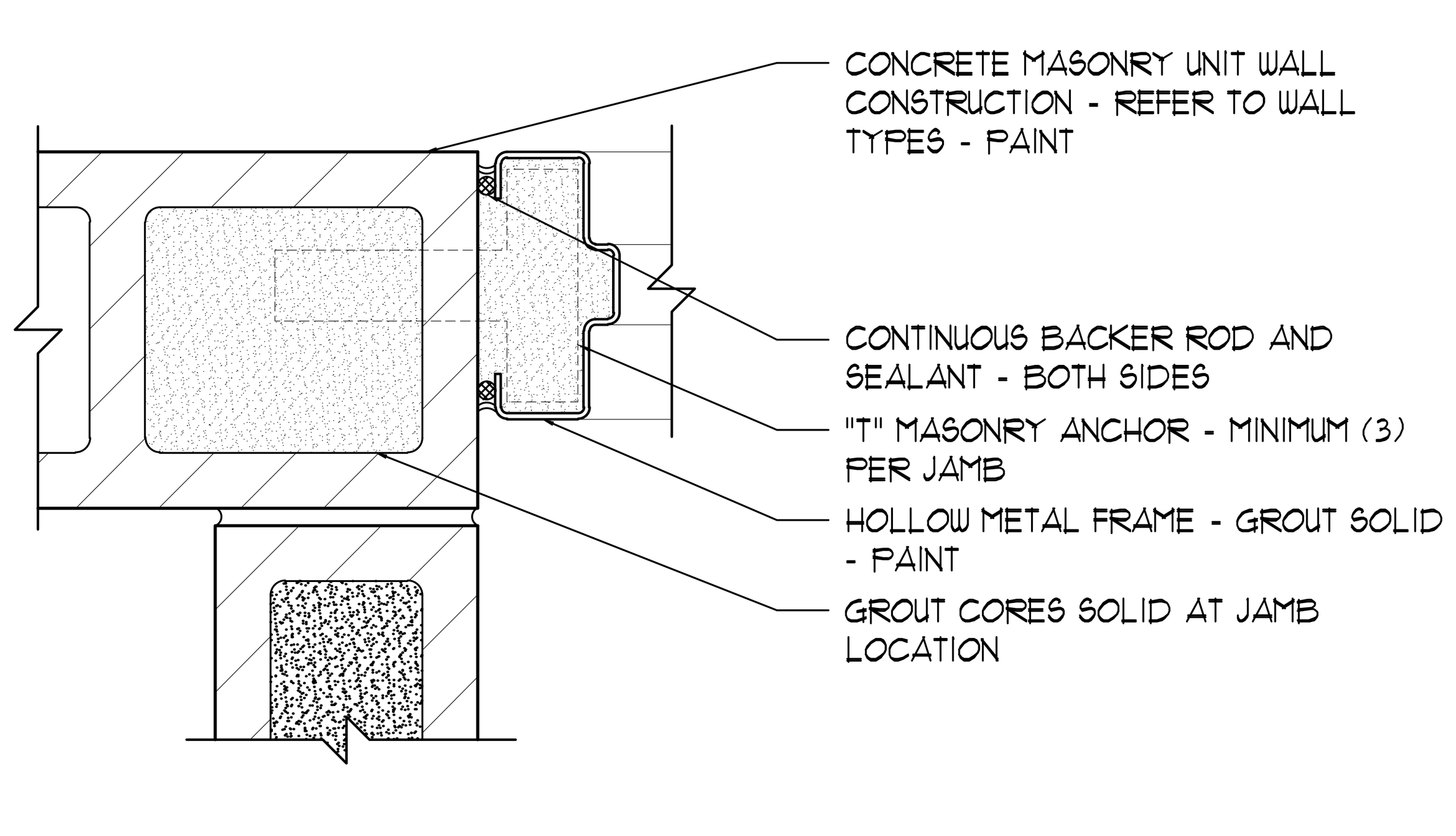
4 JAMB DETAIL
3"=1'-0"



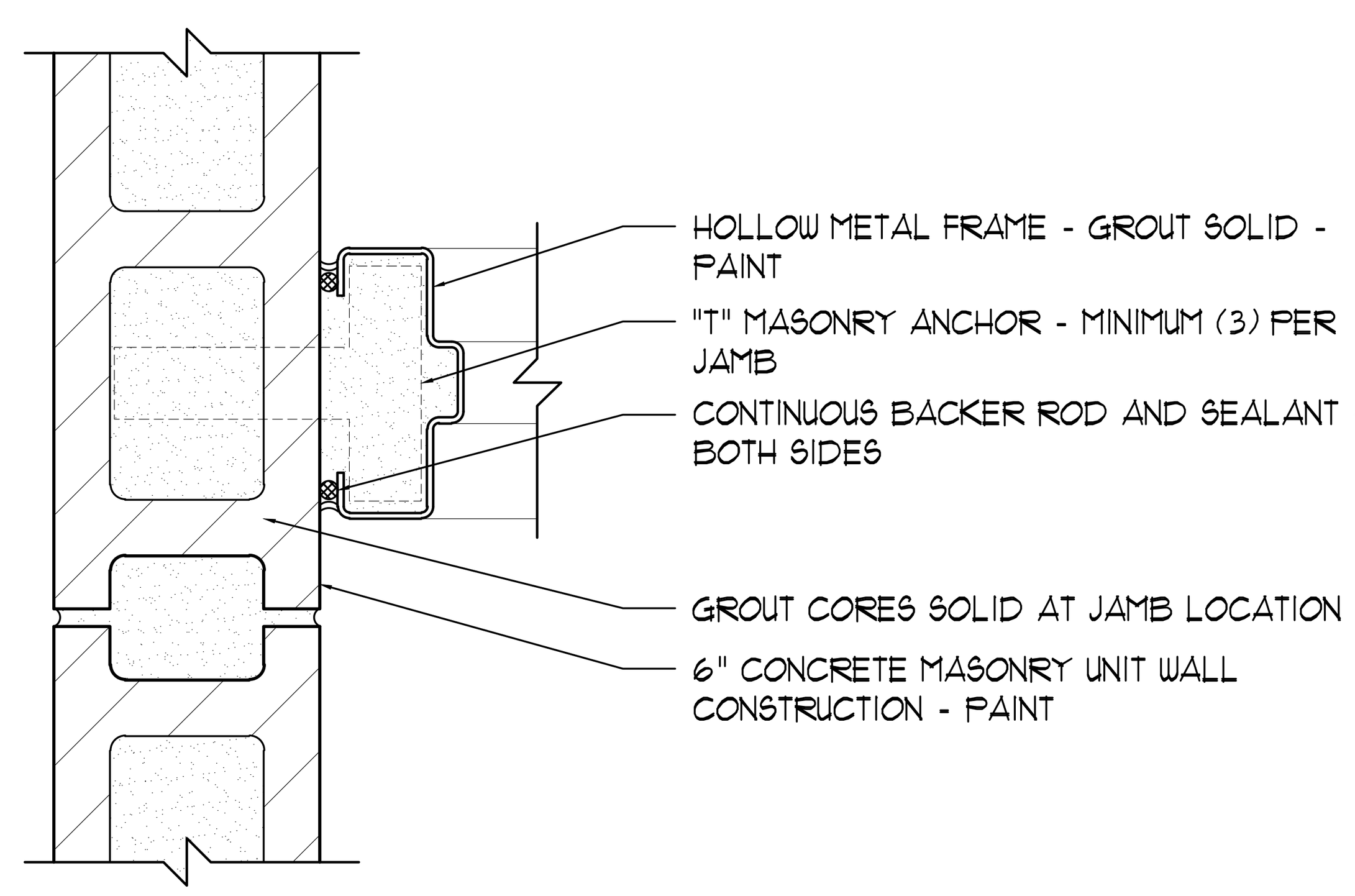
5 JAMB DETAIL
3"=1'-0"



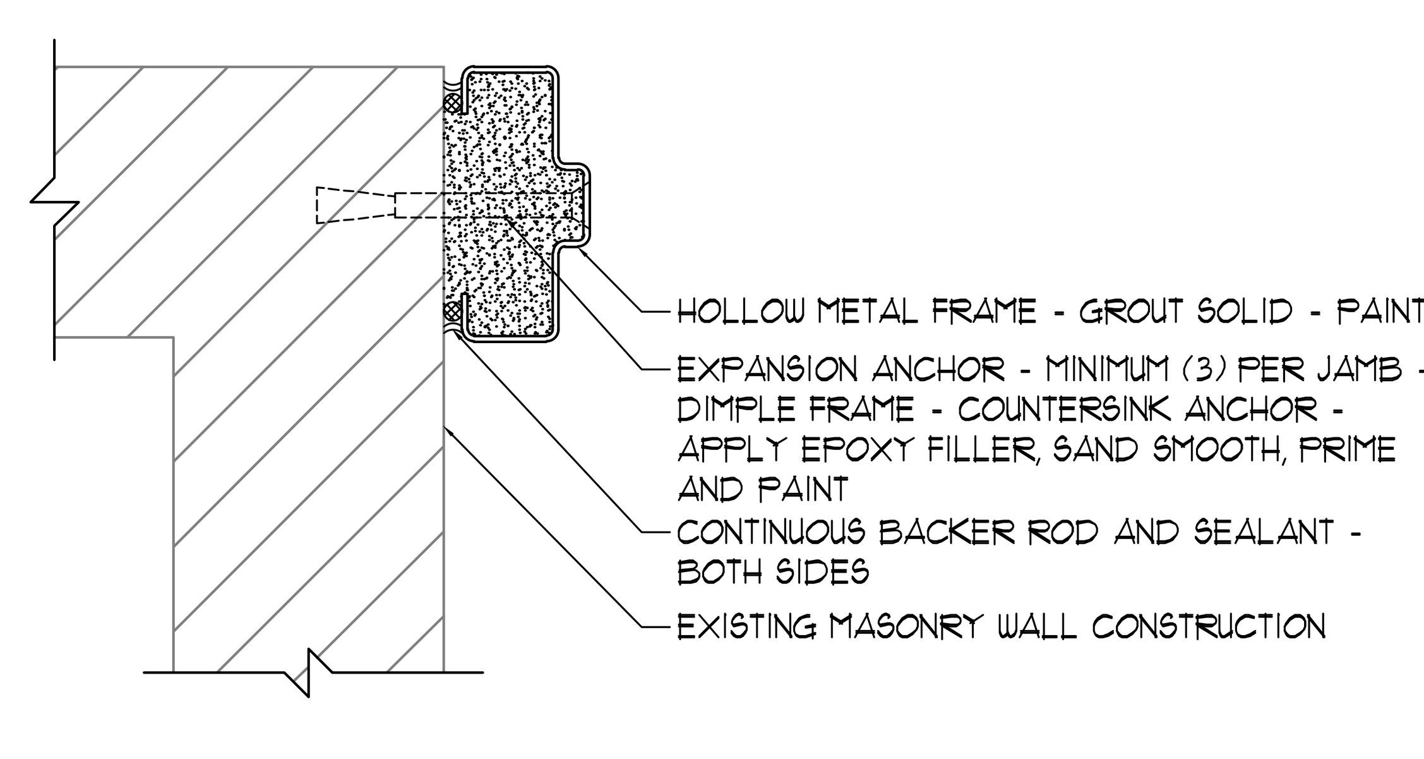
WALL TYPES
NOT TO SCALE



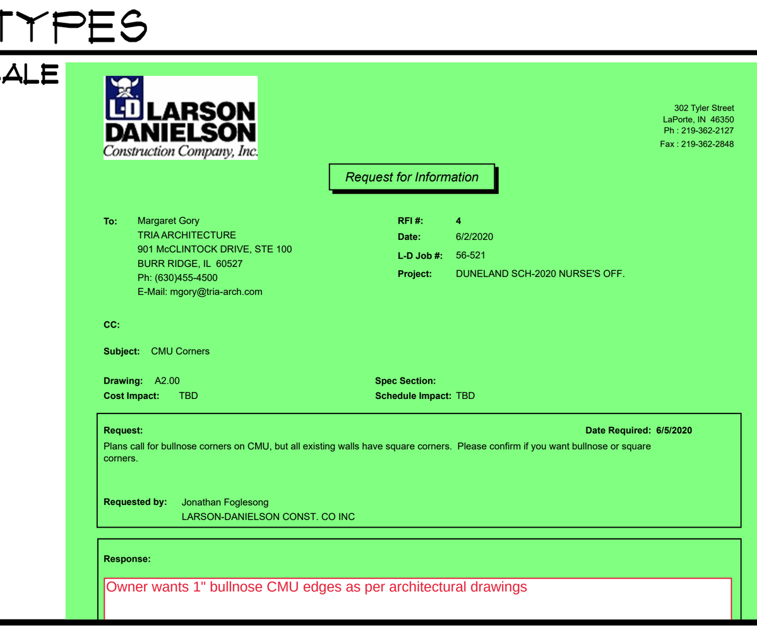
6 JAMB DETAIL
3"=1'-0"

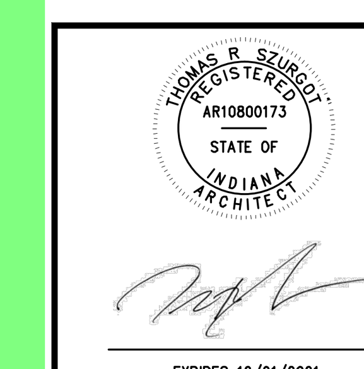


7 JAMB DETAIL
3"=1'-0"



8 JAMB DETAIL
3"=1'-0"





TRIA ARCHITECTURE

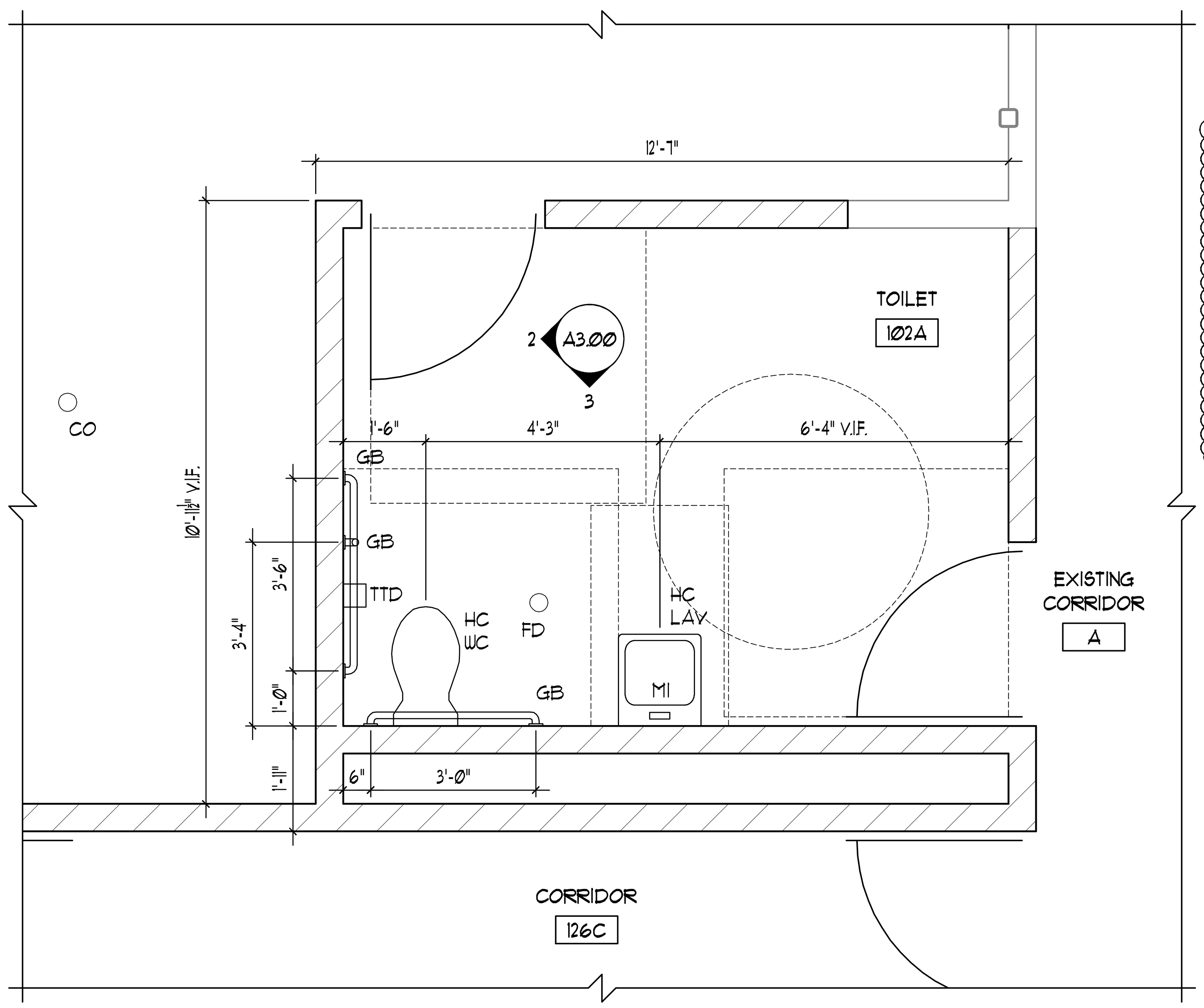
MEP/FP CONSULTANT:
(P) 630.538.1896
769 HEARTLAND DR., UNIT A SUGAR GROVE, ILLINOIS 60554

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

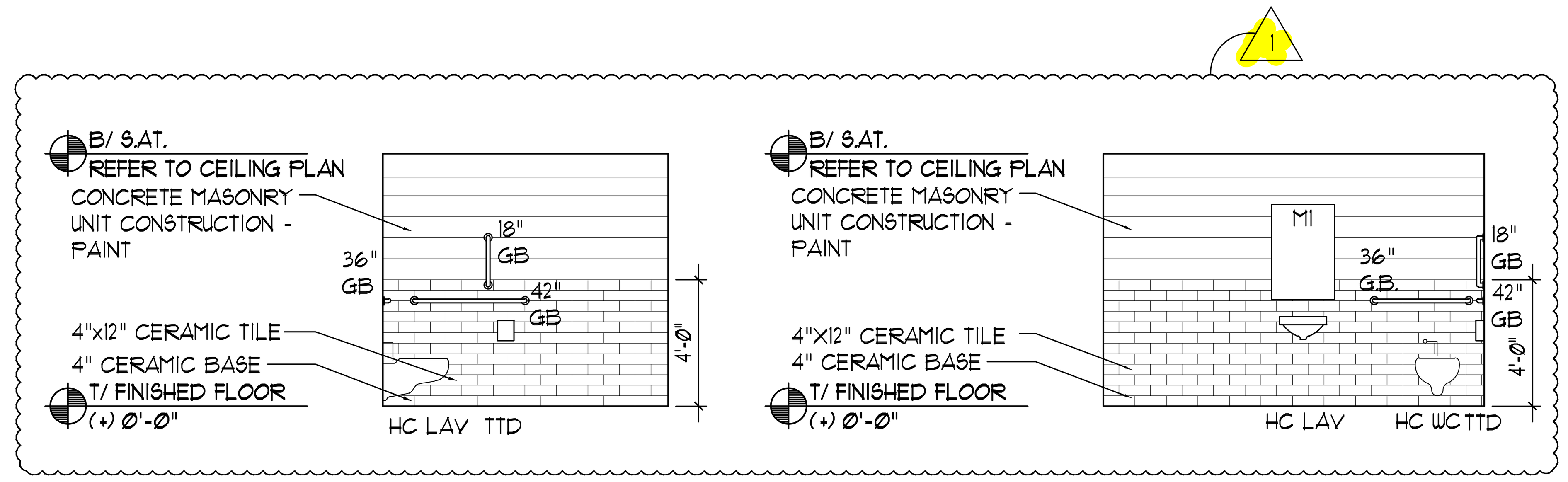
PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: GM
ISSUED FOR PROPOSAL: 04/07/2020
REVISIONS: 1 2 3 4 5

DOOR AND FRAME SCHEDULE, TYPES, DETAILS, WALL TYPES, INTERIOR ELEVATIONS AND NOTES

A2.00

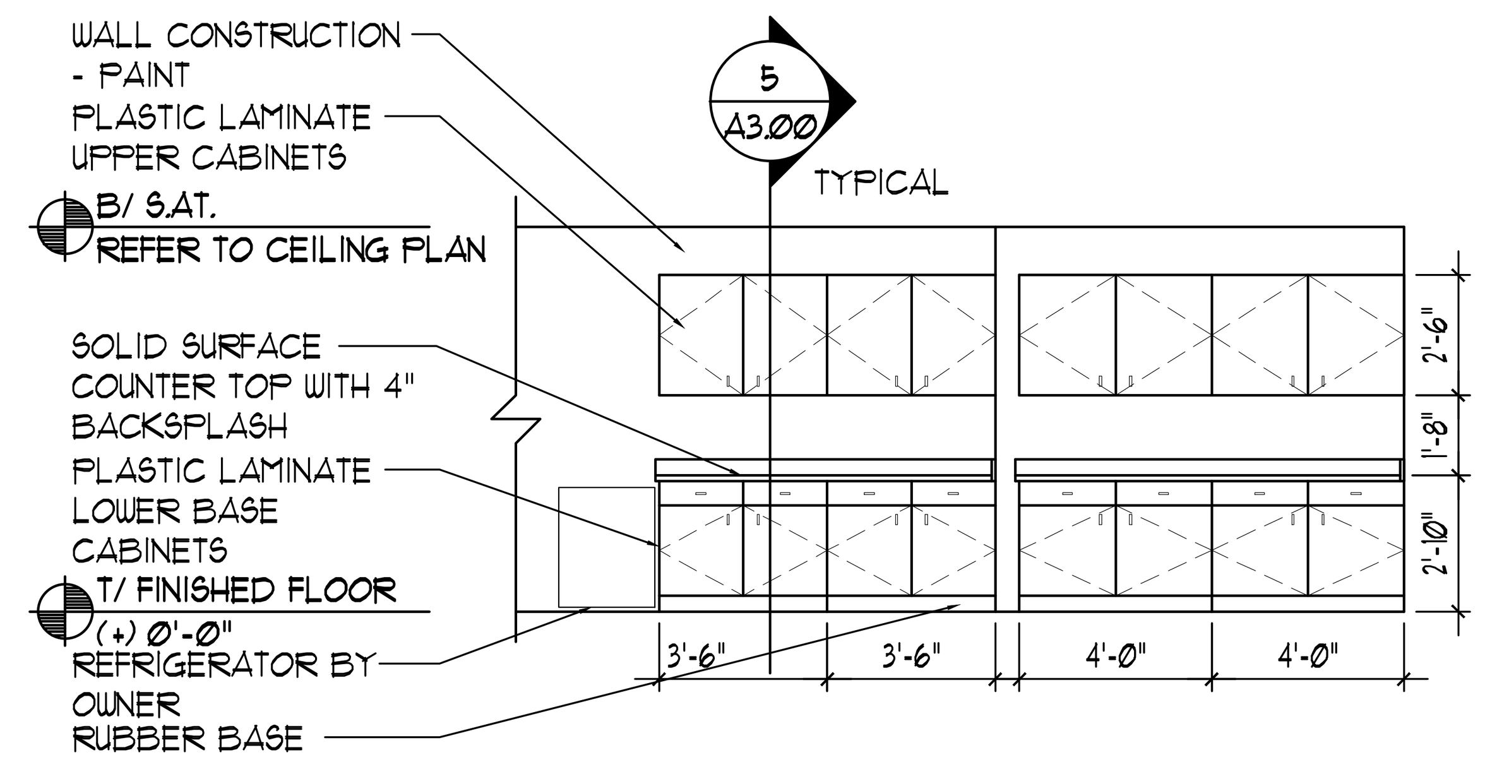


1 PARTIAL FLOOR PLAN
1/4" = 1'-0"



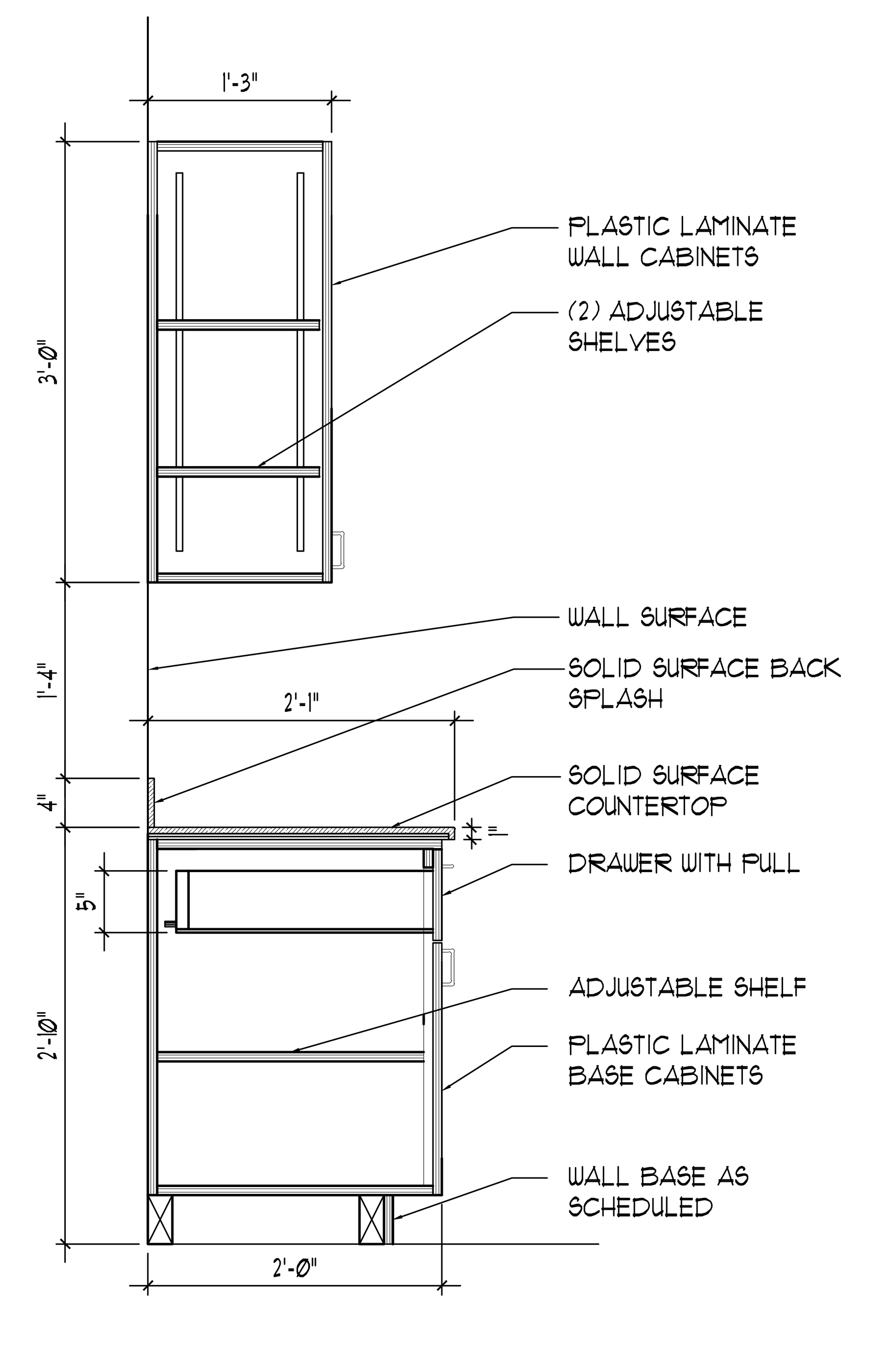
2 INTERIOR ELEVATION
1/4" = 1'-0"

3 INTERIOR ELEVATION
1/4" = 1'-0"



WALL CONSTRUCTION - PAINT
PLASTIC LAMINATE UPPER CABINETS
B/ S.A.T.
REFER TO CEILING PLAN
SOLID SURFACE COUNTER TOP WITH 4" BACKSPLASH
PLASTIC LAMINATE LOWER BASE CABINETS
T/ FINISHED FLOOR
(+) 0'-0"
REFRIGERATOR BY OWNER
RUBBER BASE
5
A3.00
TYPICAL
2'-6"
1'-8"
2'-10"
3'-6"
3'-6"
4'-0"
4'-0"

4 INTERIOR ELEVATION
1/4" = 1'-0"



5 CASEWORK SECTION
1" = 1'-0"

ABBREVIATIONS

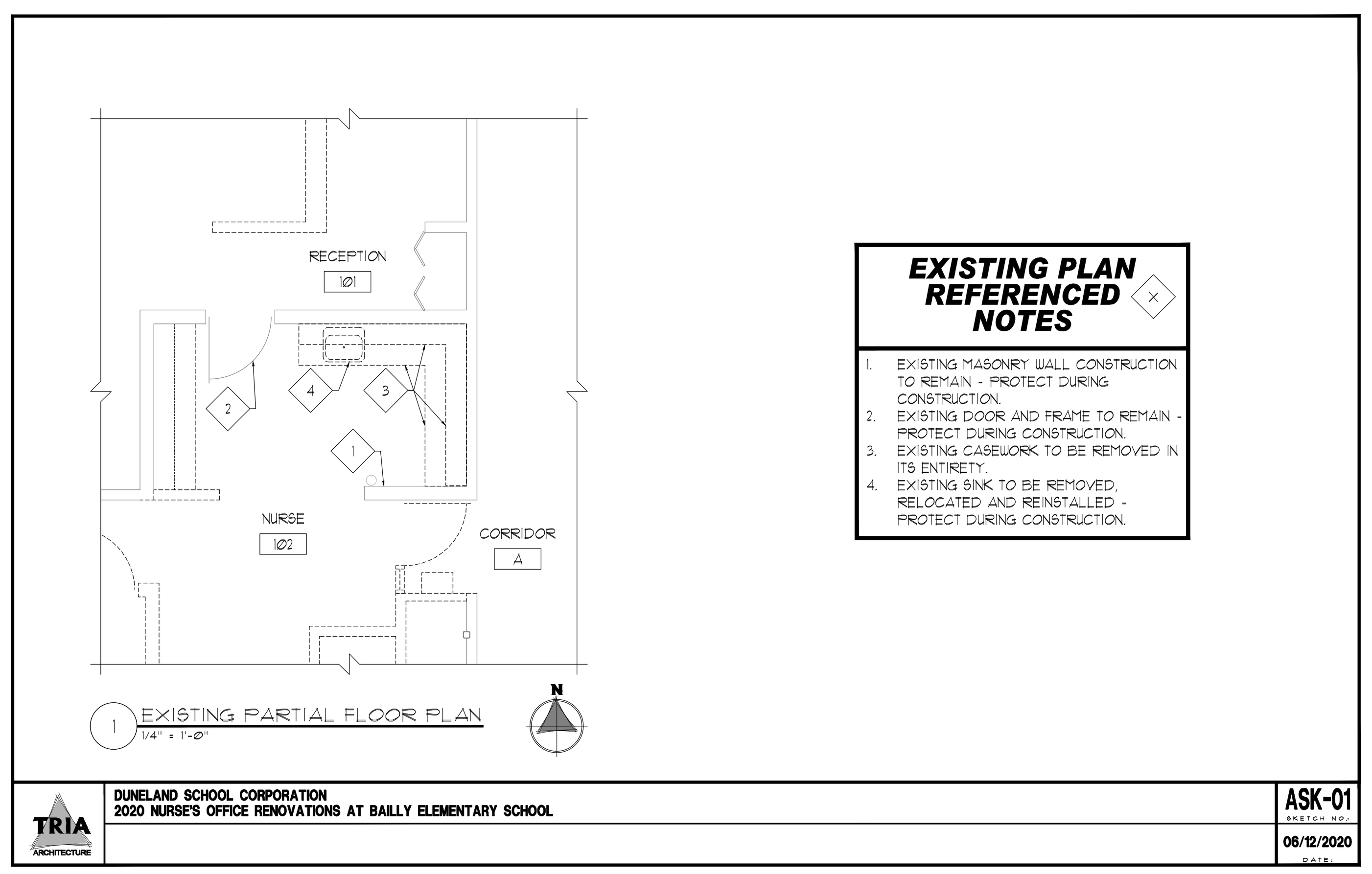
C.O. - CLEAN OUT - REFER TO PLUMBING DRAWINGS
FD - FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
GB - GRAB BAR
HC LAV - HANDICAPPED ACCESSIBLE LAVATORY - REFER TO PLUMBING DRAWINGS
MI MIRROR (ADA - 24"x36")
TTD - TOILET TISSUE DISPENSER - PROVIDED AND
HC WC - HANDICAPPED ACCESSIBLE WATER CLOSET - REFER TO PLUMBING DRAWINGS

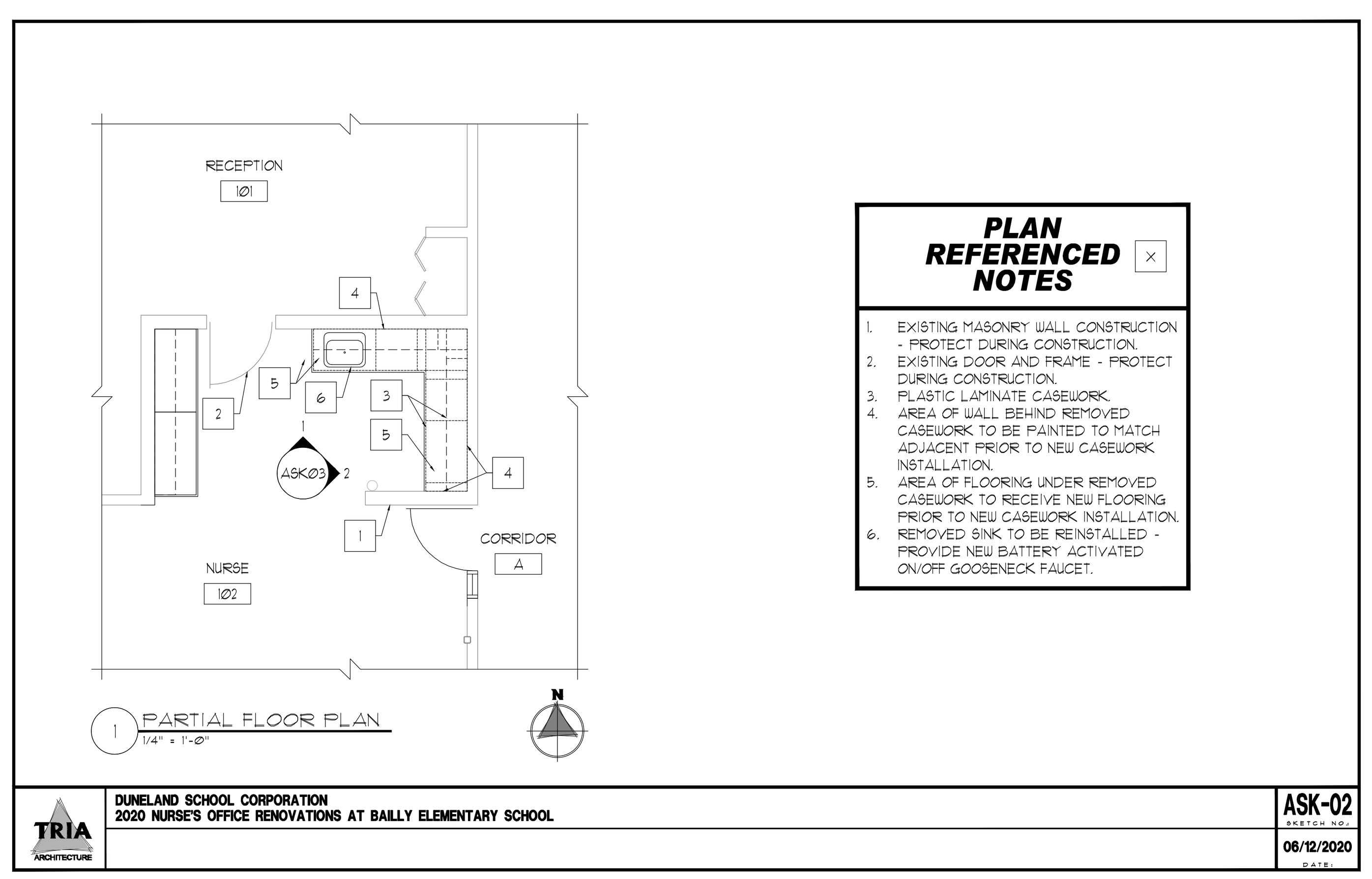
LEGEND

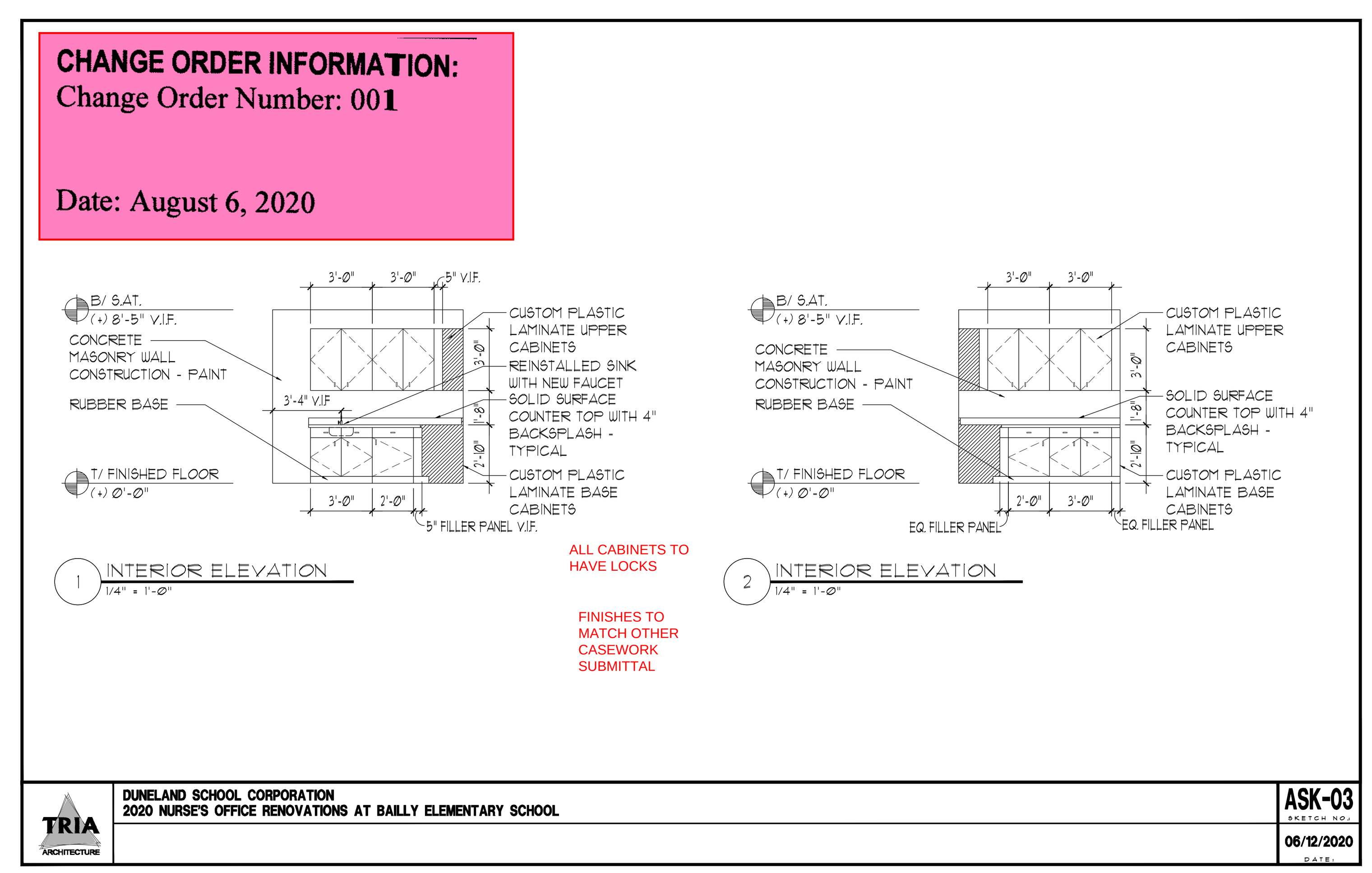
EXISTING CONSTRUCTION
NEW CONSTRUCTION
60" DIAMETER TURNING RADIUS
30"X48" CLEAR FLOOR SPACE
36" GRAB BAR
42" GRAB BAR

GENERAL NOTE

DIMENSIONS SHOWN FOR REFERENCE ONLY - GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL LAY OUTS AMONG ALL TRADES AFFECTED - NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION BY ANY TRADE.







CHANGE ORDER INFORMATION:
Change Order Number: 001
Date: August 6, 2020
INTERIOR ELEVATION
INTERIOR ELEVATION
ALL CABINETS TO HAVE LOCKS
FINISHES TO MATCH OTHER CASEWORK SUBMITTAL
DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT BAILLY ELEMENTARY SCHOOL
ASK-03
06/12/2020

KEYPLAN
NOT TO SCALE

AREA OF WORK
NOT IN SCOPE OF WORK

TRIA ARCHITECTURE

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

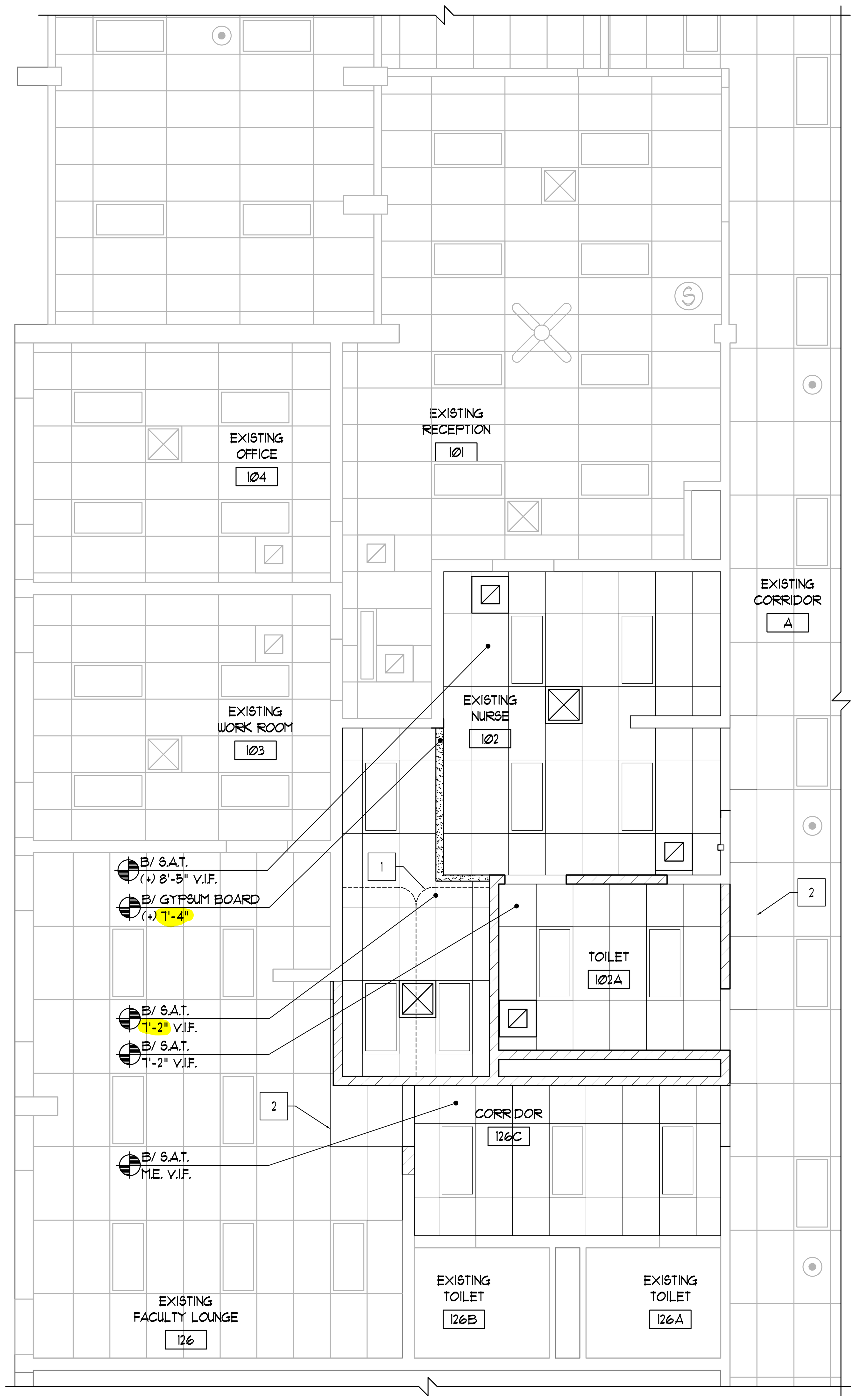
REVISIONS:
1 04/17/2020

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: GM
ISSUED FOR PROPOSAL: 04/07/2020

ENLARGED PLAN AND INTERIOR ELEVATIONS

EXPIRES 12/01/2021

A3.00



1 PARTIAL REFLECTED CEILING PLAN
1/4" = 1'-0"

LEGEND

- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN - PROTECT DURING CONSTRUCTION.
- 2'x4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM
- AREA OF GYPSUM HEADER -5/8" GYPSUM BOARD SHALL BE SUPPORTED BY 3-5/8" METAL STUD FRAMING AT 16" ON CENTER MAXIMUM - PAINT
- 2' X 4' EXISTING RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 1' X 4' EXISTING RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 2' X 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 1' X 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- EXISTING MECHANICAL SUPPLY DIFFUSER - REFER TO MECHANICAL DRAWINGS
- EXISTING MECHANICAL RETURN/EXHAUST DIFFUSER - REFER TO MECHANICAL DRAWINGS
- MECHANICAL SUPPLY DIFFUSER - REFER TO MECHANICAL DRAWINGS
- MECHANICAL RETURN/EXHAUST DIFFUSER - REFER TO MECHANICAL DRAWINGS
- EXISTING SPEAKER TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- EXISTING EXIT SIGN - REFER TO ELECTRICAL DRAWINGS
- OCCUPANCY SENSOR TO REMAIN- REFER TO ELECTRICAL DRAWINGS
- SPEAKER - REFER TO ELECTRICAL DRAWINGS
- EXIT SIGN - REFER TO ELECTRICAL DRAWINGS
- OCCUPANCY SENSOR - REFER TO ELECTRICAL DRAWINGS
- EXISTING CONSTRUCTION TO REMAIN

REFLECTED CEILING PLAN GENERAL NOTES

1. ALL CEILINGS IN EXISTING BUILDING ARE TO BE INSTALLED AT EXISTING HEIGHT UNLESS NOTED OTHERWISE. DESIGN INTENT IS TO MATCH EXISTING CEILING HEIGHT - DO NOT RE-USE EXISTING WALL ANGLE. CONTRACTOR TO COORDINATE ALL HEIGHTS IN FIELD WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS (NEW AND EXISTING) - NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO INSTALLATION. PATCH AND PAINT ANY WALL SURFACES DAMAGED BY THE REMOVAL OF EXISTING CEILINGS.
2. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL AREAS OF ABOVE CEILING WORK. REMOVE AND PATCH /OR RE-INSTALL EXISTING CEILINGS IN THESE LOCATIONS ONLY AS REQUIRED TO PROVIDE WORK INDICATED TO OCCUR PRIOR TO PHASE OF CEILING WORK.
3. CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
4. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
5. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
6. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
7. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
8. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

REFLECTED CEILING PLAN REFERENCED NOTES

X

1. CEILING MOUNTED TRACK WITH CURTAIN DIVIDER - REFER TO SPECIFICATIONS.
2. MODIFY EXISTING GRID AND REPLACE CEILING TILES TO FIT NEW WORK.

LARSON DANIELSON Construction Company, Inc.

302 Tyler Street
LaPorte, IN 46350
Ph : 219-362-2127
Fax : 219-362-2848

Request for Information

To: Margaret Gory
TRIA ARCHITECTURE
901 McCLINTOCK DRIVE, STE 100
BURR RIDGE, IL 60527
Ph: (630)455-4500
E-Mail: mgory@tria-arch.com

RFI #: 5
Date: 6/9/2020
L-D Job #: 56-521
Project: DUNELAND SCH-2020 NURSE'S OFF.

CC:

Subject: Acoustical Ceiling Tile

Drawing:
Cost Impact: TBD
Spec Section: 09511
Schedule Impact: TBD

Request: **Date Required: 6/12/2020**
The specification calls for USG Radar Clima Plus 2410. We are hearing from our local supplier that Duneland Schools has been using Certainteed's Fine Fissured HHF-197. Please confirm which ceiling tile you would like.

Requested by: Jonathan Foglesong
LARSON-DANIELSON CONST. CO INC

Response:
Certainteed's Fine Fissured HHF - 197 is acceptable. Provide shop drawings for grid and tiles.

AREA OF WORK
NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE

THOMAS R. SZURGOT REGISTERED AR10800173 STATE OF INDIANA ARCHITECT
EXPIRES 12/01/2021

TRIA ARCHITECTURE

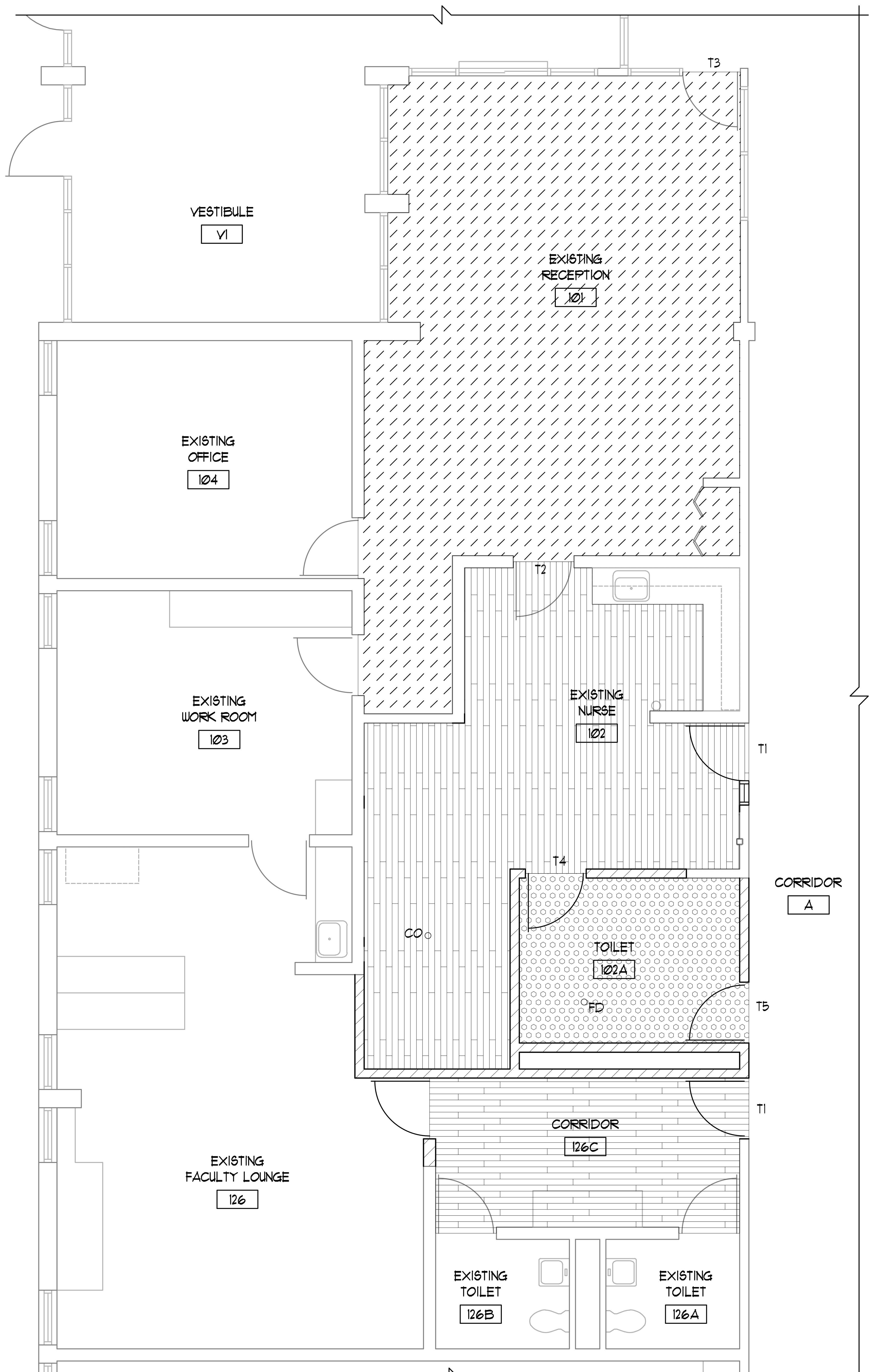
M.E.P./F.P. CONSULTANT:

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

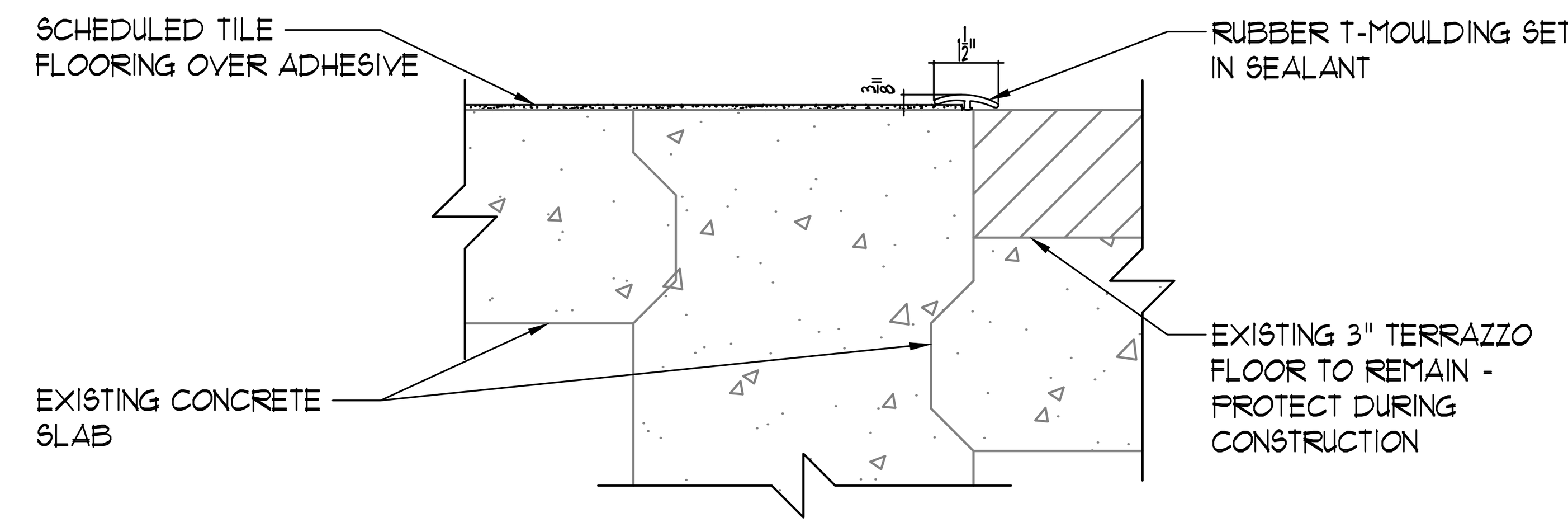
PROJECT NUMBER: 20-006	REVISIONS:
PROJECT MANAGER: MG	1
DRAWN BY: GM	2
	3
ISSUED FOR PROPOSAL:	4
04/07/2020	5

PARTIAL REFLECTED CEILING PLAN

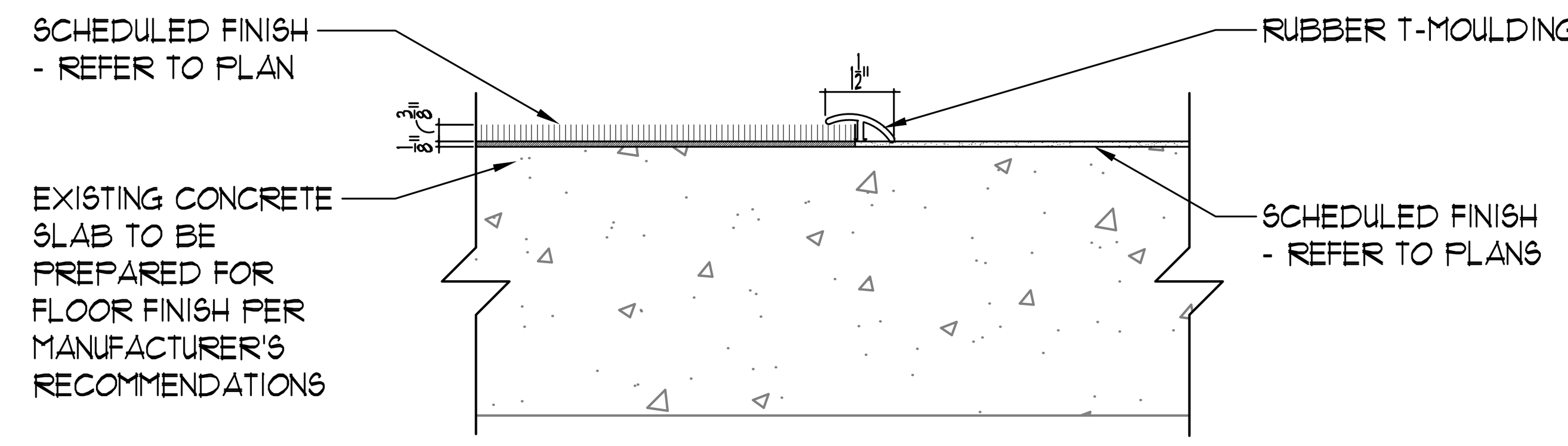
A.7.10



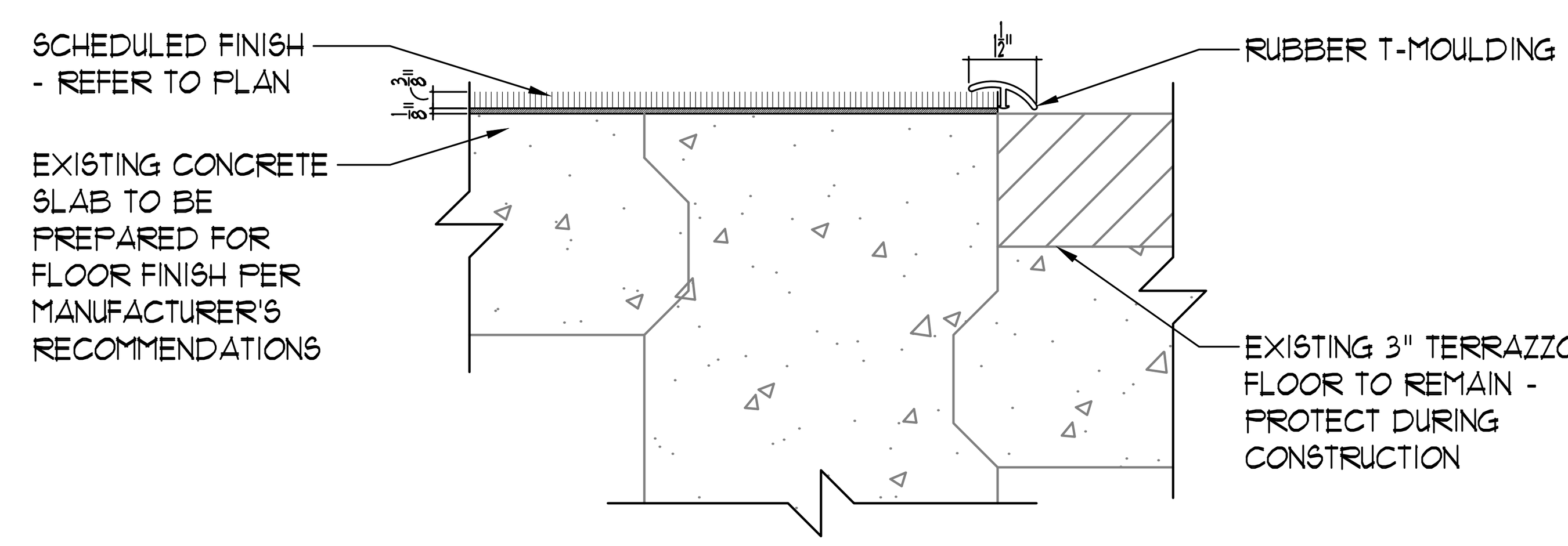
1 PARTIAL FLOOR FINISH PLAN
1/4" = 1'-0"



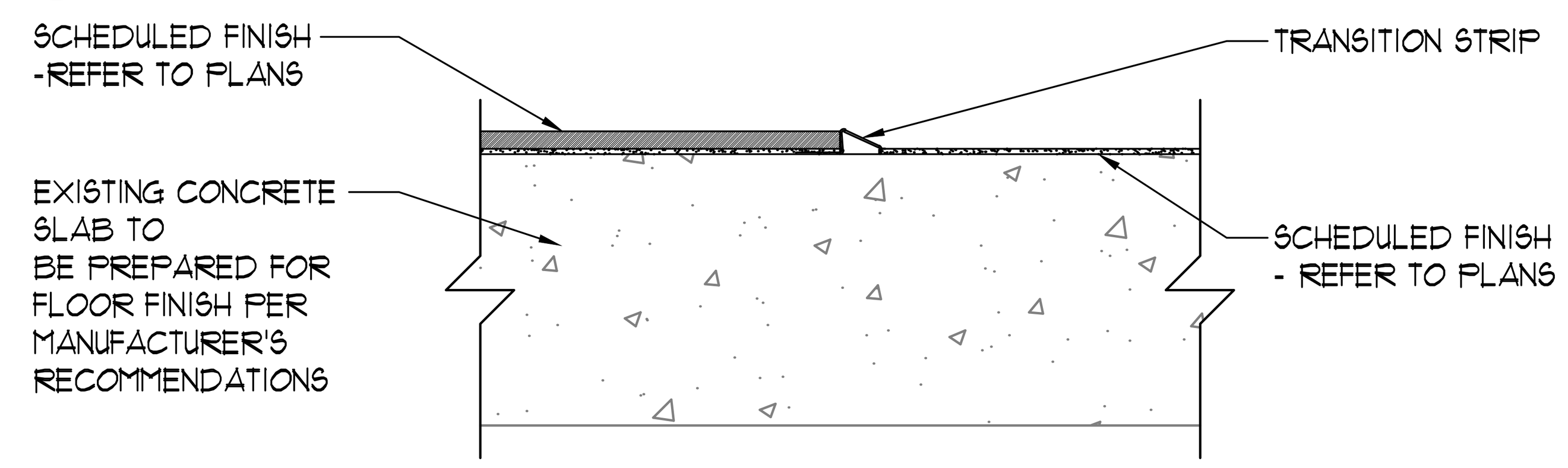
2 T1 - TRANSITION DETAIL
3" = 1'-0"



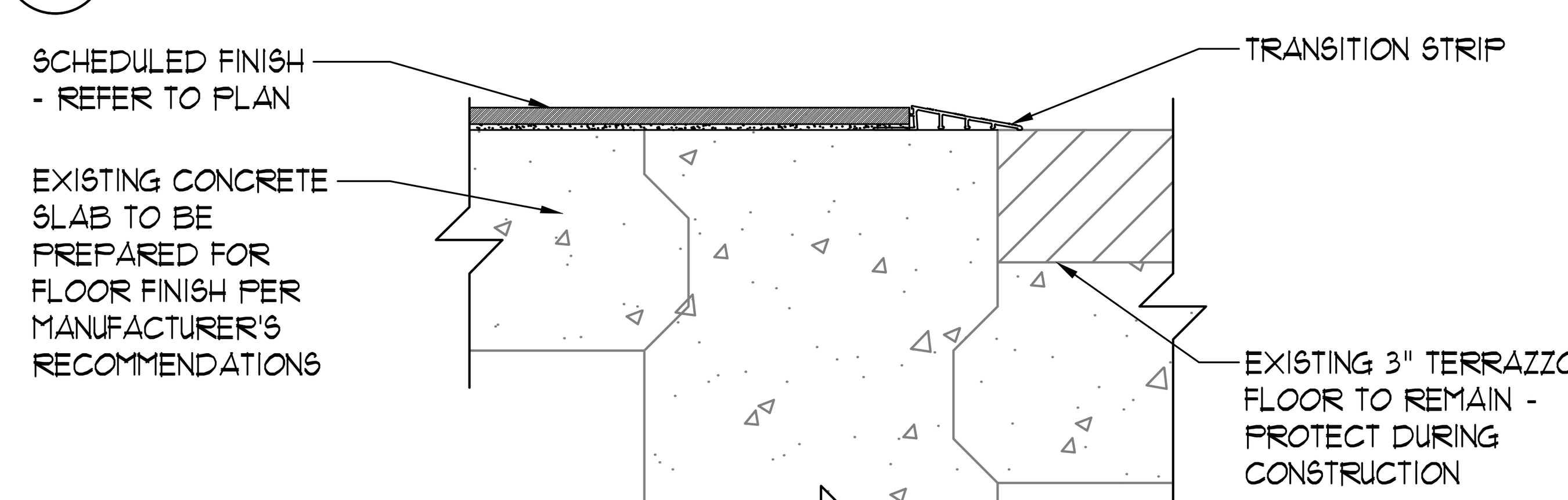
3 T2 - TRANSITION DETAIL
3" = 1'-0"



4 T3 - TRANSITION DETAIL
3" = 1'-0"



5 T4 - TRANSITION DETAIL
3" = 1'-0"



6 T5 - TRANSITION DETAIL
3" = 1'-0"

FLOOR FINISH PLAN GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR ADDITIONAL PRODUCT INFORMATION.
2. MAKE EXISTING FLOOR SLAB SMOOTH AND FLAT TO FLOOR FINISH MANUFACTURER'S TOLERANCE WITH MATERIAL SUITABLE TO FLOOR FINISH. MANUFACTURER PRIOR TO INSTALLATION.
3. ALL TRANSITIONS BETWEEN DISSIMILAR FLOORING MATERIALS ARE TO RECEIVE A NEW TRANSITION STRIP - REFER TO TRANSITION DETAILS 2/A9.10 AND 3/A9.10.
4. PROVIDE WALL BASE AT ALL LOCATIONS OF NEW FLOORING AND/OR NEW WALL CONSTRUCTION - UNLESS NOTED OTHERWISE.
5. AREAS OF RESILIENT FLOORING ARE TO RECEIVE RUBBER COVED BASE AND CARPETED AREAS ARE TO RECEIVE RUBBER STRAIGHT BASE - VERIFY WITH BUILDING STANDARD.
6. AT AREAS WHERE PATCHING OF WALL BASE IS REQUIRED - FINISH TO MATCH ADJACENT IN MATERIAL, COLOR, HEIGHT, FINISH AND PROFILE.
7. DO NOT PAINT PRE-FINISHED ITEMS, FACE BRICK, AND TILE FINISHES.
8. VERIFY CARPET TILE PATTERNS WITH OWNER PRIOR TO BEGINNING WORK.
9. AT ALL DOOR AND WINDOW FRAMES INSTALLED IN EXISTING OPENINGS - PATCH AND PAINT EXISTING WALL, JAMB AND HEAD SURFACES AFTER FRAME INSTALLATION - DO NOT PAINT PRE-FINISHED ITEMS - MATCH EXISTING COLOR, UNLESS NOTED OTHERWISE.
10. AT ALL AREAS WHERE MECHANICAL EQUIPMENT HAS BEEN REMOVED - PATCH AND PAINT EXISTING EXPOSED CONSTRUCTION - MATCH ADJACENT EXISTING CONSTRUCTION IN MATERIAL, TEXTURE, SIZE, FINISH AND COLOR.
11. CONTRACTOR TO VERIFY CONDITIONS AT EACH TRANSITION AND SIZE REDUCERS ACCORDINGLY

FLOOR FINISH PLAN LEGEND

	ETR (EXISTING TO REMAIN) - PROTECT EXISTING FLOORING DURING CONSTRUCTION - CONTRACTOR TO REPAIR ANY AFFECTED AREAS - MATCH ADJACENT FINISH IN MATERIAL, COLOR, TEXTURE AND SIZE
	CPT-1 - 24"X24" CARPET TILE - REFER TO SPECIFICATIONS FOR PATTERN AND COLOR
	LVT-1 AND LVT-2 WITH 4" RUBBER BASE - REFER TO SPECIFICATIONS FOR PATTERN AND COLORS
	PRT-1 - PORCELAIN TILE - REFER TO SPECIFICATIONS FOR PATTER AND COLOR.

Addendum 1

11. QUESTION: What is expected of the terrazzo flooring in the existing reception area and the doorways adjacent to the existing corridor where new flooring is to be installed? Is it to be demoed in its entirety?
    ANSWER: Existing Terrazzo (Approximately 6ft x 15ft) to remain at Existing Reception 101. Contractor to prep-existing subfloor for new floor finish as well as level, smooth and feather existing floor to match elevation of terrazzo.

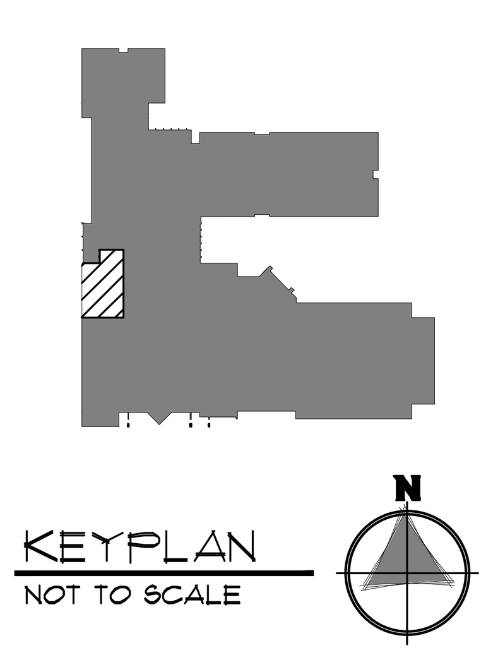
12. QUESTION: What would be the expectation with the terrazzo flooring and terrazzo base where the new walls are being built and where the existing walls are being demoed. Please advise.
    ANSWER: Remove existing floor finish and wall base as required to provide work indicated. Sawcut terrazzo at floor finish transition areas. At removed flooring and walls, patch and prep floor for new floor finish. Infill floor at removed terrazzo to meet existing floor level. At Existing Corridor A only, all new CMU walls should have no wall base. Provide appropriate ADA floor transition strips are every change in floor finish material.

13. QUESTION: Is the LVT1 & LVT2 a 50/50 random pattern blend? Or do they have a certain pattern they are wanting to use?
    ANSWER: Provide LVT-1: Interface, Studio Set #A007, Color A00702 Pewter only at the Existing Nurse 102.

14. QUESTION: Toilet 102A calls for tile on the walls, but there are no drawings or clear instructions. Are they taking this to the ceiling or a certain height off the floor? Also calls for ceramic tile wall base, but not very clear.
    ANSWER: Refer to drawing A3.00 (attached). Per spec section 09300, Floor Tile: 12"x24", Walls: 4"x24". Provide porcelain tile bull nose top trim piece (3"x12") and coved wall base to match specified wall tile.

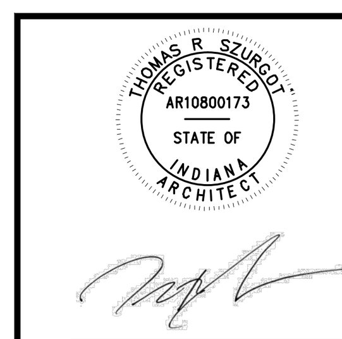
Addendum 2

1. QUESTION: Is there still LVT to be installed at Corridor 126?
   ANSWER: Yes. Provide LVT-1: Interface, Studio Set #A007, Color A00702 Pewter only.
2. QUESTION: Is all tile in Nurse Toilet to be porcelain tile?
   ANSWER: Yes.
3. QUESTION: There is no coved wall tile base to match porcelain tile. What should I provide?
   ANSWER: Provide Schluter®-DILEX-AHK at intersection of Wall Tile and Floor Tile.



AREA OF WORK
NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE



EXPIRES 12/01/2021

TRIA ARCHITECTURE

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OAS Ortegon & Arnold Sustainability, LLC
769 HEARTLAND DR., UNIT A SUGAR GROVE, ILLINOIS 60554

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: GM
ISSUED FOR PROPOSAL: 04/07/2020
REVISIONS: 1, 2, 3, 4, 5

PARTIAL FLOOR FINISH PLAN

A9.10

ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING	FLOORING	REF. NOTES
		WALL FINISH	WALL BASE	WALL FINISH	WALL BASE	WALL FINISH	WALL BASE	WALL FINISH	WALL BASE			
FIRST FLOOR												
101	EXISTING RECEPTION	~~PT-1~~	RBB-1	~~PT-1~~	RBB-1	~~PT-1~~	RBB-1	~~PT-1~~	RBB-1	SAT-1	CPT-1	-
102	EXISTING NURSE	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	SAT-1	LVT-1/LVT-2	-
102A	TOILET	PRT-1	PRT-1	PRT-1	PRT-1	PRT-1	PRT-1	PRT-1	PRT-1	SAT-1	PRT-1	-
103	EXISTING OFFICE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
104	EXISTING OFFICE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
126	EXISTING STAFF LOUNGE	PT-1/ETR	RBB-1/ETR	PT-1/ETR	RBB-1/ETR	ETR	ETR	ETR	ETR	SAT-1/ETR	ETR	-
126A	EXISTING TOILET	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
126B	EXISTING TOILET	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
126C	CORRIDOR	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	SAT-1	LVT-1/LVT-2	-
A	CORRIDOR	ETR	ETR	ETR	ETR	ETR	ETR	PT-1/ETR	-	SAT-1/ETR	ETR	-

ROOM FINISH SCHEDULE LEGEND

PT-1	PAINT COLOR 1 - GENERAL FIELD COLOR
PT-2	PAINT COLOR 2 - INTERIOR METAL FRAMES
RBB-1	4" RUBBER BASE - REFER TO SPECIFICATIONS FOR COLOR
CPT-1	24"X24" CARPET TILE - REFER TO SPECIFICATIONS FOR PATTERN AND COLOR
LVT-1	REFER TO SPECIFICATIONS FOR PATTERN AND COLOR
LVT-2	REFER TO SPECIFICATIONS FOR PATTERN AND COLOR
PRT-1	PORCELAIN TILE - REFER TO SPECIFICATIONS FOR PATTERN AND COLOR
SAT-1	SUSPENDED ACOUSTICAL TILE CEILING

ROOM FINISH GENERAL NOTES

1. ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS.
2. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. REFER TO FLOOR PLANS AND WALL TYPES FOR WALL CONSTRUCTION.
4. REFER TO REFLECTED CEILING PLANS FOR CEILING CONSTRUCTION AND SOFFIT LOCATIONS.
5. ALL FINISHES, FURNITURE, AND EQUIPMENT ARE TO BE PROTECTED DURING WORK.
6. ALL EXPOSED NEW CONSTRUCTION (LISTED IN THE SCHEDULE OR NOT) SHALL BE PAINTED ,EXCEPT FOR PREFINISHED MATERIALS, UNLESS NOTED OTHERWISE.
7. ALL EXISTING CONSTRUCTION ON SURFACES LISTED IN SCHEDULE, EXCEPT FOR PREFINISHED ITEMS OR FOR SURFACES LISTED AS EXISTING TO REMAIN, SHALL BE PAINTED UNLESS NOTED OTHERWISE.
8. ALL EXISTING PAINTED SURFACES IMMEDIATELY ADJACENT TO AREAS AFFECTED BY CONSTRUCTION SHALL BE PAINTED AS NEEDED TO BLEND NEW CONSTRUCTION INTO EXISTING AND TO TOUCH-UP DAMAGED PAINT SURFACES ON EXISTING SURFACES.
9. ALL EXPOSED PIPING, DUCTWORK ELECTRICAL CONDUIT, SPRINKLER PIPING, AND ALL OTHER EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS TO BE PAINTED UNLESS NOTED OTHERWISE.
10. ALL NEW HOLLOW METAL DOORS AND FRAMES (ALL EXPOSED FACES) SHALL BE PAINTED UNLESS NOTED OTHERWISE (PT-2)
11. ALL EXISTING HOLLOW METAL DOORS AND FRAMES (ALL EXPOSED FACES) IN WALLS LISTED IN SCHEDULE SHALL BE PAINTED, EXCEPT FOR LOCATIONS INDICATED TO BE EXISTING TO REMAIN. (PT-2)
12. AT ALL DOORS AND FRAMES INSTALLED IN EXISTING WALL CONSTRUCTION - PATCH AND PAINT EXISTING WALL, JAMB AND HEAD SURFACES AFTER FRAME INSTALLATION.
13. AT ALL LOCATIONS OF EXISTING EQUIPMENT, CASEWORK, OR FURNISHINGS TO BE REMOVED, PAINT THE EXISTING WALL CONSTRUCTION EXPOSED BY REMOVAL OF THESE ITEMS TO MATCH EXISTING ADJACENT WALL FINISHES.
14. DO NOT PAINT PREFINISHED ITEMS (FACE BRICK, FIRE ALARM DEVICES, TILE FINISHES, ETC...).
15. ALL FLOORING SHALL BE STABLE, FIRM AND SLIP-RESISTANT AND SHALL COMPLY WITH SECTION 400.10/A.5 OF THE STATE OF ILLINOIS ACCESSIBILITY CODE.
16. ALL FLOOR DRAINS, CLEANOUT COVERS AND ELECTRICAL FLOOR DEVICES ARE TO BE FLUSH WITH FINISHED FLOORING. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
17. TRANSITIONS IN FLOOR FINISHES, COLORS, OR PATTERNS ARE TO OCCUR AT THE CENTER OF DOORS UNLESS NOTED OTHERWISE.
18. ALL TRANSITIONS BETWEEN FLOORING MATERIALS TYPES ARE TO RECEIVE A TRANSITION STRIP.
19. FLOOR FINISHES INDICATED IN SCHEDULE SHALL CONTINUE UNDER ALL FIXTURES, EQUIPMENT, AND CASEWORK UNLESS NOTED OTHERWISE.
20. PROVIDE WALL BASE AT ALL LOCATIONS OF NEW FLOOR FINISH OR NEW WALL CONSTRUCTION - UNLESS NOTED OTHERWISE.

TRIA ARCHITECTURE

MEMO

VIA E-MAIL
(1) Page(s) Inclusive
jpf@ldconstruction.com

PROJECT: Duneland School Corporation – 2020 Nurse Renovation - Bailly
TO: Jonathan Foglesong
FROM: Tom Szurgot
DATE: June 23, 2020
PROJ. #: 20-006
RE: Color Selections

Please see the following color selections:

LVT
- LVT#1 – Interface "Pewter" (Rooms: 102, 126c)
- LVT#2 – Interface "Pepper" NOT NEEDED

FLOOR AND WALL TILE
- Daltile Fabrique "Crème Linen P686" (Room 102A)
- *Match floor and wall tile layout as per the existing kindergarten toilet room as discussed.*

GROUT
- Custom Building Products – "Snow White #11"

METAL EDGE
- Schluter "Dilex-AHK" Satin Anodized

RUBBER BASE
- Tarkett – "Burgundy #85"

CARPET
- CPT#1 – Tandus "Forge" NOT NEEDED
- CPT#2 – Interface Aerial "Iron" (Room 101)
- CPT#3 – Interface Viva Colores "Cereza" NOT NEEDED

CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: August 6, 2020
Eliminate Painting Room 101
Terrazzo Patching

AREA OF WORK
NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE

THOMAS R. SZURGOT
A#10800173
STATE OF INDIANA
ARCHITECT

EXPIRES 12/01/2021

TRIA ARCHITECTURE

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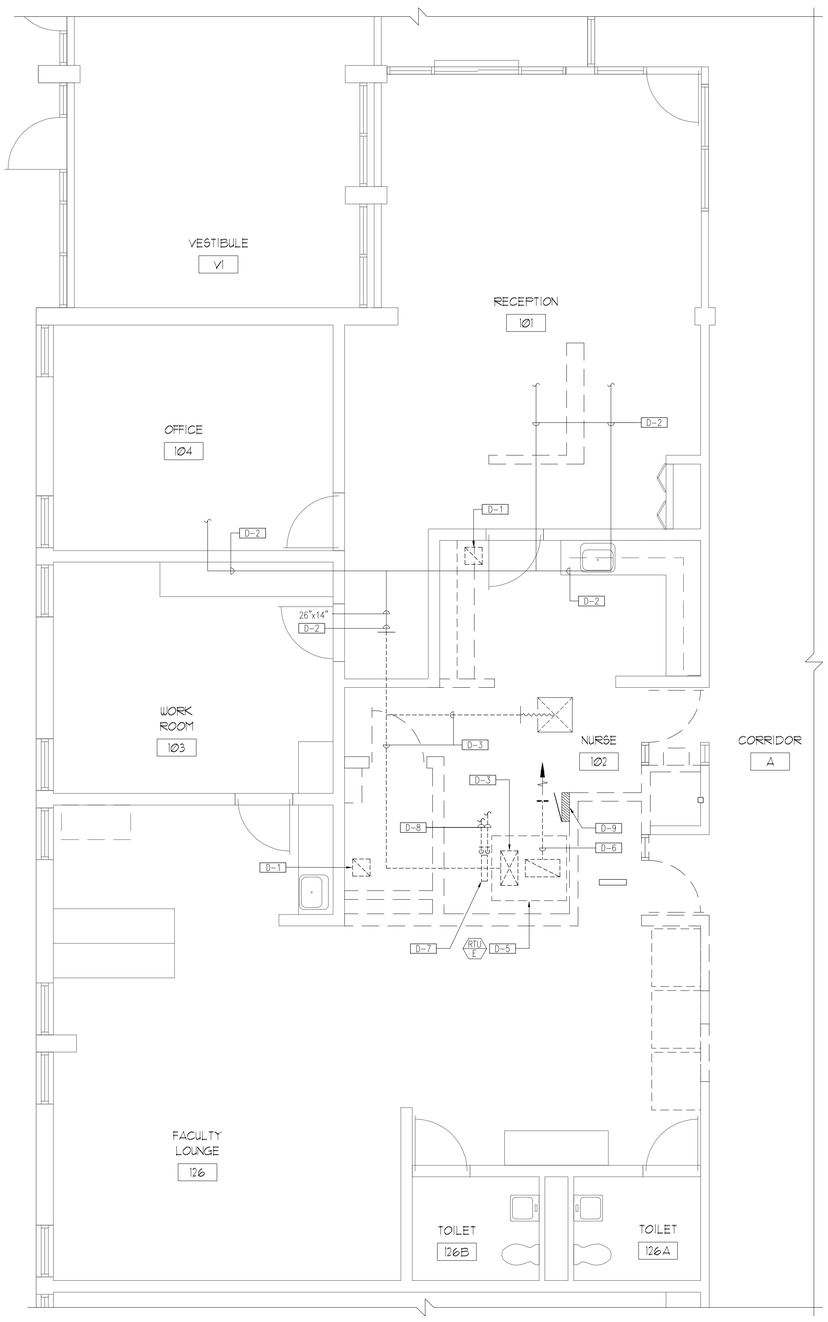
DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

REVISIONS:

PROJECT NUMBER: 20-006
PROJECT MANAGER: TG
DRAWN BY: GH
ISSUED FOR PROPOSAL: 06/07/2020

ROOM FINISH SCHEDULE

A9.50



1 PARTIAL EXISTING FLOOR PLAN - MECHANICAL
1/4" = 1'-0"

MECHANICAL DEMOLITION SYMBOLS

SYMBOL	DESCRIPTION
R	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED.
X	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
XN	EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION).
XRR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED

MECHANICAL DEMOLITION NOTES:

D-1 REMOVE EXISTING RETURN/ EXHAUST REGISTER. EXHAUST DUCT WORK TO REMAIN AND BE CAPPED ABOVE THE CEILING.

D-2 EXISTING SUPPLY DUCT TO REMAIN.

D-3 CUT EXISTING SUPPLY DUCT IN CORRIDOR

D-4 REMOVE EXISTING SUPPLY DUCTWORK, INCLUDING ELBOW AT DUCT DROP FROM RTU-E.

D-5 RTU-E TO REMAIN.

D-6 REMOVE RETURN DUCT AND ELBOW UP TO RTU-E.

D-7 REMOVE HOT WATER HEATING COIL.

D-8 CUT 3/4" HWS & R ± 2'-0" FROM HEATING COIL. INSTALL SHUT-OFF BALL VALVES FOR INSTALLATION OF NEW HOT WATER HEATING COIL. EXISTING COIL CONTROLS TO REMAIN TO INCLUDE CONTROL VALVE, CONTROLLER, WIRING, ETC.

D-9 EXISTING JCI CONTROL CABINET, LOCATED ABOVE THE CEILING TO BE RELOCATED PER NEW WORK DRAWING. CONTROLS TO BE DONE BY JCI, CALUMET CITY, IL. OFFICE; CONTACT MARY PULLO @ 708-828-3421; NO SUBSTITUTIONS.

GENERAL NOTES FOR MECHANICAL WORK

1. DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING AND DUCTWORK AS SHOWN, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. EACH CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.
2. IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLEARNESS OF PRESENTATION.
3. CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITION AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.
4. CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF PIPING, DUCTWORK, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.
5. WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.
6. CONTRACTOR SHALL PROVIDE SLEEVES IN FLOORS AND WALLS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK.
7. THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS CALLED FOR IN THE SPECIFICATION AND/OR AS DIRECTED.
8. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE OTHER TRADES CONTRACTORS WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING AND REFINISHING OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OF THEIR WORK. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE NEW CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, AND REFINISHING.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE ARCHITECT/ENGINEER WILL DIRECT ANOTHER CONTRACTOR TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE ARCHITECT/ENGINEER.
11. CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORTING OF THEIR PIPING, DUCTWORK, CONDUIT, TANKS, EQUIPMENT, ETC. ALL SUPPORTING STEEL FOR ITEMS ABOVE A SUSPENDED CEILING SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.
12. ALL PIPING SHALL BE SUSPENDED WITH CLEVIS AND/OR TRAPEZE PIPE HANGERS. INSULATED PIPING SHALL REST ON STEEL OR WOOD (CHILLED WATER PIPING) PIPE COVERING PROTECTION SADDLES OR SHEET METAL INSULATION SHIELDS AS CALLED FOR IN THE SPECIFICATIONS AND/OR DETAILED ON THE DRAWINGS.
13. ALL WATER SUPPLY AND RETURN PIPING SHALL BE INSULATED, INCLUDING ALL PIPING ABOVE CEILINGS, INSIDE EQUIPMENT, CABINETS, PIPE CHASES AND IN WALLS. SEE SPECIFICATIONS FOR TYPE AND THICKNESS OF INSULATION.
14. ALL HOT WATER SUPPLY/RETURNS PIPING SHALL BE INSTALLED TO COMPENSATE FOR EXPANSION OF THE PIPE BY INSTALLING PIPE ANCHORS, GUIDES, EXPANSION JOINTS OR LOOPS AND PIPE OFFSETS AS REQUIRED BY FIELD CONDITIONS OR AS SHOWN ON THE DRAWINGS.
15. PITCH ALL SUPPLY AND RETURN WATER LINES TO DRAIN COMPLETELY THROUGH LOWER EQUIPMENT, UNIONS, OR DRAIN VALVES. INSTALL A 1/2" DRAIN VALVE WITH 3/4" HOSE THREAD OUTLET IN ALL MAIN PIPING RUNS WHICH WOULD NOT BE ABLE TO DRAIN THRU A LOWER PIECE OF EQUIPMENT. ALL DRAIN VALVES TO BE BALL VALVES.
16. INSTALL A MANUAL SHUT OFF COCK AND DIRT LEG ON EACH BRANCH GAS LINE CONNECTED TO GAS FIRED EQUIPMENT. ALL VENT LINES FROM EACH GAS REGULATOR SHALL BE GROUPED INTO A COMMON HEADER AND RUN UP THRU ROOF TO A TURNED DOWN ELBOW WITH GALVANIZED INSECT SCREEN OVER OPENING.
17. RECESSED AND/OR SEMI-RECESSED CABINET UNIT HEATERS (CUH) SHALL BE MOUNTED A MINIMUM OF 8" ABOVE THE FLOOR AND HAVE A FOUR (4) SIDE FLANGED OVERLAP WALL GUARD FRAME.
18. ALL ROOF MOUNTED EXHAUST FANS SHALL HAVE A BUILT IN DISCONNECT SWITCH, ALUMINUM BIRD SCREEN, MOTORIZED DAMPER OR MANUAL BACKDRAFT DAMPER (REFER TO SCHEDULE) AND SHALL BE MOUNTED ON AN ALUMINUM PREFABRICATED CURB WITH SOUND INSULATION ON THE INSIDE OF THE CURB. CURB HEIGHT SHALL BE A MINIMUM OF 18 INCHES ABOVE ROOF DECK.
19. ALL DUCTWORK SIZES SHOWN ON THE DRAWINGS ARE INSIDE DIMENSIONS. WHERE DUCT LINING IS CALLED FOR CONTRACTOR SHALL INCREASE THE SIZE OF THE DUCT TO MAINTAIN THE MINIMUM INSIDE DIMENSIONS CALLED FOR ON THE DRAWINGS.
20. MECHANICAL CONTRACTOR SHALL COORDINATE ALL SERVICE POINTS ON VAV BOXES WITH THE INSTALLATION OF NEW WORK IN THIS PROJECT AND NEW BUILDING CHARACTERISTICS TO MAKE SURE ACCESSIBILITY IS MAINTAINED.
21. ALL DUCTWORK CONNECTIONS TO AIR MOVING EQUIPMENT SHALL BE MADE WITH FLEXIBLE DUCT CONNECTIONS ON THE INLET AND DISCHARGE OF ALL SUPPLY, RETURN AND EXHAUST FANS (EXCEPT ROOF MOUNTED EXHAUST FANS).
22. ALL BUILT UP UNITS SHALL HAVE INTERNAL SPRING VIBRATION ISOLATORS. ALL SUSPENDED EXHAUST AND EXHAUST/RETURN FANS SHALL BE HUNG WITH OR SET ON SPRING VIBRATION ISOLATORS.
23. INSTALL TURNING VANES IN ALL SQUARE DUCT ELBOWS. INSTALL MANUAL VOLUME DAMPERS IN EACH BRANCH DUCT AT CONNECTION TO MAIN DUCT AND IN EACH DUCT AFTER A BRANCH DUCT SPLIT.
24. INSTALL A MINIMUM 12" X 12" ACCESS DOOR (INLET SIDE) AT EACH MOTORIZED DAMPER, FIRE DAMPER, SMOKE DAMPER, INLINE FAN, INTAKE AND EXHAUST PLENUMS AND AN ACCESS DOOR AT AIR SUPPLY UNIT FILTER SECTION.
25. THE LOCATIONS SHOWN FOR ALL DIFFUSERS, REGISTERS AND GRILLES, ETC. ARE DIAGRAMMATIC. EXACT LOCATION SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS AND/OR ON THE JOB SITE BY THE ARCHITECT/ENGINEER REPRESENTATIVES.
26. INSTALL CODE APPROVED FUSIBLE LINK FIRE DAMPERS IN ALL DUCTS WHICH PASS THROUGH FAN ROOM WALL, BOILER ROOM WALL, MECHANICAL ROOM WALL, AND ALL FLOORS OR AS INDICATED ON DRAWINGS. WHERE FIRE DAMPERS CANNOT BE CHECKED FROM A REGISTER OR GRILLE, INSTALL AN ACCESS DOOR IN THE DUCT NEXT TO THE DAMPER AND ACCESS PANEL IN ALL NEW ACCESSIBLE CEILINGS.
27. UNLESS INDICATED OTHERWISE, THE ARCHITECT/ENGINEER MAKES NO REPRESENTATION AS TO WHETHER OR NOT ANY HAZARDOUS OR CONTAMINATED MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB'S, CONTAMINATED SOILS, ETC.) ARE PRESENT WITHIN THE EXISTING BUILDING OR ON THE SITE. WORK SHOWN ON THE DRAWINGS AND/OR INDICATED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CALL FOR CONTACT WITH ANY OF THESE MATERIALS. IF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL NOT DISTURB THEM AND SHALL CONTACT THE ARCHITECT/ENGINEER IMMEDIATELY.
28. CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 6 X 6 PLANKS AND/ OR WOOD PALLETS. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUIN. ALL PIPING AND DUCTWORK WILL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT WILL BE ALLOWED TO BE STORED ON THE SITE UNLESS IT IS SITTING ON WOOD PLANKS AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.
29. SEE LARGE SCALE DRAWINGS (DETAILS) FOR ALL REQUIRED VALVES, FITTINGS, GAUGES, VENTS, THERMOMETERS WHICH ARE CONNECTED TO FINNED TUBE RADIATION (FTR), AIR HANDLING UNITS (AHU), CABINET UNIT HEATERS (CUH), SUSPENDED UNIT HEATERS (SUH), HOT AND CHILLED WATER COILS, EXPANSION TANKS (ET), AIR SEPARATORS (AS), PUMPS, ETC. ALL WORK SHOWN ON DETAILS SHALL BE BY INSTALLING CONTRACTOR UNLESS OTHERWISE NOTED.
30. ALL AUTOMATIC MOTORIZED DAMPERS SHALL BE FURNISHED BY BAS CONTRACTOR (EXCEPT FOR DAMPERS FURNISHED WITH PACKAGED AIR HANDLING UNITS AND PROVIDED WITH POWER ROOF EXHAUST FANS) AND INSTALLED BY MECHANICAL CONTRACTOR. ALL DAMPER MOTORS FURNISHED AND INSTALLED BY BAS CONTRACTOR
31. MECHANICAL CONTRACTOR SHALL PROVIDE ON SITE SCHOOLING OF OWNERS OPERATING PERSONNEL FOR ALL SYSTEMS AND EQUIPMENT INSTALLED UNDER HIS CONTRACT.
32. BEFORE STARTING ANY SYSTEM INSTALLING CONTRACTOR SHALL CONTACT EQUIPMENT MANUFACTURER TO VERIFY THAT EACH PIECE OF EQUIPMENT OR SYSTEM HAS BEEN CHECKED FOR PROPER LUBRICATION, DRIVE ROTATION, BELT TENSION, CONTROL SEQUENCE OR OTHER CONDITIONS WHICH MAY CAUSE DAMAGE TO THE EQUIPMENT OR SYSTEM.
33. MECHANICAL CONTRACTOR TO FURNISH AND INSTALL ALL GAS REGULATORS ON THE LEAVING SIDE OF THE GAS METER. EACH GAS REGULATORS WILL HAVE A VENT PIPE WHICH TERMINATES 18" ABOVE THE ROOF WITH A GOOSENECK.
34. MECHANICAL CONTRACTOR SHALL INSTALL ALL WELLS IN PIPING FOR MOUNTING OF BUILDING AUTOMATION SYSTEM CONTROLS AND MECHANICAL CONTRACTOR'S THERMOMETERS AND GAUGES. MECHANICAL CONTRACTOR WILL COORDINATE THE EXACT LOCATION OF BUILDING AUTOMATION SYSTEM CONTRACTOR'S CONTROLS WITH HIM PRIOR TO INSTALLING WELLS.
35. MECHANICAL CONTRACTOR SHALL RUN INSULATED DRAIN PIPES FROM ALL HEATING/COOLING FAN COIL UNITS AND UNIT VENTILATORS. SEE DRAWINGS AND DETAILS FOR LOCATION OF TERMINATION OF DRAIN PIPING. ALL CONDENSATE DRAIN PIPES MUST BE PITCHED AWAY FROM THE DRAIN PAN. ALL CONDENSATE DRAIN PIPES WILL BE INSULATED FROM UNIT TO TERMINATION POINT.
36. MECHANICAL CONTRACTOR SHALL INSTALL DRAIN PIPING FROM ALL BUILT-UP AIR HANDLING UNITS. DRAIN PIPE WILL BE RUN FROM UNIT DRAIN PAN TO NEAREST FLOOR DRAIN.
37. THE MECHANICAL CONTRACTOR TO PROVIDE 1/4 INCH SCALE PIPING AND DUCTWORK DRAWINGS FOR COORDINATION WITH OTHER TRADES. DRAWINGS TO INDICATE DIMENSIONS AND ELEVATIONS OF ALL PIPING AND DUCTWORK. DRAWINGS TO ALSO INCLUDE ALL WALL/FLOOR/ROOF OPENINGS.
38. MECHANICAL CONTRACTOR TO PROVIDE SCHEDULE OF CURB INSTALLATION/REMOVAL ON EXISTING ROOF AREAS TO CONTRACTOR FIVE (5) WORKING DAYS IN ADVANCE. ANY REVISIONS TO THIS SCHEDULE RESULTING IN UN-PATCHED ROOF TIE-INS AND DAMAGE TO EXISTING CONDITIONS SHALL BE REPAIRED BY MECHANICAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
39. ALL PIPE PASSING THRU WALLS SHALL HAVE A GALVANIZED SHEET METAL OR SCHEDULE 40 STEEL PIPE SLEEVE INSTALLED AROUND THE PIPE AND PIPE INSULATION. SEE SLEEVE DETAILS THESE DRAWINGS.
40. INSTALL A SHEET METAL SLEEVE AROUND ANY DUCTWORK WHICH GOES THROUGH WALL CONSTRUCTION, PACK FIBERGLAS INSULATION AROUND SLEEVE AND DUCT AND CAULK WITH FIRE SEAL CAULKING.
41. WHEN INSTALLING EXPANSION JOINTS, CONTRACTOR SHALL INSTALL A PIPE ANCHOR AT EACH END OF RUN AND PIPE GUIDES A MINIMUM OF EVERY TWENTY-FIVE (25) FEET OR AS CALLED FOR ON THE DRAWINGS. MOUNT THE FIRST PIPE GUIDE LOCATED ON EACH SIDE OF THE EXPANSION JOINT A MINIMUM OF FOUR (4) PIPE DIAMETERS FROM THE EXPANSION JOINT.
42. THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT LISTED AS A SPECIFIED ACCEPTABLE MANUFACTURER BUT IS NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE ON THE EQUIPMENT.
43. CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT HE SUBMITS FOR REVIEW MEETS THE CAPACITY AND DUTY SPECIFIED.
44. WHEN EQUIPMENT IS SUBMITTED FOR REVIEW AND DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.

KEYPLAN
NOT TO SCALE

TRIA ARCHITECTURE

MEP/FP CONSULTANT:
IDAS
ENGINEERS & ARCHITECTS
765 HEARTLAND DR., UNIT A SUGAR GROVE, ILLINOIS 60554
(P) 630.538.1996

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

DUNELAND SCHOOL CORPORATION Chesterton, Indiana

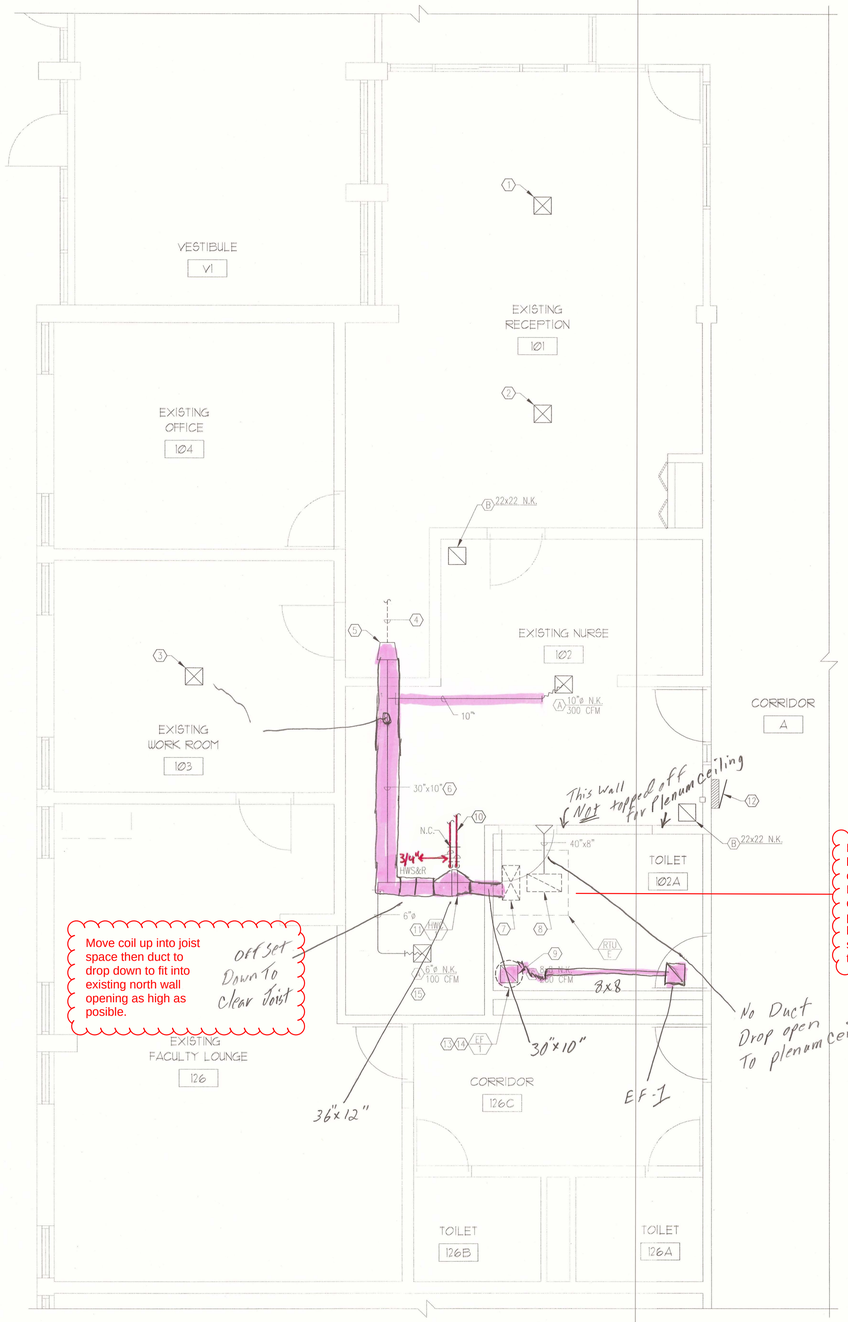
PROJECT NUMBER:	20-006
PROJECT MANAGER:	MG
DRAWN BY:	GAS
ISSUED FOR PROPOSAL:	04/07/2020
REVISIONS:	

PARTIAL EXISTING FLOOR PLAN
MECHANICAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF INDIANA.
REGISTERED No. PE10911154 STATE OF INDIANA PROFESSIONAL ENGINEER
EXPIRES: 07/31/2020
Timothy O. Haggerty

M0.10

PLOTTED BY: CARL DUGEL DATE PLOTTED: 4/7/2020 7:44 AM FILE PATH AND NAME: P:\139-D-1 DSC Baily Elementary School Nurse Office Renovation\M\139-D-1 M0.10



1 PARTIAL FLOOR PLAN - MECHANICAL
1/4" = 1'-0"

DIFFUSER, GRILLE AND REGISTER

(NECK SIZE / AIR QTY. (CFM))

TAG	MANUFACTURER	MODEL NUMBER	TYPE	SERVICE	MATERIAL	MAXIMUM NC	NOTES
A	TITUS	TMA	LAY-IN	SUPPLY	ALUMINUM	30	1,6
B	TITUS	50F	LAY-IN	RETURN	ALUMINUM	30	5
C	TITUS	350RS	LAY-IN	EXHAUST	ALUMINUM	30	1,6

NOTES:
1. OFF-WHITE BAKED ENAMEL FINISH
2. FINISH SELECTED BY ARCHITECT
3. FACE ADJUSTABLE AIR SCOOP DAMPER
4. ANODIZED FINISH
5. 1/2"x1/2"x1" GRID
6. OPPOSED BLADE DAMPER
7. CONCEALED SURFACE MOUNTED FASTENING

HOT WATER COIL SCHEDULE (HWC)

TAG	LOCATION	SERVICE	MANUFACTURER	SIZE (IN.)	ROWS	FINS PER INCH	FACE VELOCITY (FPM)	TOTAL MBH	CFM	MAX. AIR PRESSURE DROP (IN.)	EAT (°F)	LAT (°F)	GPM	MAX. WATER PRESSURE DROP FT.	EWT (°F)	LWT (°F)	NOTES
HWC 1	NURSE 102	RTU-E	CARRIER	36 x 12	2	14	767	175	2,300	0.57	40.0	95.1	8.9	6.4	170.0	130.0	1,2,3,

NOTES:
1. PROVIDE ACCESS DOOR ON INLET AND OUTLET OF COIL FOR INSPECTION/CLEANING.
2. FIELD VERIFY EXACT COIL SIZE PRIOR TO ORDERING.
3. COIL TO BE DRAINABLE.
4. SEE SPECIFICATIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS.

MECHANICAL KEY NOTES:

1. EXISTING DIFFUSER TO BE BALANCED AT 400CFM.
2. EXISTING DIFFUSER TO BE BALANCED AT 300CFM.
3. EXISTING DIFFUSER TO BE BALANCED AT 600CFM.
4. EXISTING 26"x14" SUPPLY DUCT.
5. TIE NEW 30"x10" (OD) TO EXISTING 26"x14" (OD).
6. NEW 30"x10" DUCT TOP TO BE TIGHT TO UNDERSIDE OF JOISTS TO ENABLE CEILING TO BE RAISED.
7. MODIFY EXISTING SUPPLY DROP TO TRANSITION TO 30"x10" DUCT. TOP OF DUCT TO BE TIGHT TO UNDERSIDE OF JOIST.
8. MODIFY EXISTING RETURN DROP TO TRANSITION TO 40"x8" DUCT TIGHT TO BOTTOM OF JOIST. RETURN TO BE OPEN TO CEILING PLENUM.
9. 8"x8" EXHAUST DUCT UP THRU ROOF TO EF-1.
10. TIE NEW 3/4" HWS & R INTO EXISTING; ABOVE CEILING AND RUN TO NEW HWC-1.
11. NEW HOT WATER HEATING COIL HWC-1. EXISTING CONTROLS TO CONTROL HOT WATER COIL AS PREVIOUSLY PROGRAMMED. BOTTOM OF DUCT SHALL BE FLAT. TOP OF DUCT TO RISE INTO JOIST SPACE FOR COIL INSTALLATION.
12. RELOCATED JCI CONTROL PANEL/ BOX. INSTALL ABOVE CEILING IN CORRIDOR. EXTEND ALL WIRING/ CABLE AS REQUIRED. CONTROLS TO BE BY JCI, CALUMET CITY, IL., CONTACT MARY PULLO @ 708-828-3421; NO SUBSTITUTIONS.
13. PROVIDE ON-OFF CONTROL OF EF-1 THROUGH JCI DDC CONTROL SYSTEM. PROGRAM TO WATCH EXISTING EF CONTROL STRATEGY.
14. FURNISH AND INSTALL EF-1 DOWN BLAST ROOF EXHAUST FAN ON 18" MANUFACTURERS CURB.
    MANUFACTURER: GREENHECK
    MODEL: CUBE-VG
    CAPACITY: 2500CFM @ 0.375"SP
    ELECTRICAL: 120V, 1PH, 1/10HP
    ACCESSORIES:
    A. GRAVITY BACK DRAFT DAMPER
    B. FACTORY DISCONNECT SWITCH
    C. 18" CURB
15. COORDINATE FINAL LOCATION OF THIS DIFFUSER WITH LIGHTING AND CURTAIN TRACK MOUNTING ON CEILING.

CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: August 6, 2020

MEP Revisions at Nurse Area

AREA OF WORK
NOT IN SCOPE OF WORK

AS-BUILT

KEYPLAN
NOT TO SCALE

TRIA ARCHITECTURE

MEP/FP CONSULTANT:
OAS
O'Hagans & Arnold
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DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

DUNELAND SCHOOL CORPORATION Chesterton, Indiana

REVISIONS

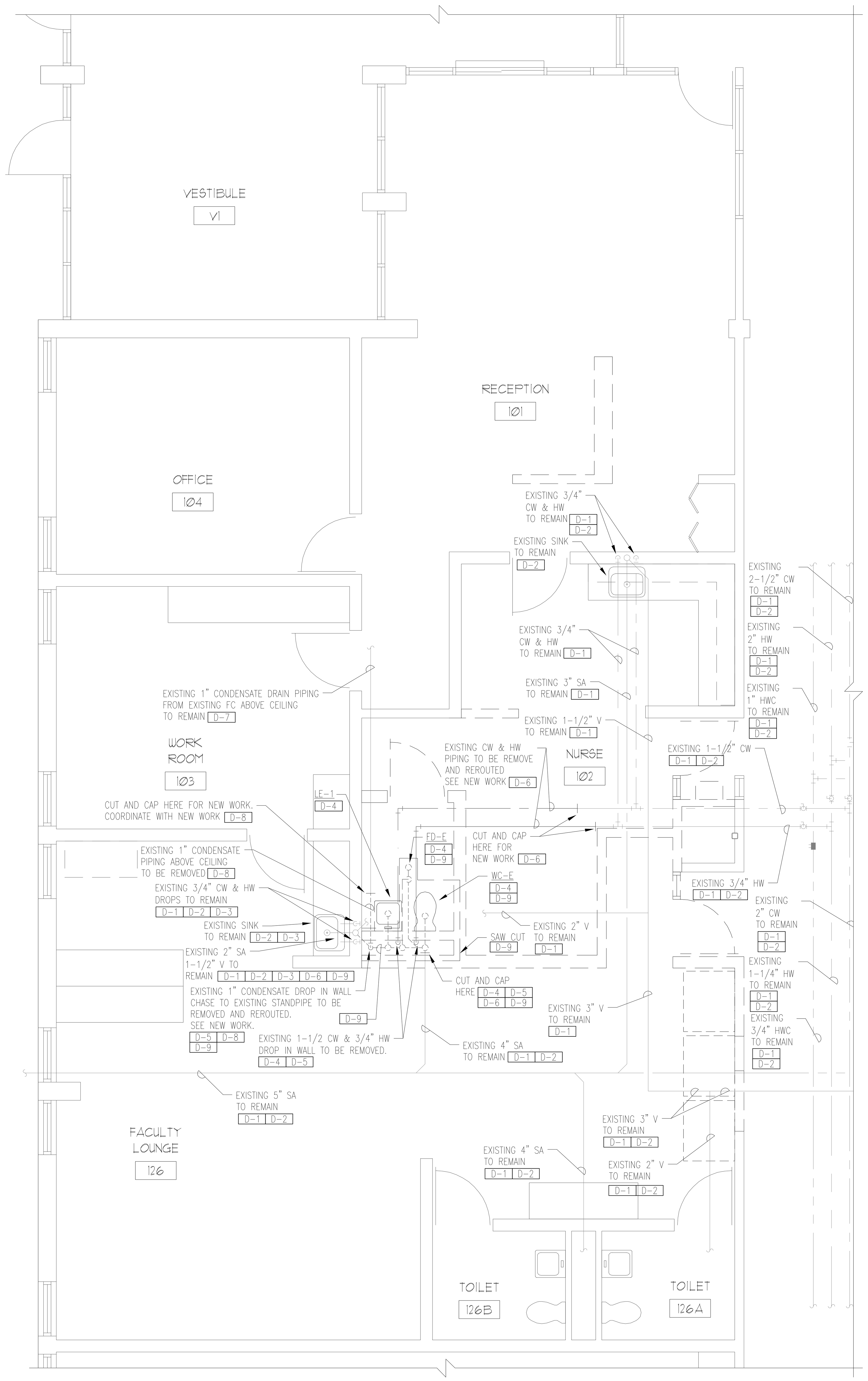
PROJECT NUMBER: 20-006
PROJECT MANAGER: KS
DRAWN BY: CJ45
8/4/2020 ISSUED FOR PROPOSAL

PARTIAL FLOOR PLAN - MECHANICAL

STATE OF INDIANA REGISTERED PROFESSIONAL ENGINEER
No. PE10911154
EXPIRES: 07/31/2020

M1.10

PLOTTED BY: CARL FUGEL DATE PLOTTED: 4/7/2020 7:44 AM FILE PATH AND NAME: P:\139-D-1 DSC Bailly Elementary School Nurse Office Renovation\M\139-D-1 M1.10



1 PARTIAL EXISTING FLOOR PLAN - PLUMBING
1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO INSULATE ALL NEW PIPING AND CONNECTIONS PER INDIANA ENERGY CONSERVATION CODE.
2. ALL NEW DOMESTIC WATER PIPING TO BE DISINFECTED PER THE INDIANA PLUMBING CODE AND AHJ.
3. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL SANITARY, VENT, AND WATER PIPING PRIOR TO WORK.
4. CONTRACTOR TO VERIFY NO CONDUIT OR PIPING ARE IN SAW CUT AREAS PRIOR TO SAW CUTTING FLOORS OR WALLS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY CEILING, WALL, OR FLOOR REMOVAL / REPLACEMENT REQUIRED BY NEW WORK. PATCH TO MATCH.
6. CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, AND PAINTING FOR INSTALLATION OF NEW WORK. SEE ARCHITECTURAL FOR MORE INFORMATION.
7. ALL PLUMBING, NEW AND EXISTING, AFFECTED BY THIS WORK MUST BE COMPLIANT TO INDIANA PLUMBING CODE AND AHJ. IN THE EVENT OF CONFLICT BETWEEN CODES AND DRAWINGS, THE CODES SHALL BE FOLLOWED.
8. CONCRETE FLOOR SLAB NEEDS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED – FOR BOTH EXISTING AND NEW DRAWINGS
9. ALL NEW PIPING MUST BE COORDINATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, STRUCTURAL, CIVIL, AND EQUIPMENT.
10. ENSURE NO DEAD ENDS REMAIN IN SANITARY, WATER, OR VENT SYSTEM AFTER PIPING HAS BEEN REMOVED. ENSURE COMPLIANCE TO INDIANA PLUMBING CODE AND AHJ.
11. ALL PLUMBING VENT TERMINALS SHALL BE A MINIMUM OF 12'–0" AWAY FROM ANY INTAKE AS PER INDIANA PLUMBING CODE AND AHJ.

DEMOLITION NOTES:

D–1 CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SA, VENT, CW, HW, HWC PIPING BEFORE START OF WORK. IDENTIFY PIPING LOCATIONS, DROPS, CONNECTION, VALVES, SIZES, CONDITION, AND DIRECTION OF FLOW.

D–2 EXISTING TO REMAIN.

D–3 EXISTING FIXTURE TO REMAIN. EXISTING SA AND VENT TO REMAIN. CAP EXISTING SA FOR RECONNECTION TO NEW. EXISTING CW & HW DROPS IN WALL ARE TO REMAIN. TIE NEW CW & HW INTO EXISTING DROPS IN WALL. SEE NEW WORK.

D–4 EXISTING FIXTURES ARE TO BE REMOVED IN THEIR ENTIRETY. CUT AND CAP SA BELOW FLOOR. PATCH FLOOR TO MATCH. CUT AND CAP VENT TO MAIN. CUT AND CAP CW & HW PIPING BACK TO AREA INDICATED. ENSURE NO DEAD ENDS EXIST. ENSURE COMPLIANCE TO INDIANA PLUMBING CODE AND AHJ.

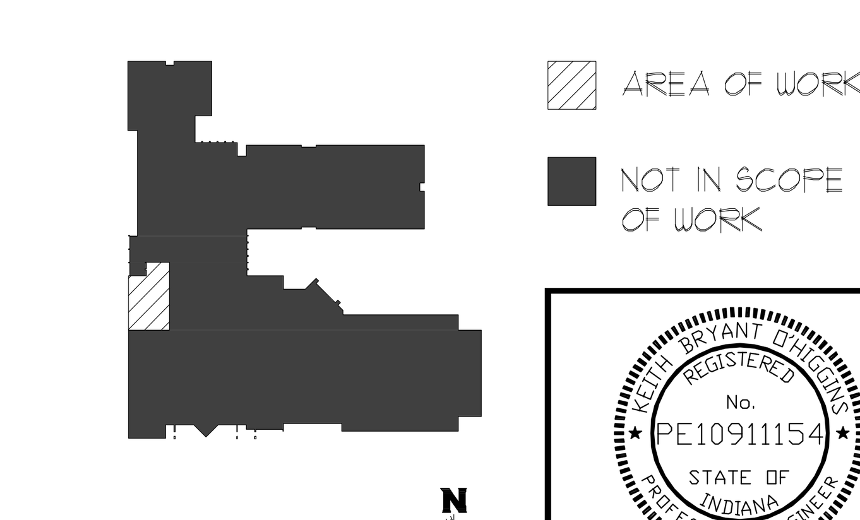
D–5 REMOVE ALL EXISTING SA, VENT, CW, & HW PIPING IN WALLS TO BE REMOVED.

D–6 REMOVE EXISTING SA, VENT, CW, OR HW TO AREA INDICATED. COORDINATE WITH NEW WORK. ENSURE NO DEAD ENDS EXIST.

D–7 EXISTING CONDENSATE PIPING ABOVE CEILING TO REMAIN. VERIFY LOCATION SIZE AND CONDITION. CAP FOR RECONNECTION TO NEW.

D–8 EXISTING CONDENSATE PIPING AND DROP IN WALL CASE TO STAND PIPE IS TO BE REMOVED AND RELOCATED. COORDINATE WITH NEW WORK. SEE NEW WORK.

D–9 PLUMBING CONTRACTOR TO VERIFY LOCATION OF EXISTING SANITARY / STORM / VENT / CONDUIT OR OTHER PIPING UNDER FLOOR PRIOR TO FLOOR CUTTING. COORDINATE ALL FLOOR CUTTING WITH EQUIPMENT AND OWNER.



KEYPLAN
NOT TO SCALE

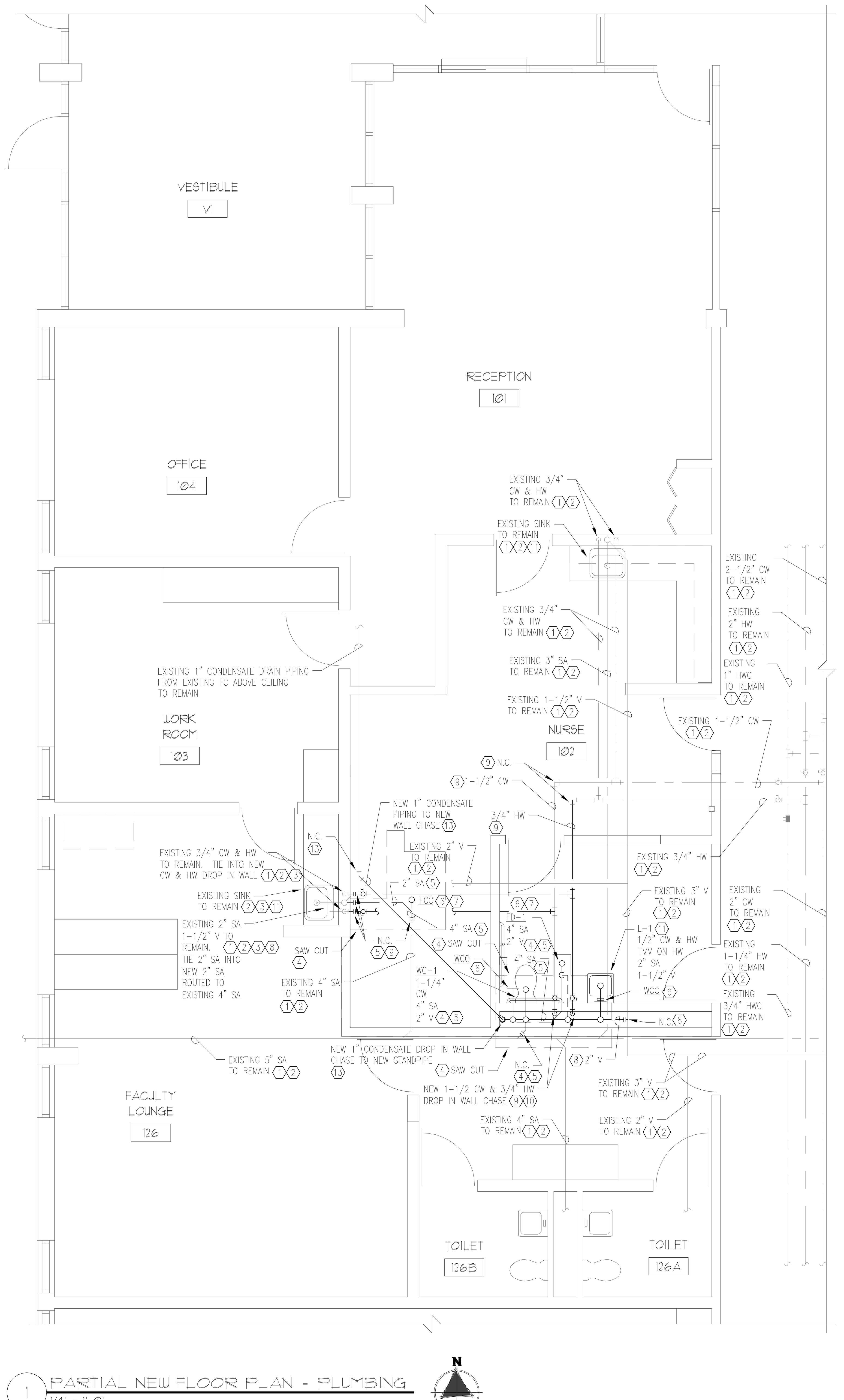
TRIA ARCHITECTURE

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

EXPIRES 07/31/2020

PARTIAL EXISTING FLOOR PLAN - PLUMBING

P0.10



PARTIAL NEW FLOOR PLAN - PLUMBING
1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO INSULATE ALL NEW PIPING AND CONNECTIONS PER INDIANA ENERGY CONSERVATION CODE.
2. ALL NEW DOMESTIC WATER PIPING TO BE DISINFECTED PER THE INDIANA PLUMBING CODE AND AHJ.
3. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL SANITARY, VENT, AND WATER PIPING PRIOR TO WORK.
4. CONTRACTOR TO VERIFY NO CONDUIT OR PIPING ARE IN SAW CUT AREAS PRIOR TO SAW CUTTING FLOORS OR WALLS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY CEILING, WALL, OR FLOOR REMOVAL / REPLACEMENT REQUIRED BY NEW WORK. PATCH TO MATCH.
6. CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, AND PAINTING FOR INSTALLATION OF NEW WORK. SEE ARCHITECTURAL FOR MORE INFORMATION.
7. ALL PLUMBING, NEW AND EXISTING, AFFECTED BY THIS WORK MUST BE COMPLIANT TO INDIANA PLUMBING CODE AND AHJ. IN THE EVENT OF CONFLICT BETWEEN CODES AND DRAWINGS, THE CODES SHALL BE FOLLOWED.
8. CONCRETE FLOOR SLAB NEEDS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED – FOR BOTH EXISTING AND NEW DRAWINGS
9. ALL NEW PIPING MUST BE COORDINATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, STRUCTURAL, CIVIL, AND EQUIPMENT.
10. ENSURE NO DEAD ENDS REMAIN IN SANITARY, WATER, OR VENT SYSTEM AFTER PIPING HAS BEEN REMOVED. ENSURE COMPLIANCE TO INDIANA PLUMBING CODE AND AHJ.
11. ALL PLUMBING VENT TERMINALS SHALL BE A MINIMUM OF 12'–0" AWAY FROM ANY INTAKE AS PER INDIANA PLUMBING CODE AND AHJ.

KEYED NOTES:

1. CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SA, VENT, CW, HW, HWC PIPING BEFORE START OF WORK. IDENTIFY PIPING LOCATIONS, DROPS, CONNECTION, VALVES, SIZES, CONDITION, AND DIRECTION OF FLOW.
2. EXISTING TO REMAIN.
3. EXISTING FIXTURE TO REMAIN. EXISTING SA AND VENT TO REMAIN. RECONNECT EXISTING SA TO NEW SA. TIE NEW CW & HW INTO EXISTING DROPS IN WALL. WALL MAY NEED TO BE OPENED UP FOR PIPING AND CONNECTIONS. PATCH WALL TO MATCH AND FINISH TO ARCHITECTURAL.
4. PLUMBING CONTRACTOR TO VERIFY LOCATION OF EXISTING SANITARY / STORM / VENT / CONDUIT OR OTHER PIPING UNDER FLOOR PRIOR TO FLOOR CUTTING. COORDINATE ALL FLOOR CUTTING WITH EQUIPMENT AND OWNER.
5. APPROXIMATE LOCATION OF NEW SANITARY PIPING COORDINATE LOCATION WITH EQUIPMENT, ARCHITECTURAL, STRUCTURAL AND OWNER. CONTRACTOR TO LOCATED EXISTING SANITARY UNDERGROUND AND TIE NEW SANITARY INTO EXISTING. TELEVISE FLOOR AND SAW CUT FLOOR AS REQUIRED.
6. COORDINATE LOCATION OF WALL CLEANOUTS, FLOOR CLEANOUTS, AND FLOOR DRAINS WITH MECHANICAL, ELECTRICAL, ARCHITECTURAL, STRUCTURAL, EQUIPMENT, AND OWNER.
7. ALL FLOOR DRAIN COVERS AND FLOOR CLEANOUT COVERS SHALL BE INSTALLED FLUSH TO FINISHED FLOOR.
8. TIE NEW VENT PIPING INTO EXISTING VENT PIPING. COORDINATE VENT PIPING WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, STRUCTURAL, AND EQUIPMENT. FIELD VERIFY TIE–IN LOCATION.
9. NEW CW & HW PIPING. TIE INTO EXISTING CW & HW. DROP NEW CW & HW IN NEW WALL CHASE. COORDINATE NEW PIPING WITH MECHANICAL, ELECTRICAL. FIRE PROTECTION, ARCHITECTURAL, STRUCTURAL, AND EQUIPMENT.
10. TIE NEW FIXTURES INTO NEW CW & HW DROP IN NEW WALL CHASE.
11. PROVIDE TMV ON HW FOR SINKS AND LAVS.
12. EXISTING CONDENSATE PIPING ABOVE CEILING TO REMAIN. VERIFY LOCATION SIZE AND CONDITION. CAP FOR RECONNECTION TO NEW.
13. NEW CONDENSATE PIPING AND DROP IN WALL CASE TO STAND PIPE. COORDINATE WITH MECHANICAL, ELECTRICAL. FIRE PROTECTION, ARCHITECTURAL, STRUCTURAL, AND EQUIPMENT.

As-Build Drawing
Plumbing
Circle R Mechanical

KEYPLAN
NOT TO SCALE

AREA OF WORK
NOT IN SCOPE OF WORK

TRIA ARCHITECTURE

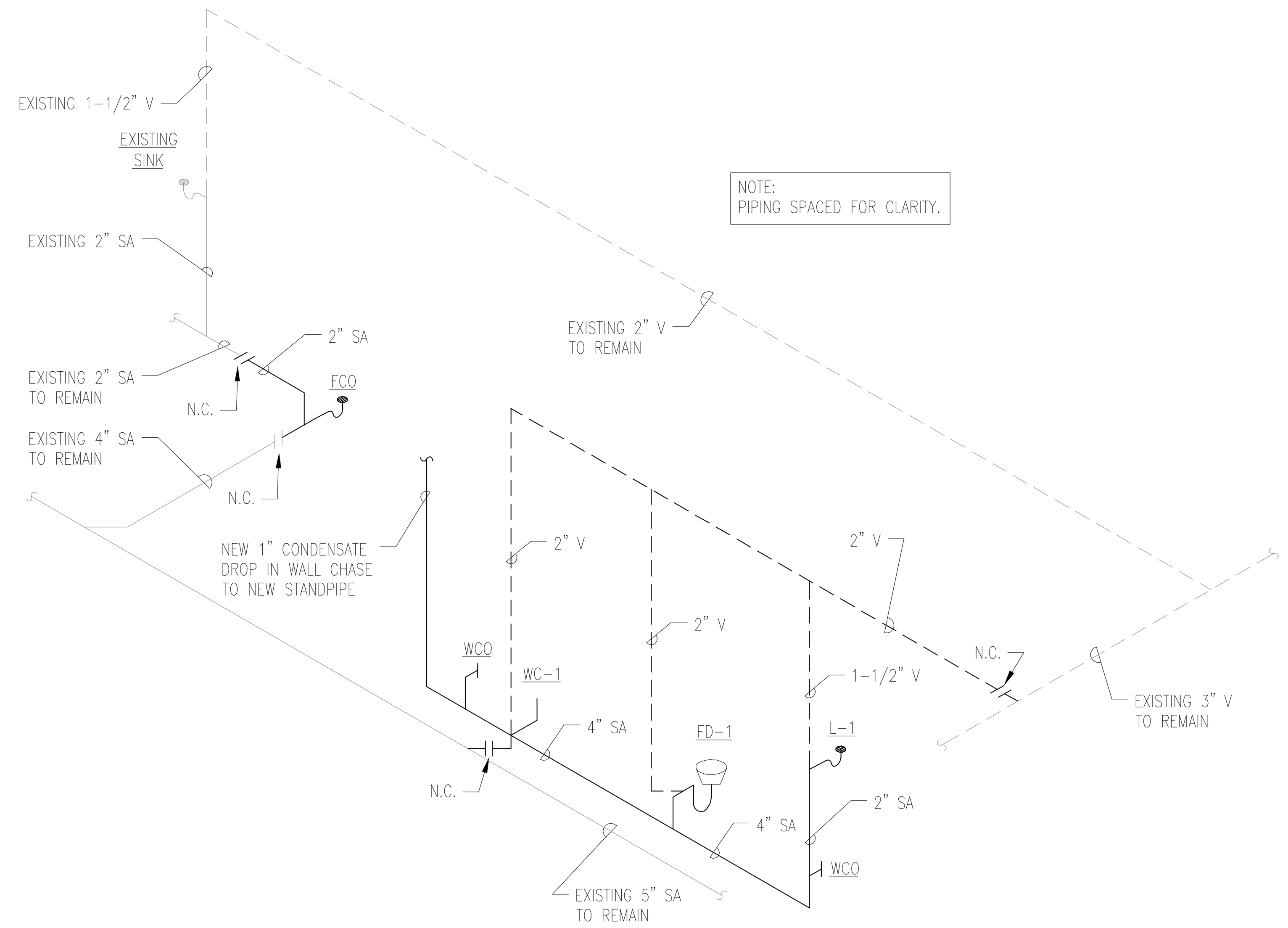
OAS O'Higgins & Arnold Sustainability, LLC
M.E.P./F.P. CONSULTANT: (P) 630.538.1936

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

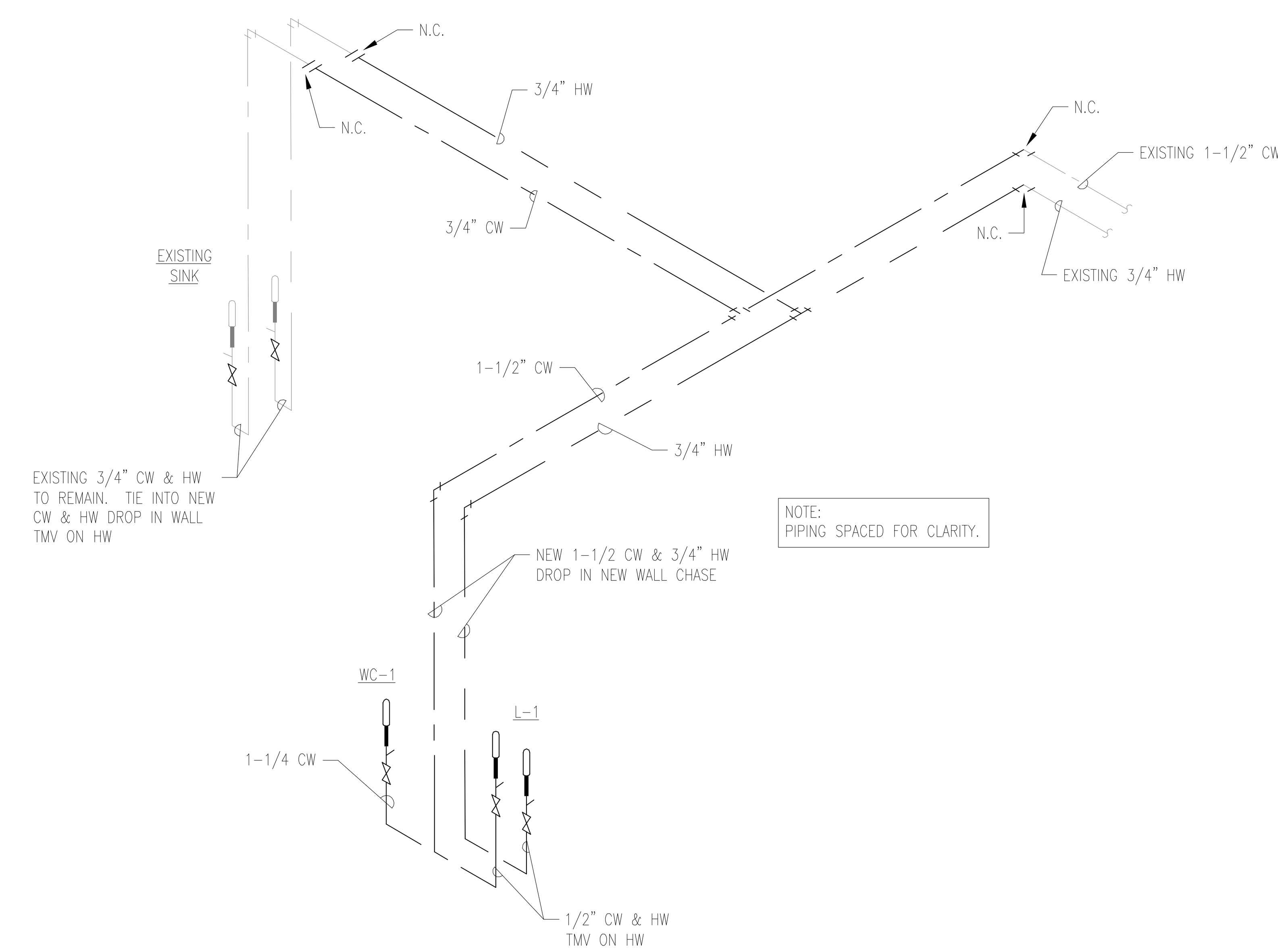
REVISIONS:
PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: OAS
ISSUED FOR PROPOSAL: 04/07/2020
PARTIAL NEW FLOOR PLAN - PLUMBING

No. PE10911154 STATE OF INDIANA
EXPIRES 07/31/2020

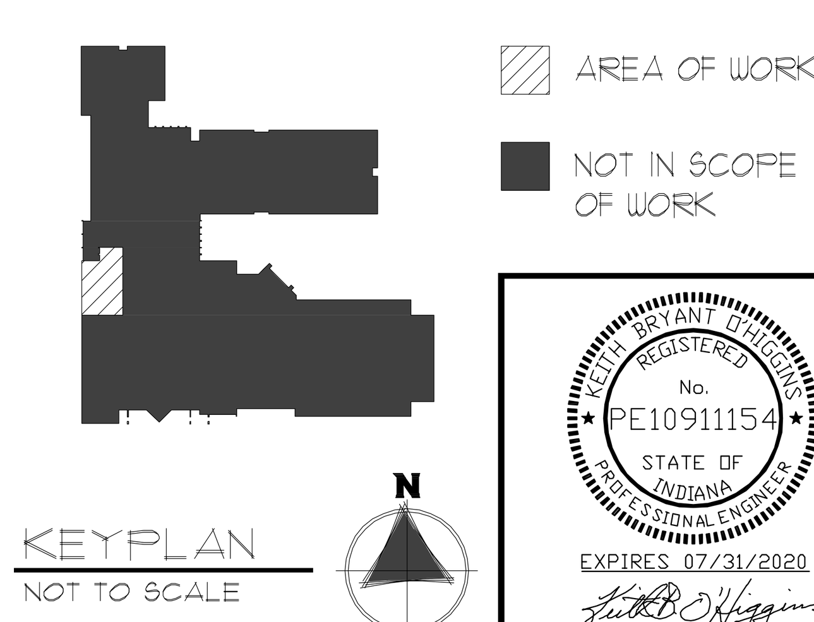
P1.10



1 SANITARY - PLUMBING - RISER DIAGRAM
N.T.S.



2 WATER - PLUMBING - RISER DIAGRAM
N.T.S.



KEYPLAN
NOT TO SCALE

TRIA ARCHITECTURE

M.E.P./F.P. CONSULTANT

OAS

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

REVISIONS:

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: OAS

ISSUED FOR PROPOSAL
04/07/2020

RISER DIAGRAM - PLUMBING

No. PE10911154
STATE OF INDIANA
EXPIRES 07/31/2020

P2.00

PLOTTED BY: CARL ENGEL DATE PLOTTED: 4/6/2020 5:31 PM

GENERAL NOTES - ALL CONTRACTORS

A. DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING, DUCTWORK, CONDUITS, RACEWAYS, ETC., AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING, NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. EACH CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TOT HE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.

B. IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLEARNESS OF PRESENTATION.

C. CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITION AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.

D. CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF PIPING, DUCTWORK, CONDUIT, RACEWAYS, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.

E. WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTORS SHALL VERIFY EXACT LOCATIONS OF ALL DEVICES AND EQUIPMENT WITH FIELD CONDITIONS, SHOP DRAWINGS, AND WORK OF OTHER TRADES PRIOR TO ROUGH-IN. EACH CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.

F. CONTRACTOR SHALL PROVIDE SLEEVES IN BEAMS, FLOORS, COLUMNS AND WALLS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS AND LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY ARCHITECT BEFORE CONTRACTOR CUTS AND STRUCTURAL BUILDING MEMBER.

G. THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS CALLED FOR IN THE SPECIFICATION AND/OR AS DIRECTED.

H. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE GENERAL CONTRACTORS WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.

I. CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT.

J. SOME OF THE EXISTING ITEMS AND EQUIPMENT SCHEDULED TO BE REMOVED SHALL BE TURNED OVER TO THE OWNER. ANY ITEMS THAT THE OWNER WANTS TO RETAIN SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE THEM. ALL OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE.

K. CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE ARCHITECT/ENGINEER WILL DIRECT ANOTHER CONTRACTOR TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE ARCHITECT/ENGINEER.

L. CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORTING OF THEIR PIPING, DUCTWORK, CONDUIT, TANKS, EQUIPMENT, ETC. ALL SUPPORTING STEEL FOR ITEMS ABOVE A SUSPENDED CEILING SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.

M. IT IS MANDATORY THAT THE COMPLETE EXISTING BUILDING REMAIN IN CONTINUOUS AND NON-INTERRUPTED OPERATION DURING REMODELING/ALTERING OF SAID EXISTING BUILDING. THE SPECIFIC AREA(S) BEING REMODELED/ALTERED AT ANY SCHEDULED TIME ARE OBVIOUSLY EXCLUSIVE OF THIS STATEMENT. SERVICES TO EXISTING BUILDING SHALL BE KEPT IN CONTINUOUS OPERATION INCLUDING POWER, SIGNAL SYSTEMS, LIGHTING, TELEPHONE, HEATING, COOLING, VENTILATING, TEMPERATURE CONTROL, SEWERS AND HOT AND COLD WATER. ANY ABSOLUTELY NECESSARY INTERRUPTION OF THESE SERVICES TO ACCOMPLISH CONTRACT WORK SHALL BE ARRANGED THROUGH THE ARCHITECT WITH THE OWNER A MINIMUM OF TEN (10) WORKING DAYS IN ADVANCE. SUCH INTERRUPTIONS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AS FAR AS TIME INTERVAL IS INVOLVED AND TEMPORARY SERVICES SHALL BE FURNISHED AND INSTALLED UNDER THIS CONTRACT WHERE NECESSARY TO ACCOMPLISH THIS PURPOSE. TEMPORARIES SHALL BE REMOVED BY THE CONTRACTOR ONLY AFTER NEW PERMANENT SERVICES ARE INSTALLED AND FULLY OPERATIONAL.

N. UNLESS INDICATED OTHERWISE, THE ARCHITECT/ENGINEER MAKES NO REPRESENTATION AS TO WHETHER OR NOT ANY HAZARDOUS OR CONTAMINATED MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB'S, CONTAMINATED SOILS, ETC.) ARE PRESENT WITHIN THE EXISTING BUILDING OR ON THE SITE. WORK SHOWN ON THE DRAWINGS AND/OR INDICATED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CALL FOR CONTACT WITH ANY OF THESE MATERIALS. IF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL NOT DISTURB THEM AND SHALL CONTACT THE ARCHITECT/ENGINEER IMMEDIATELY.

O. CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 6 X 6 PLANKS AND/OR WOOD PALLETS. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUIN. ALL PIPING AND DUCTWORK WILL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT WILL BE ALLOWED TO BE STORED ON THE SITE UNLESS IT IS SITTING ON WOOD PLANKS AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.

P. THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT LISTED AS A SPECIFIED ACCEPTABLE MANUFACTURER BUT IS NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE ON THE EQUIPMENT.

Q. CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT HE SUBMITS FOR REVIEW MEETS THE CAPACITY AND DUTY SPECIFIED.

R. WHEN EQUIPMENT IS SUBMITTED FOR REVIEW AND DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.

S. CONTRACTOR SHALL FIELD VERIFY THE SIZE OF EXISTING OPENINGS, WINDOWS, DOORS, CORRIDORS, ROOMS, ETC. FOR ACCESS OF THE NEW EQUIPMENT INTO OR REMOVAL OF EXISTING EQUIPMENT FROM THE BUILDING. IF OPENINGS ARE TOO SMALL FOR ACCESS THEN CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE NEW OR ENLARGED OPENINGS AND RESTORE SAME TO ORIGINAL SIZE AND CONDITION. CONTRACTOR MAY ELECT TO ORDER THE EQUIPMENT DISASSEMBLED AND/OR WITH SPLIT HOUSING FOR ENTRANCE INTO THE EXISTING SPACE OR BUILDING. CONTRACTOR SHALL REASSEMBLE EQUIPMENT AFTER IT IS IN THE SPACE AT HIS OWN EXPENSE.

GENERAL NOTES - PLUMBING

A. ALL WATER SUPPLY AND RETURN PIPING SHALL BE SUSPENDED WITH CLEVIS AND/OR TRAPEZE PIPE HANGERS. INSULATED PIPING SHALL REST ON STEEL OR WOOD. PIPE COVERING PROTECTION SADDLES OR SHEET METAL INSULATION SHIELDS AS CALLED FOR IN THE SPECIFICATIONS AND/OR DETAILED ON THE DRAWING.

B. ALL WATER SUPPLY AND RETURN PIPING SHALL BE INSULATED, INCLUDING ALL PIPING ABOVE CEILINGS, INSIDE EQUIPMENT, CABINETS, PIPE CHASES AND IN WALLS. SEE SPECIFICATIONS FOR TYPE AND THICKNESS OF INSULATION.

C. ALL HOT WATER SUPPLY AND RECIRCULATING PIPING SHALL BE INSTALLED TO COMPENSATE FOR EXPANSION OF THE PIPE BY INSTALLING PIPE ANCHORS, GUIDES, EXPANSION JOINTS OR LOOPS AND PIPE OFFSETS AS REQUIRED BY FIELD CONDITIONS OR AS SHOWN ON THE DRAWINGS.

D. ALL PIPING PASSING THRU FLOOR CONSTRUCTION SHALL HAVE A SCHEDULE 40 STEEL PIPE SLEEVE INSTALLED AROUND PIPE ONLY. ALL PIPE PASSING THRU WALLS SHALL HAVE A GALVANIZED SHEET METAL OR SCHEDULE 40 STEEL SLEEVE INSTALLED AROUND THE PIPE AND PIPE INSULATION. SEE SLEEVE DETAILS THESE DRAWINGS.

E. PITCH ALL SUPPLY AND RETURN WATER LINES TO DRAIN COMPLETELY THROUGH LOWER EQUIPMENT FIXTURES, UNIONS, OR DRAIN VALVES. INSTALL A 1/2" DRAIN VALVE WITH 3/4" HOSE THREAD AND VACUUM BREAKER OUTLET IN ALL MAIN PIPING RUNS WHICH WOULD NOT BE ABLE TO DRAIN THRU A LOWER PIECE OF EQUIPMENT.

F. ALL VENT AND WASTE PIPING SIZES ARE MINIMUM. ADDITIONAL VENTS SHALL BE ADDED AND/OR PIPE SIZE INCREASED AS REQUIRED BY APPLICABLE CODES, STATUTES AND REGULATIONS, ETC. WITHOUT ADDITIONAL COST TO THE OWNER.

G. UNUSED OPENINGS IN SEWERS, MANHOLES, ETC. SHALL BE CAPPED; THOSE IN PIPING SHALL BE CAPPED OR PLUGGED; STRUCTURAL MEMBERS AND SUPPORTS SHALL NOT BE CUT UNLESS AUTHORIZED BY ARCHITECT IN WRITING.

H. CERTAIN ABBREVIATIONS OR SYMBOLS, WHEN APPLIED TO PRESENT (OR EXISTING) LINE, DEVICE OR EQUIPMENT, SHALL HAVE THE FOLLOWING MEANINGS.

NC NEW CONNECTION TO PRESENT PIPING, DEVICE, MANHOLE, SEWER, DUCT, WIRING, EQUIPMENT, ETC. INSTALL, TEST, COVER, PAINT, ETC. SAME AS NEW WORK. IF IN SEWER MANHOLE, PROVIDE FLOW CHANNEL IN BOTTOM.

VL VERIFY EXACT LOCATION, SIZE, INVERT, ETC. IN FIELD. THIS NOTE APPLIES TO ALL PRESENT OR EXISTING UTILITIES AND CONSTRUCTION WHETHER CALLED FOR OR NOT.

PLUMBING ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS SHOWN MAY BE REQUIRED FOR THIS PROJECT.

AC	ABOVE CEILING	PRV	PRESSURE RELIEF VALVE
BV	BALL VALVE	PS	PIPE SLEEVE
BBA	BETWEEN BEAMS ABOVE	RCO	RISER CLEANOUT
BFP	BACKFLOW PREVENTER	SH	SHOWER
BF	BALANCING FITTING	SK	SINK
CI	CAST IRON	SS	SERVICE SINK
CIU	CAST IRON PIPE UNDERGROUND	SSR	SERVICE SINK RECEPTOR
CK	CHECK VALVE	TB	THRUST BLOCK
CO	CLEANOUT	TFA	TO FLOOR ABOVE
CTB	CLOSE TO BOTTOM OF BEAM	TFB	TO FLOOR BELOW
CTC	CLOSE TO CEILING	TMV	THERMOSTATIC MIXING VALVE
DF	DRINKING FOUNTAIN	UR	URINAL
DIP	DUCTILE IRON PIPE	UV	UNDERFLOOR VENT
EWC	ELECTRIC WATER COOLER	V42"	VENT LINE RUN OR CONNECTED ABOVE FLOOR BY 42"
FBO	FURNISHED BY OTHERS	VB	VACUUM BREAKER
FCO	FLOOR CLEANOUT	VTR	VENT THROUGH ROOF
FFA	FROM FLOOR ABOVE	W	WASTE
FFB	FROM FLOOR BELOW	WC	WATER CLOSET
GV	GATE VALVE	WCO	WALL CLEANOUT
HV	HOSE VALVE	WH	WALL HYDRANT
INV.	INVERT ELEVATION	WT	WATER THERMOMETER
LAV	LAVATORY	YCO	YARD CLEANOUT

PLUMBING SYMBOLS

NOTE: NOT ALL SYMBOLS SHOWN MAY BE REQUIRED FOR THIS PROJECT.

Symbol	Description
CW	COLD WATER SUPPLY
HW	HOT WATER SUPPLY
HWC	HOT WATER CIRCULATING
CPW	CITY PRESSURE COLD WATER
WM	WATER MAIN
SA	SUSPENDED SANITARY SEWER
ST	SUSPENDED STORM SEWER
SA	UNDERGROUND SANITARY SEWER
V	SUSPENDED VENT PIPING
PD	PUMPED DISCHARGE
	LINE ARROW INDICATES DIRECTION OF FLOW
PITCH	PITCH OF PIPE (DOWN)
	PIPE ELBOW (TURNED UP)
	PIPE ELBOW (TURNED DOWN)
	PIPE TEE DOWN (DROP)
	PIPE TEE UP TO FLOOR ABOVE (RISE)
	PIPE TEE UP OR ANGLE
	PIPE TEE DOWN OR ANGLE
	PIPE TEE HORIZONTAL
	90° ELBOW IN HORIZONTAL PIPE RUN
	ANGLE ELBOW IN HORIZONTAL PIPE RUN
NC	NEW CONNECTION
GV	GATE VALVE
CK	CHECK VALVE
BV	BALL VALVE
BF	BALANCING FITTING
CS	CIRCUIT BALANCING VALVE W/BALANCING PORTS
D	DRAIN VALVE WITH 3/4" HOSE THREADED OUTLET
EJ	PIPE EXPANSION JOINT
	PIPE ANCHOR
	PIPE FLEXIBLE CONNECTION
PG	PIPE ALIGNMENT GUIDE
PS	PIPE SLEEVE
UN	PIPE UNION
STR	STRAINER
	ECCENTRIC REDUCER OR INCREASER
PG	PRESSURE GAUGE AND NEEDLE VALVE
WT	WATER THERMOMETER (WITH PIPE WELL)
	THERMOMETER WELL
CO	CLEANOUT IN SUSPENDED CEILING
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN (ROUND)
HV	HOSE VALVE

P-1 — PLUMBING STACK No. / RISER DIAGRAM DRAWING No. — RISER DIAGRAM TAG

PLUMBING FIXTURE SCHEDULE

FIXTURE TAG	FIXTURE		TRIM		NOTES:
	MANUFACTURER	MODEL	MANUFACTURER	MODEL	
FCO	J.R. SMITH	MODEL 4021-U	-	-	LACQUERED CAST IRON, TWO PIECE BODY WITH DOUBLE DRAINAGE FLANGE, BRASS GASKETED PLUG AND ACCESSIBLE NICKLE-BRONZE ROUND VANDAL PROOF SERRATED COVER IN UNFINISHED AREAS AND ROUND WITH DEPRESSED COVER TO ACCEPT FLOOR FINISH WITH CARPET MARKERS IN CARPETED FLOOR AREAS.
FD-1	J.R. SMITH	MODEL 2010-A-6-NB	-	-	LACQUERED CAST IRON TWO PIECE BODY WITH DOUBLE DRAINAGE. 6" INCH DIAMETER HEAVY-DUTY NICKEL BRONZE SECURED SQUARE HOLE STRAINER, SEDIMENT BUCKET, VANDAL RESISTANT FASTENERS AND NOT FLASHED.
L-1	KOHLER	KINGSTON K-2005	KOHLER	CORALAIS K-15199-4NDRA	WHITE VITREOUS CHINA, HANDICAPPED WALL HUNG LAVATORY 21-1/4" X 18-1/8" WITH 5" HIGH BACK. 4" CENTERS. MOUNT AT HEIGHT AS INDICATED ON ARCHITECTURAL, ENSURE ADA COMPLIANCE. CHROME PLATED VANDAL RESISTANT COMBINATION SUPPLY FITTING WITH OFFSET GRID STRAINER AND TAILPIECE, CHROME PLATED 17 GAUGE P-TRAP (INSTALLED PARALLEL TO WALL). FAUCET: CORALAIS K-15199-4NDRA SINGLE HANDLE ADA FACUET WITH 0.5 GPM VANDAL RESISTANT AERATOR. PROVIDE 1-1/4" 17 GAUGE BRASS P-TRAP WITHOUT CLEANOUT IN P-TRAP, STRAINER, 17 GAUGE OFFSET DRAIN, CHROME PLATED FLEXIBLE WATER SUPPLIES, QUARTER TURN G2 ANGLE STOPS, TMV, AND OFFSET DRAIN. PROVIDE TMV WATTS LFUSG-B-M2. PROVIDE UNDER SINK PROTECTIVE PIPE COVERING BY TRUBRO FOR P-TRAP, TAIL PEACE, ANGLE STOPS, SUPPLY TUBING, AND TMV AND OFFSET DRAIN. PROVIDE CARRIER. COLOR BY ARCHITECT. NO SUBSTITUTIONS.
TMV	WATTS	LFUSG-B-M2	-	-	LEAD FREE LFUSG-B-M2 THERMOSTATIC MIXING VALVE FOR LAVATORY L-1 AND EXISTING SINKS INDICATED ON SHEET P1.10 - EXISTING SINK IN NURSES 102 AND EXISTING SINK IN FACULTY LOUNGE 126.
WC-1	AMERICAN STANDARD	2257.101 AFWALL	SLOAN	ROYAL 111 SMO-1.28	WALL HUNG WATER CLOSET, ADA COMPLAINT, AFWALL, MILLENNIUM FLOWISE ELONGATED BOWL, VITREOUS CHINA, EVERCLEAN SURFACE. THIS MODEL NUMBER FOR ELONGATED BOWL AND TOP SPUD ONLY. PROVIDE AMERICAN STANDARD BOLT CAP COVERS. PROVIDE WITH BEMIS SEAT MODEL 2155-CT, ANTI-MICROBIAL SEAT WITHOUT COVER. SLOAN ROYAL 111 SMO-1.28 SINGLE FLUSH EXPOSED SENSOR FLUSHOMETER 1.28 GPF, BATTERY POWERED. PROVIDE HANGER. NO SUBSTITUTIONS.
WCO	J.R. SMITH	MODEL 4532-U	-	-	LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND BRASS GASKETED PLUG AND ROUND STAINLESS STEEL ACCESS COVER SECURED WITH VANDAL PROOF FASTNER.

NOTES:
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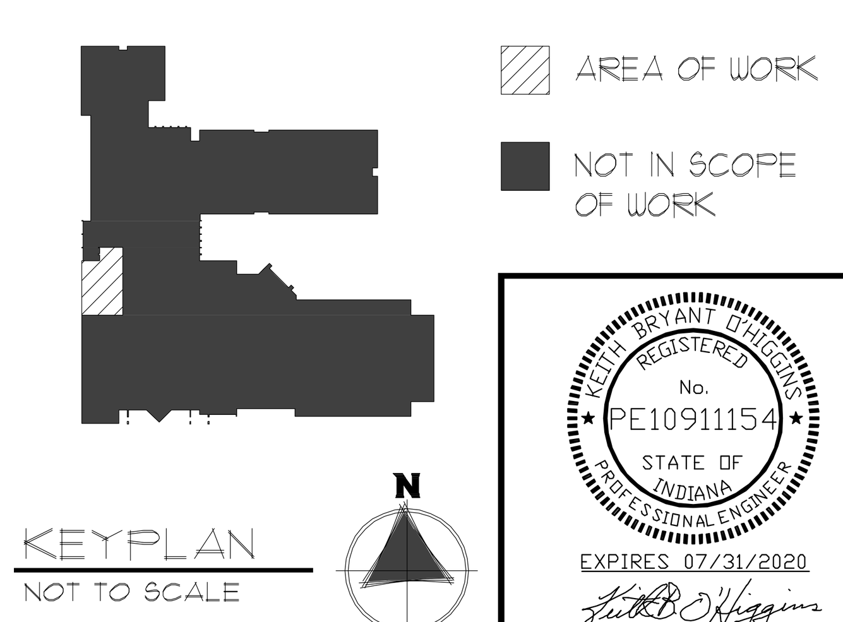


KEYPLAN
NOT TO SCALE

No. PE10911154
STATE OF INDIANA
EXPIRES 07/31/2020

TRIA ARCHITECTURE

M.E.P./F.P. CONSULTANT:
OAS O'Higgins & Arnold Sustainability, LLC
769 HEARTLAND DR., UNIT A SUGAR GROVE, ILLINOIS 60554
(P) 6305381996

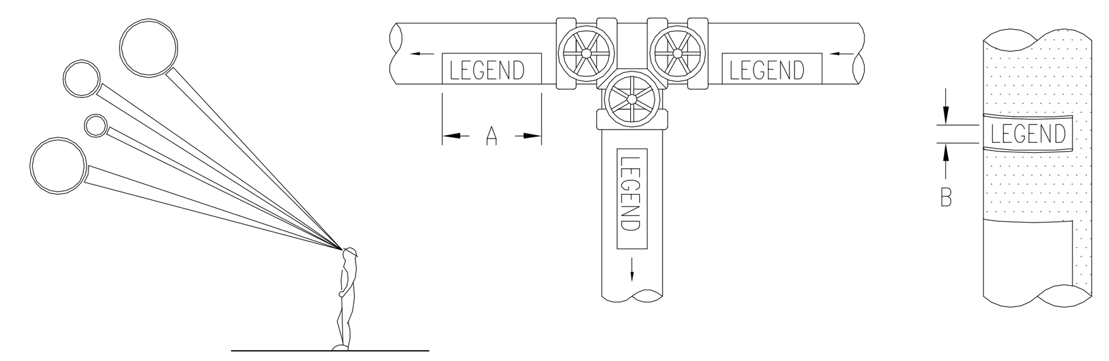
DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

DUNELAND SCHOOL CORPORATION Chesterton, Indiana

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: OAS
REVISIONS:
ISSUED FOR PROPOSAL: 04/07/2020

ABBREVIATIONS, NOTES, SCHEDULES, AND SYMBOLS - PLUMBING

P3.00



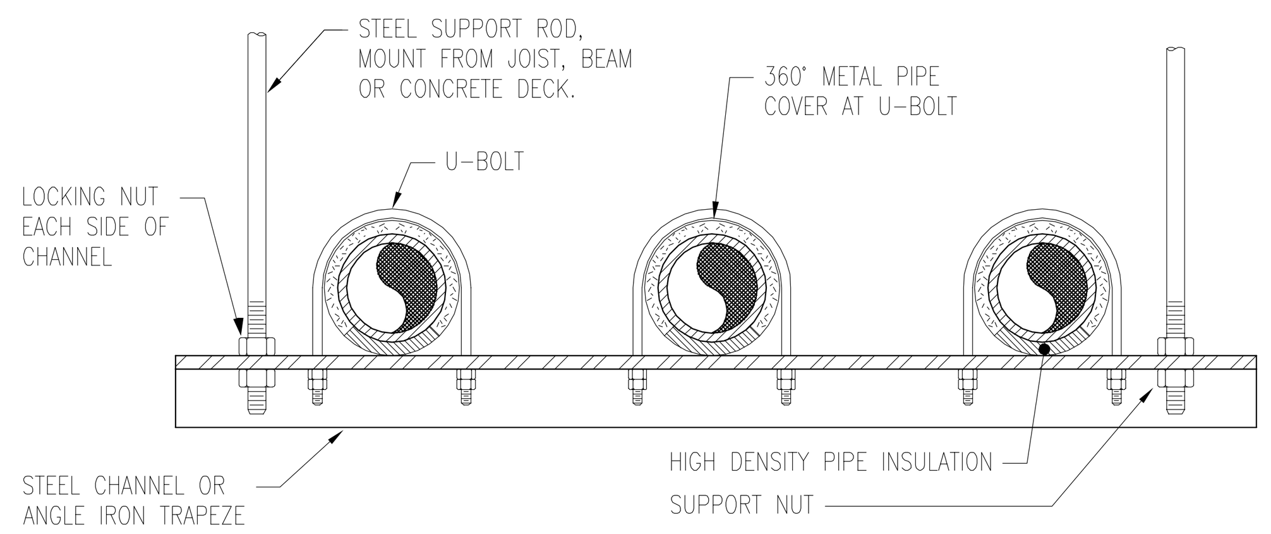
NOTE:
IDENTIFICATION MARKERS OR STRIPS TO BE PLACED ON ALL EXPOSED COVERED AND UNCOVERED PIPES AT 50'-0" INTERVALS AND AT ALL VALVES AND BRANCHES AND ON BOTH SIDES OF WALLS WHERE PIPES PASS THROUGH SAME. ARROWS OF SAME COLOR AS IDENTIFICATION MARKERS SHALL ALSO BE PLACED ON PIPES POINTING AWAY FROM MARKER INDICATING DIRECTION OF FLOW.

SIZE OF LEGEND LETTERS

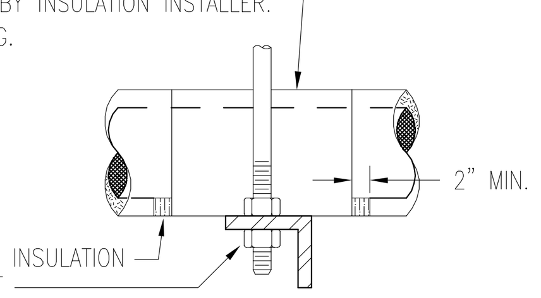
OUTSIDE DIAMETER OF PIPE OR COVERING	LENGTH OF COLOR FIELD A	SIZE OF LETTERS B
3/4" TO 1-1/4"	8"	1/2"
1-1/2" TO 2"	8"	3/4"
2"-1/2" TO 6"	12"	1-1/4"
8" TO 10"	24"	2-1/2"
OVER 10"	32"	3-1/2"

SERVICE	BACKGROUND OR COLOR BAND	IDENTIFICATION MARKER
CITY WATER	GREEN	WHITE ON GREEN
DOMESTIC COLD WATER	GREEN	WHITE ON GREEN
DOMESTIC HOT WATER	YELLOW	BLACK ON YELLOW
FIRE PROTECTION (SPRINKLER)	RED	WHITE ON RED
NATURAL GAS	YELLOW	BLACK ON YELLOW
SANITARY DRAIN	GREEN	WHITE ON GREEN
STORM WATER	GREEN	WHITE ON GREEN

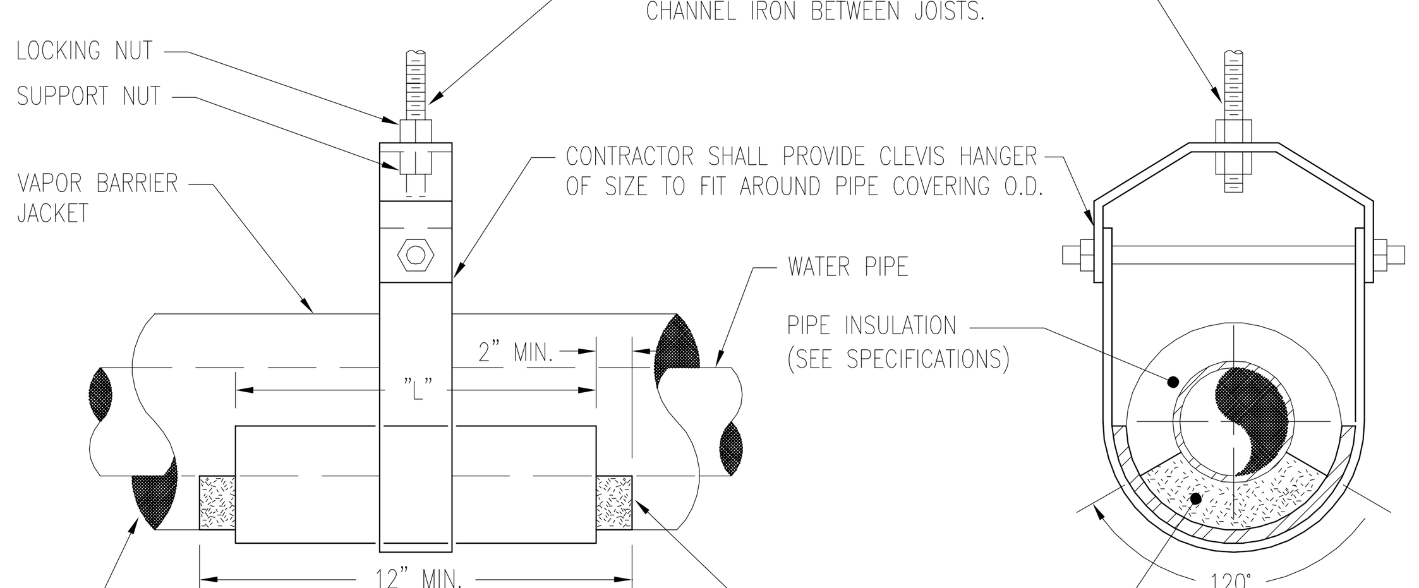
1 / P4.00 **TYPICAL PIPE IDENTIFICATION MARKERS**
NO SCALE



INSULATION PROTECTION SHIELD SCHEDULE		
PIPE SIZE	LENGTH ("L")	MIN. GAUGE
UP TO 3"	12"	18 GA.
4"	12"	16 GA.
5" & 6"	18"	16 GA.
8" AND UP	24"	14 GA.



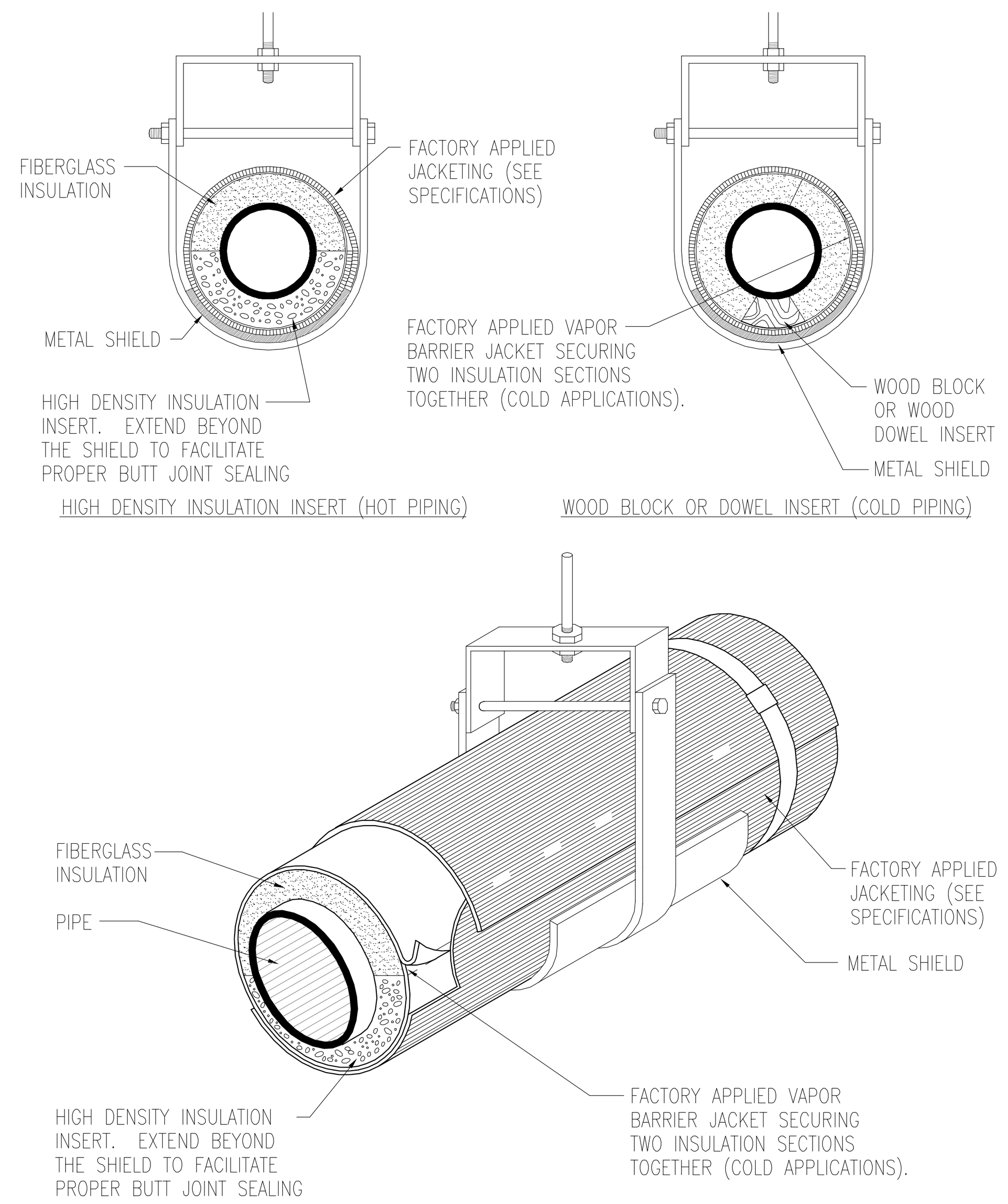
2 / P4.00 **PIPE COVERING PROTECTION SHIELDS AND TRAPEZE HANGER DETAIL**



GALVANIZED STEEL SHEET METAL PIPE SHIELD BY INSULATION INSTALLER.

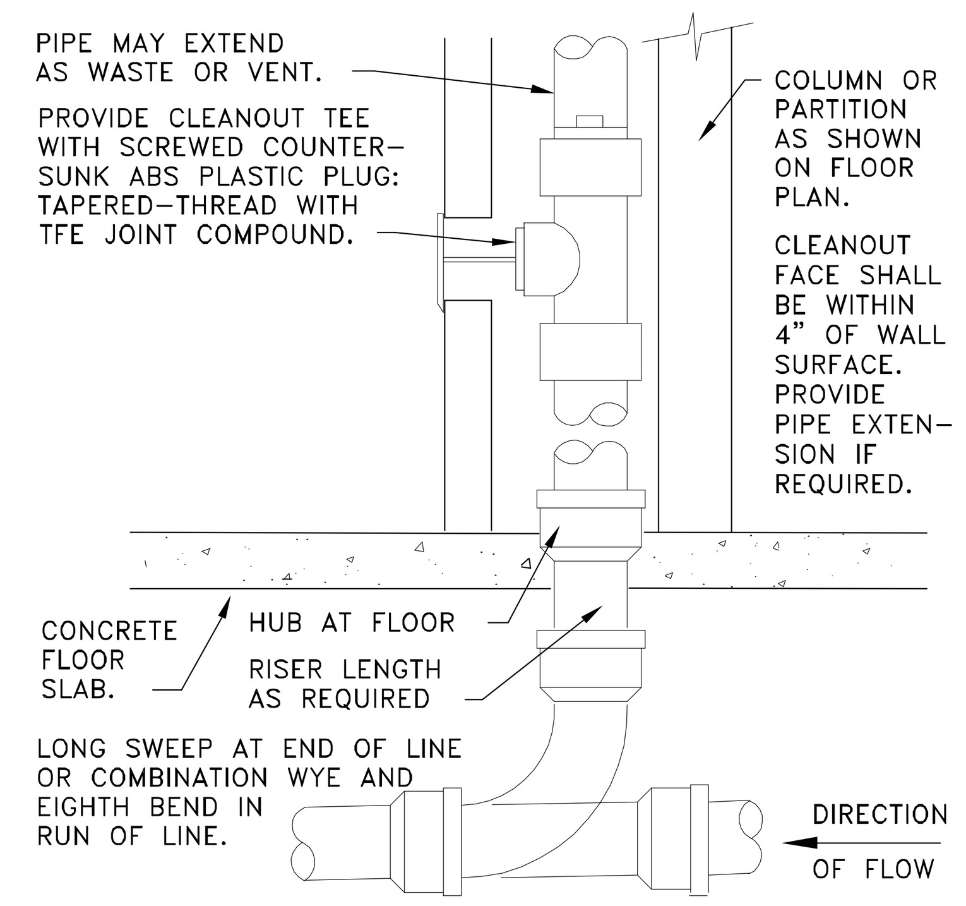
INSULATION PROTECTION SHIELD SCHEDULE		
PIPE SIZE	LENGTH ("L")	MIN. GAUGE
UP TO 3/4"	8"	20 GA.
1" TO 2"	12"	18 GA.
2-1/2" TO 4"	12"	16 GA.
5" TO 6"	18"	16 GA.
8" AND UP	24"	14 GA.

3 / P4.00 **PIPE COVERING PROTECTION SHIELDS AND CLEVIS HANGER DETAIL**
NO SCALE



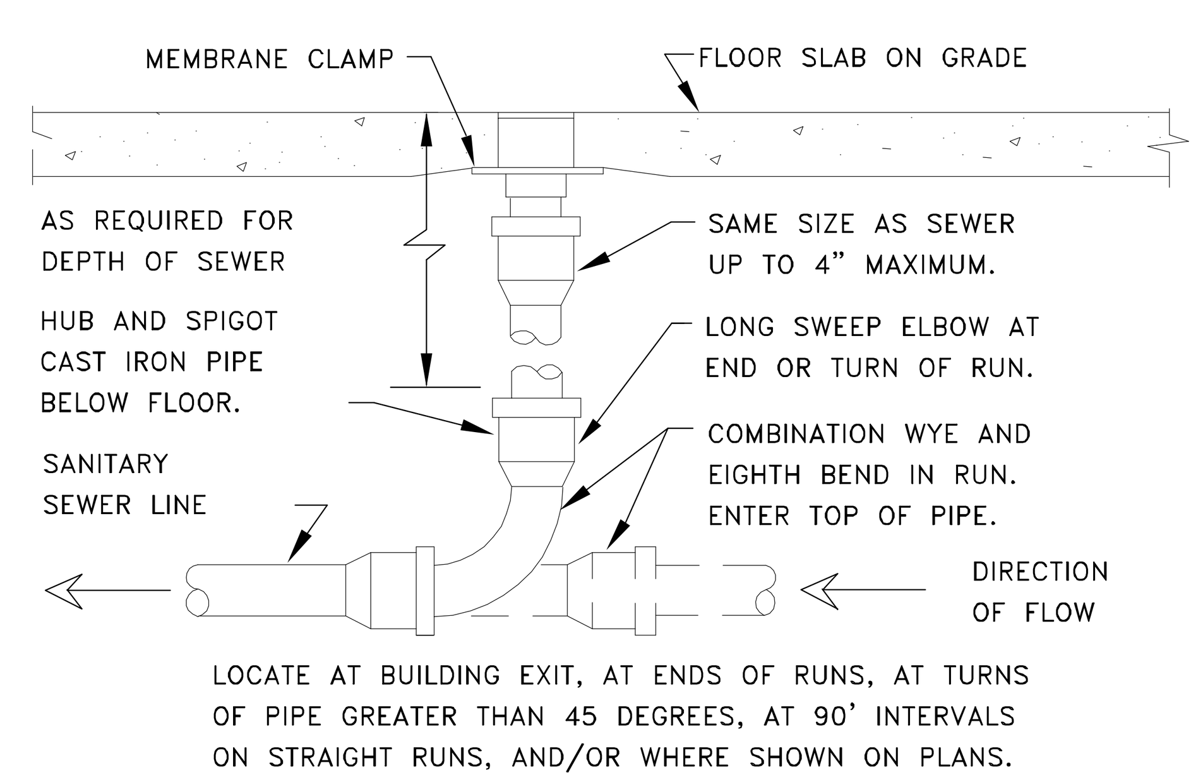
4 / P4.00 **CLEVIS HANGER HIGH DENSITY INSERT DETAIL**
NO SCALE

NOTE:
NO HORIZONTAL PIPE HANGERS TO BE SPACED FURTHER THAN 10'-0" APART.



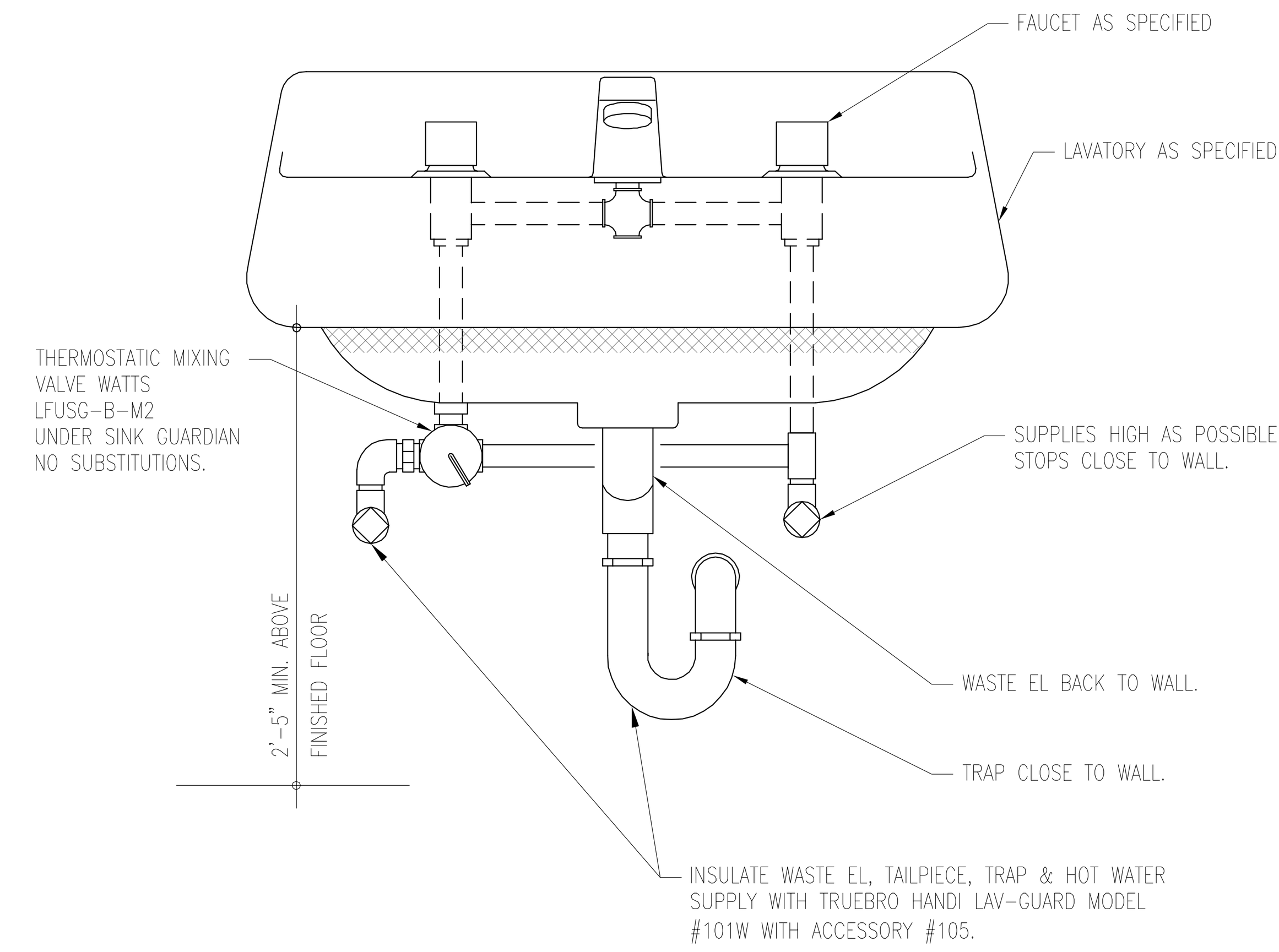
PROVIDE WCO WHERE SHOWN ON PLAN, AND ON SANITARY WASTE BRANCHES NOT SERVED WITH A FLOOR CLEANOUT: LOCATE ABOVE FIXTURE FLOOD RIM WITHIN 4' OF FLOOR.

5 / P4.00 **WALL CLEAN OUT DETAIL**
NO SCALE



LOCATE AT BUILDING EXIT, AT ENDS OF RUNS, AT TURNS OF PIPE GREATER THAN 45 DEGREES, AT 90' INTERVALS ON STRAIGHT RUNS, AND/OR WHERE SHOWN ON PLANS. LOCATE CLEANOUTS WHERE THERE IS 18" CLEAR AROUND.

6 / P4.00 **FLOOR CLEAN OUT DETAIL**
NO SCALE

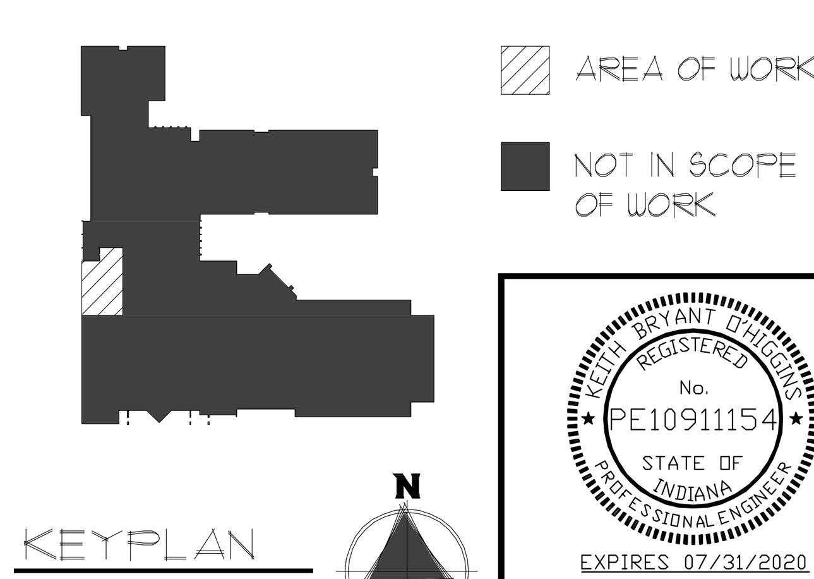


7 / P4.00 **LAVATORY AND SINK DETAIL**
NO SCALE

CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: August 6, 2020

Upgrade nurse toilet room plumbing fixtures to hands free
Touch-free, programmable faucet with above-deck electronics
MEP Revisions at Nurse Area



KEYPLAN
NOT TO SCALE

KEITH BRYANT O'HIGGINS REGISTERED No. PE10911154 STATE OF INDIANA PROFESSIONAL ENGINEER
EXPIRES 07/31/2020

TRIA ARCHITECTURE

M.E.P./F.P. CONSULTANT:
OAS O'Higgins & Arnold Sustainability, LLC
769 HEARTLAND DR., UNIT A SUGAR GROVE, ILLINOIS 60554
(P) 630.538.1996

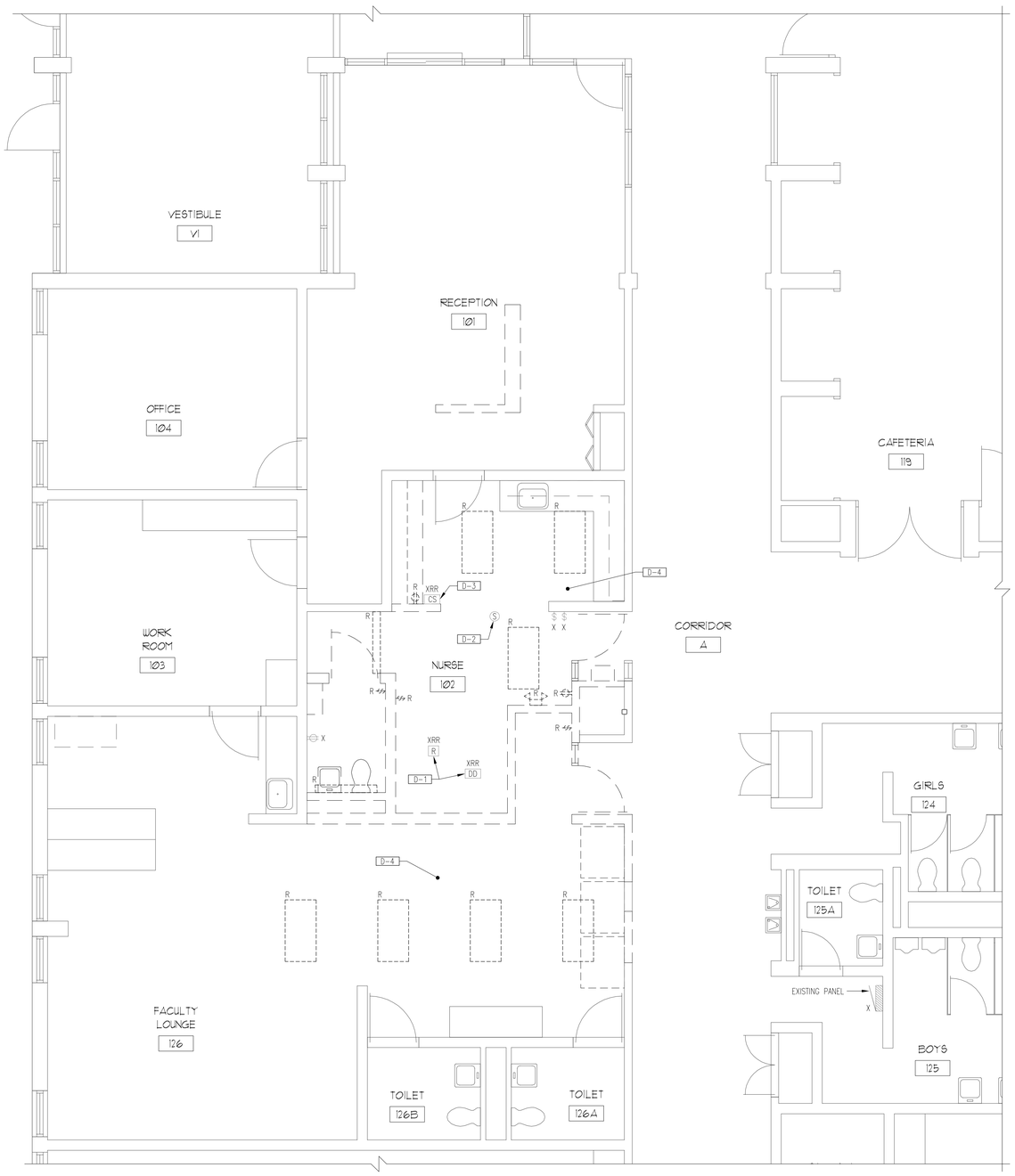
DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

DUNELAND SCHOOL CORPORATION Chesterton, Indiana

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: OAS
ISSUED FOR PROPOSAL: 04/07/2020
REVISIONS:

DETAILS - PLUMBING

P4.00



1 PARTIAL EXISTING FLOOR PLAN - ELECTRICAL
1/4" = 1'-0"

N

ELECTRICAL DEMOLITION SYMBOLS

SYMBOL	DESCRIPTION
R	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED.
X	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
XN	EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION).
XRR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED

ELECTRICAL DEMOLITION NOTES:

D-1 DUCT SMOKE DETECTOR AND KEYED DUCT DETECTOR RELAY TO BE REMOVED, STORED AND REINSTALLED IN NEW DUCTWORK.

D-2 EXISTING SPEAKER AND WIRE TO BE PROTECTED DURING CONSTRUCTION AND RELOCATED PER NEW WORK PLAN.

D-3 CALL SWITCH TO BE REMOVED AND BE RELOCATED PER NEW WORK PLAN.

D-4 EXISTING LIGHTING CIRCUITS IN THIS AREA TO REMAIN FOR CONNECTION TO NEW LIGHTING.

AREA OF WORK

NOT IN SCOPE OF WORK

KEYPLAN
NOT TO SCALE

N

TRIA ARCHITECTURE

MEP/FP CONSULTANT:
IDAS
Engineering & Design
765 HEARTLAND DR., UNIT B SUGAR GROVE, ILLINOIS 60554
(P) 630.538.1996

DUNELAND SCHOOL CORPORATION

2020 NURSE'S OFFICE RENOVATIONS AT:

BAILLY ELEMENTARY SCHOOL

800 S 5TH STREET, CHESTERTON, INDIANA 46304

DUNELAND SCHOOL CORPORATION Chesterton, Indiana

PROJECT NUMBER:	20-006
PROJECT MANAGER:	YG
DRAWN BY:	CAS
ISSUED FOR PROPOSAL:	04/07/2020

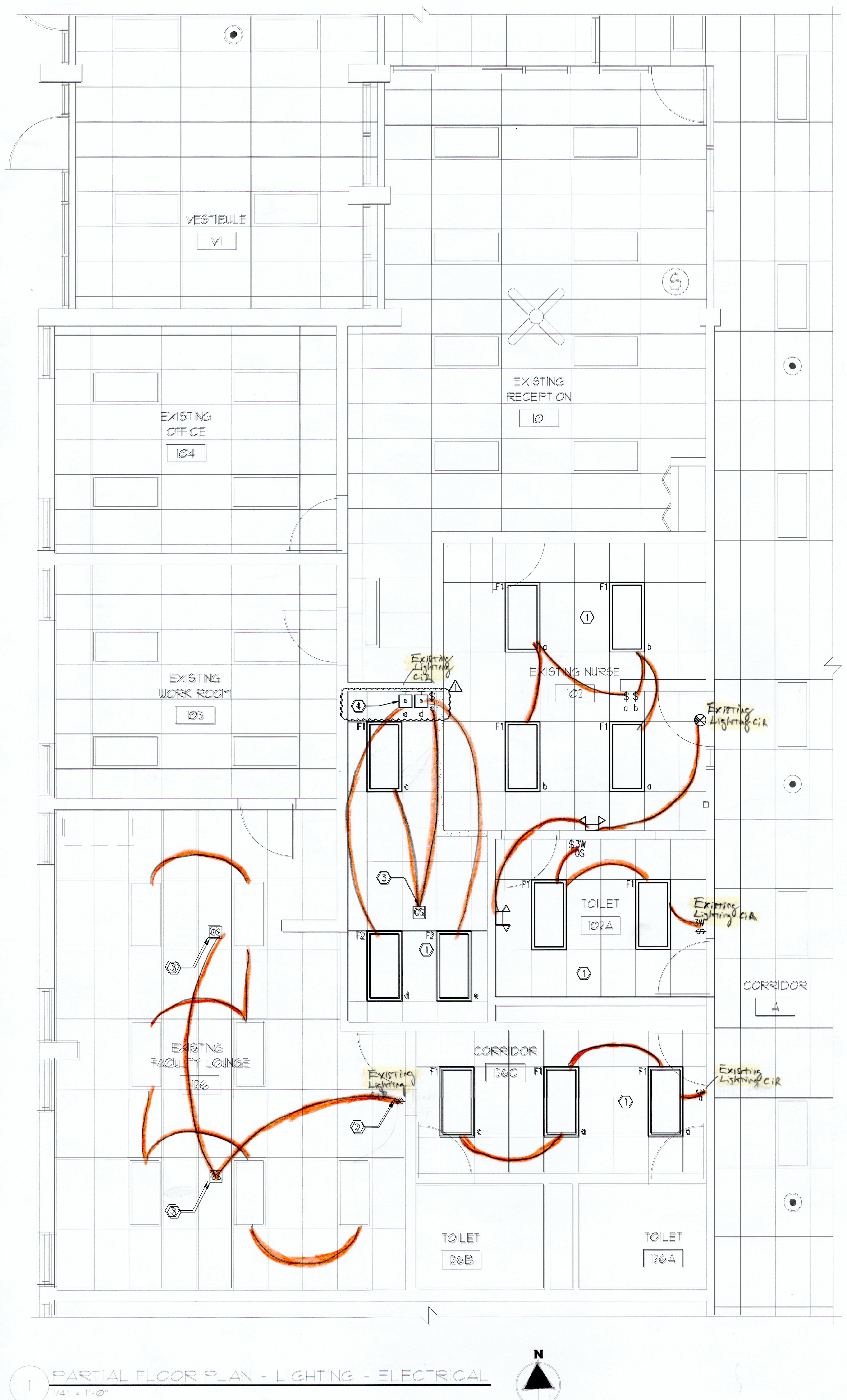
REVISIONS

PARTIAL EXISTING FLOOR PLAN
ELECTRICAL

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER No. PE10911154 STATE OF INDIANA
EXPIRES: 07/31/2020

E0.10

PLOTTED BY: CARL EVOEL DATE PLOTTED: 4/7/2020 7:52 AM FILE PATH AND NAME: E:\139_D-1 DSC Bally Elementary School Nurse Office Renovation\E\139_D-1 E0.10



PARTIAL FLOOR PLAN - LIGHTING - ELECTRICAL

1/4" = 1'-0"

ELECTRICAL KEY NOTES:

1. NEW LIGHTS TO CONNECT TO EXISTING LIGHTING CIRCUITS. REWORK SWITCH LEGS AS SHOWN.
2. FURNISH AND INSTALL NEW SWITCH LEG FOR LIGHTING IN FACULTY LOUNGE 126.
3. FURNISH AND INSTLL OCCUPANCY SENSOR TO CONTROL LIGHTING IN THIS SPACE.
4. FURNISH AND INSTALL DIMMER COMPATIBLE WITH LIGHT FIXTURE REQUIREMETNS.

LIGHTING FIXTURE SCHEDULE

TYPE	LAMP TYPE	MOUNTING	ACCEPTABLE MANUFACTURER AND CATALOG NUMBER	VOLTS	INPUT WATTS	DESCRIPTION	REMARKS
F1	LED	RECESSED LAY-IN	LITHONIA #CPX2X44000LM35KM2 OR APPROVED EQUAL	120	40	2'x4' LED FLAT PANEL FIXTURE	
F2	LED	RECESSED LAY-IN	LITHONIA #CPX2X44000LM35KM2 OR APPROVED EQUAL	120	40	2'x4' LED FLAT PANEL FIXTURE	FIXTURE TO BE DIMMABLE
(exit sign symbol)	LED	CEILING	LITHONIA #LE-S-W-I-R-ELN DUAL-LITE SESRWE OR EQUAL BY SURE-LITES	120	N/A	SINGLE FACE EXIT SIGN WITH 6" RED LETTERS CAST ALUMINUM BODY, 90 MINUTE NI-CAD BATTERY BACK UP	FURNISH WITH ARROWS AS REQUIRED BY CODE, QUICK SHIP REQUIRED
(emergency light symbol)	MR16	CEILING	LITHONIA #ELM2-LED COMPASS #CU2-X OR EQUAL BY SURE-LITES	120	N/A	EMERGENCY BATTERY UNIT WITH DUAL LED HEADS AND 90 MINUTE BATTERY BACKUP	

LARSON DANIELSON Construction Company, Inc.

302 Tyler Street
LaPorte, IN 46350
Ph : 219-362-2127
Fax : 219-362-2848

Request for Information

To: Margaret Gory
TRIA ARCHITECTURE
901 McCLINTOCK DRIVE, STE 100
BURR RIDGE, IL 60527
Ph: (630)455-4500
E-Mail: mgory@tria-arch.com

RFI #: 6
Date: 6/19/2020
L-D Job #: 56-521
Project: DUNELAND SCH-2020 NURSE'S OFF.

CC:

Subject: Emergency Lights

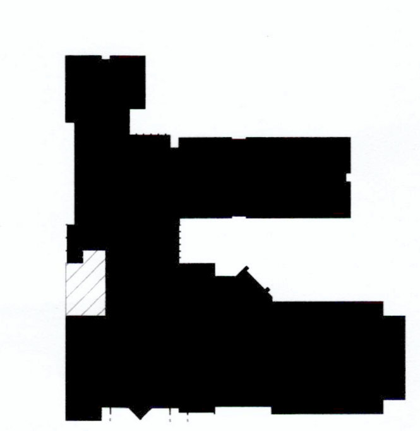
Drawing:
Spec Section:
Cost Impact: None
Schedule Impact: None

Request: **Date Required: 6/22/2020**
Pleae clarify the mounting of the emmergency lights. Print show wall mount and the approved fixture is ceiling mount. Please advise elevation n if we will proceed with wall mounting.

Requested by: Jonathan Foglesong
LARSON-DANIELSON CONST. CO INC

Response:
The approved emergency light is a Lithonia ELM2 LED wall mounted fixture.

Keith O'Higgins
OAS,LLC
06-22-20



KEYPLAN
NOT TO SCALE

TRIA ARCHITECTURE

MEP/FP CONSULTANT: (P) 630.538.1936
OAS O'Higgins & Arnold Sustainability, LLC

DUNELAND SCHOOL CORPORATION
2020 NURSE'S OFFICE RENOVATIONS AT:
BAILLY ELEMENTARY SCHOOL
800 S 5TH STREET, CHESTERTON, INDIANA 46304

PROJECT NUMBER: 20-006
PROJECT MANAGER: MG
DRAWN BY: OAS
ISSUED FOR PROPOSAL: 04/07/2020
REVISIONS: 1 04/17/2020

KEITH BRYANT O'HIGGINS REGISTERED No. PE10911154 STATE OF INDIANA PROFESSIONAL ENGINEER
EXPIRES 07/31/2020

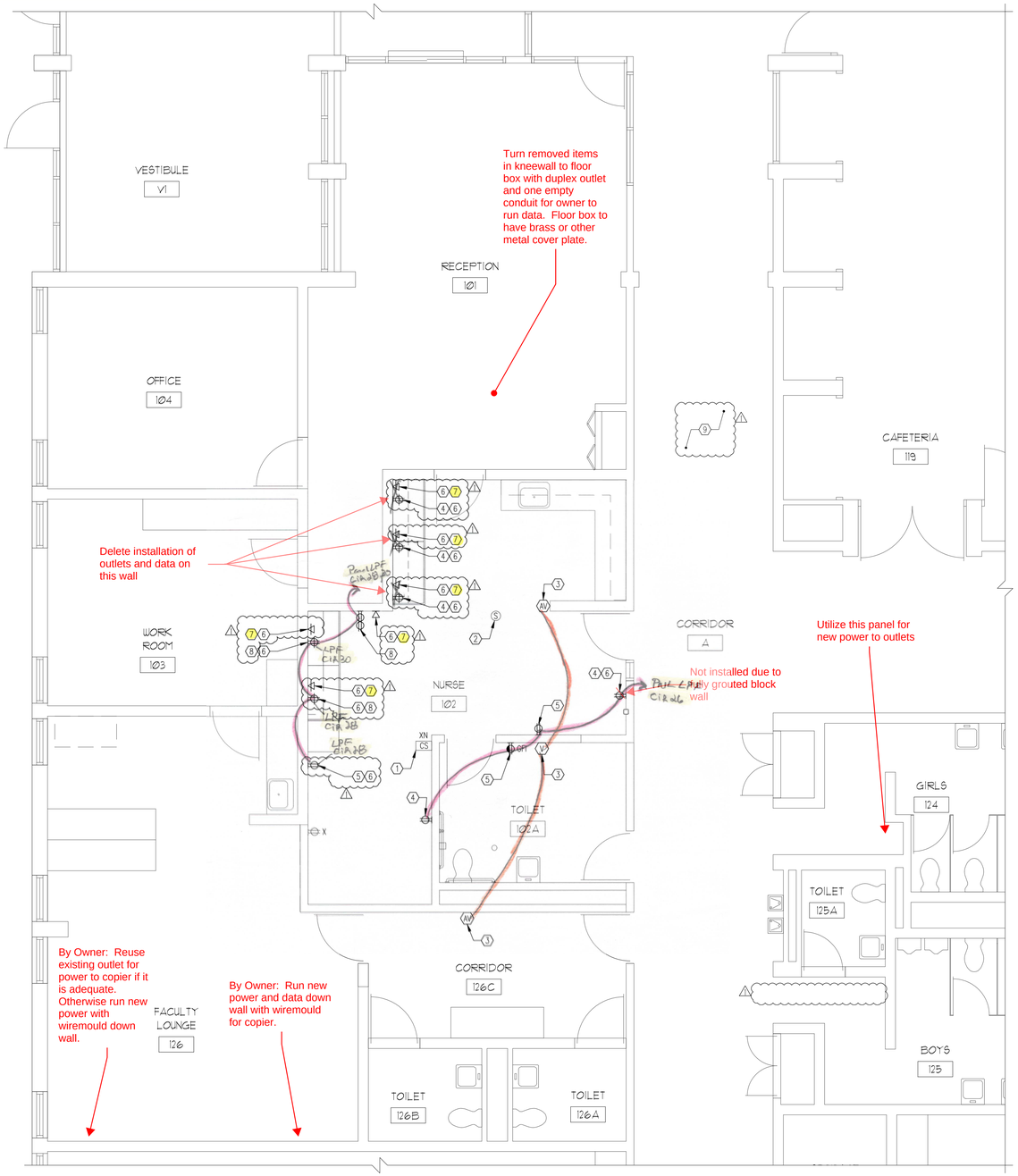
PARTIAL FLOOR PLAN - LIGHTING - ELECTRICAL

E1.10

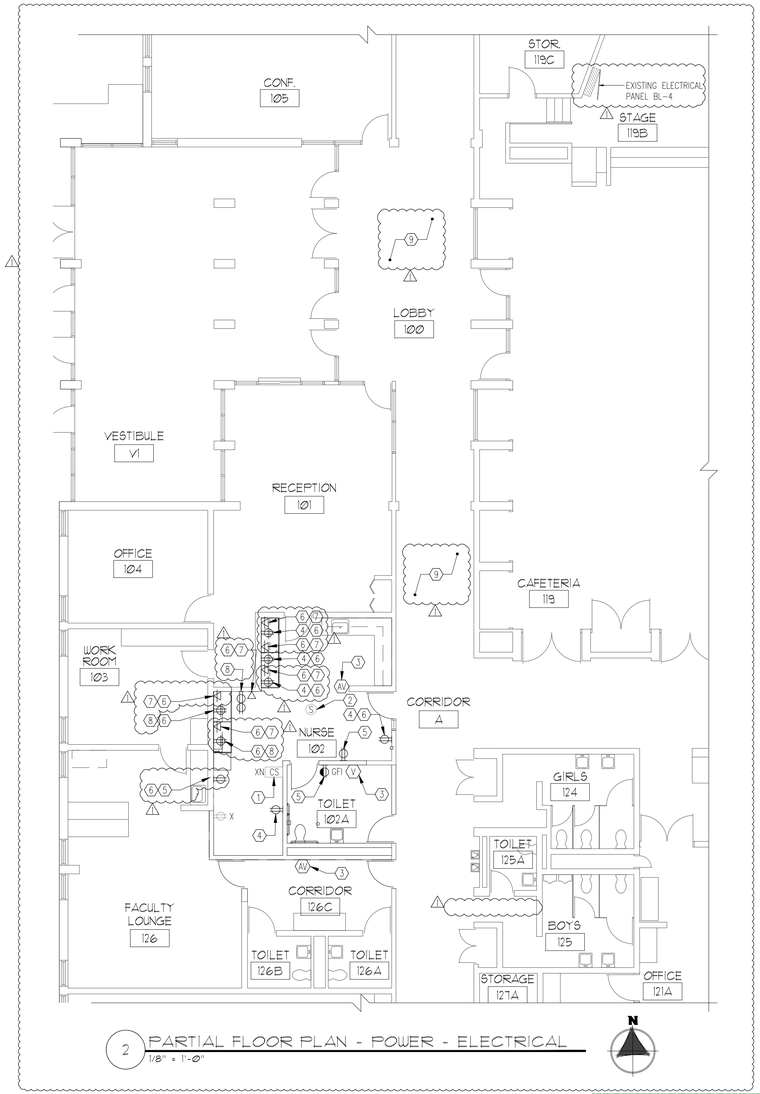
CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: August 6, 2020

MEP Revisions at Nurse Area



1 PARTIAL FLOOR PLAN - POWER - ELECTRICAL
1/4" = 1'-0"



2 PARTIAL FLOOR PLAN - POWER - ELECTRICAL
1/8" = 1'-0"

ELECTRICAL KEY NOTES:

1. RELOCATED CALL SWITCH "CS". TIE BACK INTO PA/ INTERCOM SYSTEM.
2. RELOCATED SPEAKER. ENSURE EXISTING WIRING IS IN TACT AND SPEAKER IS OPERATIONAL.
3. NEW FIRE ALARM DEVICE. DEVICE TO BE OF SAME MANUFACTURER OF EXISTING FIRE ALARM SYSTEM. PROVIDE ALL WIRING PROGRAMMING AND TESTING REQUIRED TO ADD DEVICE.
4. NEW POWER CIRCUIT FROM PANEL BL-4, CIRCUIT 26. FURNISH AND INSTALL 20A, 1P CB. WIRING TO BE 2#12, 1#12G, 3/4"C.
5. NEW POWER CIRCUIT FROM PANEL BL-4, CIRCUIT 28. FURNISH AND INSTALL 20A, 1P CB. WIRING TO BE 2#12, 1#12G, 3/4"C.
6. CUT AND CHANNEL EXISTING WALL TO RECESS NEW BOX AND CONDUIT. PATCH WALL TO MATCH EXISTING.
7. NEW DATA CONDUIT DROP AND BOX RECESSED IN WALL. CONDUIT TO TERMINATE ± 6" ABOVE CEILING.
8. NEW POWER CIRCUIT FROM PANEL BL-4, CIRCUIT 30. FURNISH AND INSTALL 20A, 1P CB. WIRING TO BE 2#12, 1#12G, 3/4"C.
9. CONTRACTOR IS RESPONSIBLE FOR LAY-IN CEILING TILE REMOVAL AND REPLACEMENT FOR CONDUIT INSTALLATION TO PANEL BL-4. IF TILES ARE DAMAGED IN THIS PROCESS THEY SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

LARSON DANIELSON Construction Company, Inc.

Request for Information

To: Tom Spurgat, TRIA ARCHITECTURE, 801 McCLINTOCK DRIVE, STE 100, BURR RIDGE, IL 60527, Ph: (630)655-4000 Fax: (630)655-4040, E-Mail: tspurgat@tria-arch.com

RFI #: 1
Date: 5/14/2020
L-D Job #: 04-027
Project: DUNELAND SCH-2020 NURSE'S OFF...

CC:

Subject: Data Ceiling

Drawing: E2.10
Cost Impact: TBD
Spec Section:
Schedule Impact: TBD

Request: Date Required: 5/17/2020
Electrical Keynote 7 says new data conduit drop and box recessed in wall. Are you also expecting that the general contractor will install low voltage cabling for the or only to install the conduit and box?.

Requested by: Jonathan Englesberg, LARSON-DANIELSON CONST. CO. INC

Response:
Low voltage data cabling is by owner.

KEYPLAN
NOT TO SCALE

AREA OF WORK

NOT IN SCOPE OF WORK

REGISTERED No. PE10911154 STATE OF INDIANA PROFESSIONAL ENGINEER
EXPIRES 07/31/2020

TRIA ARCHITECTURE

MEP/FP CONSULTANT
IPS & ASSOCIATES, INC.
765 KENTLAND DR., UNIT A, SUGAR GROVE, ILLINOIS 60554
TEL (630)538-1996

DUNELAND SCHOOL CORPORATION

2020 NURSE'S OFFICE RENOVATIONS AT:

BAILLY ELEMENTARY SCHOOL

800 S 5TH STREET, CHESTERTON, INDIANA 46304

REVISIONS	
1	08/11/2020

PROJECT NUMBER: 20-006
PROJECT MANAGER: TKS
DRAWN BY: OAS

ISSUED FOR PROPOSAL
04/07/2020

PARTIAL FLOOR PLAN - POWER - ELECTRICAL

E2.10

PLOTTED BY: DAWN DATE PLOTTED: 4/16/2020 12:57 PM FILE PATH AND NAME: Q:\139_0-1 DSC Bldg Elementary School Nurse Office Renovation\E\139_0-1 E2.10

Bailly Elem School Nurse Renov Duneland

DRAWING ISSUE:		DATE:
SUBMITTALS	REV-0	5/22/2020
AS BUILT		8/5/2020

As-Built
8/5/2020

Johnson Controls

Creating a better climate for business.

- ■ Environmental Control System
- ■ Facility Management System
- ☐ Air and Water System Balancing
- ☐ Fire Management System
- ☐ Security System
- ☐ Lighting Services
- ☐ Instrumentation System Installation
- ☐ Building Operations Management
- ☐ Energy Conservation Control
- ☐ Training Programs
- ☐ Performance Contracting
- ☐ Planned Service Agreements

Air Conditioning
Heating
Diagnostic Services
Coil Cleaning
Refrigeration
Automatic Temperature Controls
Facility Management Systems
Fire Management
Security Management
Building Operations and Management
Water Treatment
Electrical Equipment
Emergency Generator / Lighting Equipment
Industrial Controls / Recording / Indication Equipment

PROJECT TITLE

Bailly Elem School Nurse Renov Duneland

ARCHITECT	ENGINEER
, **Phone:**	, **Phone:**

MECHANICAL CONTRACTOR	ELECTRICAL CONTRACTOR
Circle "R" Mechanical, Inc **6620 Shepherd Ave** **Portage, IN 46368** **Phone: (219) 406-3009**	**Hyre Electric Address** **2655 Garfield Ave** **Highland IN 46322**

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY

Branch Information

Johnson Controls, Inc.
1500 Huntington Drive
Calumet City, IL 60409-5402
Phone: (708) 474-1717
Fax: (708) 474-6551

SALES ENGINEER	PROJECT MANAGER	APPLICATION ENGINEER	DATE	CONTRACT NUMBER
Mary Pullo	Jeffrey Loupee	Qusai Alqadi	8/5/2020	0N02-0154

LEGEND

- S 20 — Main Air Supply Tube at 20 PSIG
- D-N 15-20 — Dual Air Supply Tube at 15/20 PSIG Day=15, Night=20
- S 80 — High Pressure Air Supply Tube at 80 PSIG
- Air line or Electrical Wire
- Connected Lines or Wires
- Crossing Lines or Wires, Not Connected
- In-Line Restrictor
- 7 — Pneumatic Tube indicating Tube Number
- 2/18 — Wire Symbol indicating: number of wires and size (E.G. 2 #18 wires)
- 3 — 2/18 — Wire Symbol indicating: Cable Destination (DA-T), Cable number (3), Number of wires and size (E.G. 2 #18 wires)
- 1 — Electrical Wire Terminal with Appropriate Number
- Item Located on Panel Face
- 1 — Drawing Revision Symbol with Appropriate Number
- NO — Opposed Blade Damper
- NO — Parallel Blade Damper
- Filter
- Air Flow Measuring Station
- Humidifier
- Fan
- Pump
- H/C — Heating or Cooling Coil
- Ductwork or Piping with Flow Direction Shown
- Gage
- Device
- Bulb Type Temperature Sensing Element Located under Shield in Outside air
- Humidity Sensing Element Located under Shield in Outside air
- Bulb Type Temperature Sensing Element Located inside Separable Socket/Well
- Strap-on Bulb Type Temperature Sensing Element
- Combination Bulb Type Temperature Sensing Element and Humidity Sensor (Duct Mount)
- Bulb Type Temperature Sensing Element
- Pressure Sensing Device
- Paddle Type Flow Switch
- Vapor Tension Temperature Sensing Element (Hi Limit)
- Vapor Tension Temperature Sensing Element (Low Limit)
- Current Sensing Switch or Combination Current Sensing switch & Command Relay
- Duct Detector (Smoke, CO, CO2)
- 2-Way Valve with Actuator — N C
- 3-Way Valve with Actuator — C, N C, N 0

DRAWING INDEX

Drawing Title

Valve Schedule

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY

Sales Engineer	Project Manager	Application Engineer	DRAWN		APPROVED	
			BY	DATE	BY	DATE
Mary Pullo	Jeffrey Loupee	Qusai Alqadi				

Project Title

Bailly Elem School Nurse Renov
Duneland

Branch Information

Johnson Controls, Inc.
1500 Huntington Drive
Calumet City, IL 60409-5402
Phone: (708) 474-1717
Fax: (708) 474-6551

CONTRACT NUMBER

0N02-0154

DRAWING NUMBER

VS-1

STANDARD HARDWARE NAMING CONVENTIONS

AIR HANDLING UNIT PREFIXES

Devices (both Input & Output)

SF	Supply Fan
RF	Return Fan
EF	Exhaust Fan
OF	Outside Fan
SFn	Supply Fan n (n=1,2)
RFn	Return Fan n (n=1,2)
EFn	Exhaust Fan n (n = 1-9)
OAD	OA Damper
MOAD	Min Damper
RAD	RA Damper
MAD	MA Damper
DAD	DA Damper
SAD	SA Damper
EAD	EA Damper
FBD	F & B Damper

Analog Inputs

OA	Outside Air
MOA	Min OA
RA	Return Air
MA	Mixed Air
DA	Discharge Air
SA	Supply Air
SA1	Supply Air 1
SA2	Supply Air 2
EA	Exhaust Air
RM	Room
ZN	Zone
ZNn	Zone n (n = 1-9)
PH	Preheat
CD	Cold Deck
HD	Hot Deck
CC	Cooling Coil
HC	Heating Coil
DTC	Dual Temp Coil
CZN	Coldest Zone
WZN	Warmest Zone

Binary Inputs

FILT	Filter
PFILT	PreFilter
FFILT	Final Filter
HFILT	HEPA Filter
LT	Low Temp
HT	High Temp
LSP	Low Static Pressure
HSP	High Static Pressure
HHL	Humidity Hi Limit
SFVSD	Supply Fan VSD
RFVSD	Return Fan VSD
EFVSD	Exhaust Fan VSD
OFVSD	OA Fan VSD

Analog and Binary Outputs

CLG	Cooling
HTG	Heating
RH	Reheat
RHn	Reheat n (n = 1-9)
PH	Preheat
PC	Precool
DTC	Dual Temp Coil
HR	Heat Recovery
HUM	Humidifier
HRP	Heat Recovery Pump
PHP	Preheat Pump
HP	Heating Pump
CP	Cooling Pump
DTP	Dual Temp Pump
CLGn	Clg Stage n (n = 1-9)
HTGn	Htg Stage n (n = 1-9)
ZNn	Zone n (n = 1-9)

CENTRAL PLANT PREFIXES

Devices (both Input & Output)

CH	Chiller
CHn	Chiller n (n = 1-9)
BLR	Boiler
BLRn	Boiler n (n = 1-9)
CT	Cooling Tower
CTn	Cooling Tower n (n = 1-9)
CTVS	Cooling Tower Vibration Switch
CTnVS	Cooling Tower n (n = 1-9) Vibration Switch
CTnD	Cooling Tower n (n = 1-4) Damper
CTnL	Cooling Tower n (n = 1-4) Lo Speed
CTnH	Cooling Tower n (n = 1-4) Hi Speed
CTnC1L	Cooling Tower n (n = 1-4) Cell 1 Lo Speed
CTnC1H	Cooling Tower n (n = 1-4) Cell 1 Hi Speed
CTnC2L	Cooling Tower n (n = 1-4) Cell 2 Lo Speed
CTnC2H	Cooling Tower n (n = 1-4) Cell 2 Hi Speed
P	Pump
Pn	Pump n (n = 1-9)
CHP	Chilled Water Pump
CHPn	Chilled Water Pump n (n = 1-9)
PCHP	Primary Chilled Water Pump
PCHPn	Primary Chilled Water Pump n (n = 1-9)
SCHP	Secondary Chilled Water Pump
SCHPn	Secondary Chilled Water Pump n (n = 1-9)
CWP	Condenser Water Pump
CWPn	Condenser Water Pump n (n = 1-9)
HWP	Hot Water Pump
HWPn	Hot Water Pump n (n = 1-9)
PHWP	Primary HW Pump
PHWPn	Primary HW Pump n (n = 1-9)
SHWP	Secondary HW Pump
SHWPn	Secondary HW Pump n (n = 1-9)
DHWP	Domestic HW Pump
DHWPn	Domestic HW Pump n (n = 1-4)
DWP	Domestic Water Pump
DWPn	Domestic Water Pump n (n = 1-4)
CHISO	Chilled Water Isolation Valve
CWISO	Condenser Water Isolation Valve
CWnISO	Condenser Water n (n = 1-9) Isolation Valve
CTISO	Cooling Tower Isolation Valve
CTnISO	Cooling Tower n (n = 1-9) Isolation Valve
CHISO	Chiller Isolation Valve
CHnISO	Chiller n (n = 1-9) Isolation Valve
BISO	Boiler Isolation Valve
BnISO	Boiler n (n = 1-9) Isolation Valve
HXISO	Heat Exchanger Isolation Valve
HXnCHI	Heat Exchanger n (n = 1-4) CHW Isolation Valve
HXnCWI	Heat Exchanger n (n = 1-4) CWW Isolation Valve
HXnHWI	Heat Exchanger n (n = 1-4) HW Isolation Valve

Analog Inputs

PCHS	Primary CH Supply
PCHR	Primary CH Return
CHS	Chilled Water Supply
CHR	Chilled Water Return
CWS	Cond Water Supply
CWR	Cond Water Return
SCHS	Secondary CH Supply
SCHR	Secondary CH Return
DTS	Dual Temp Supply
DTR	Dual Temp Return
TCHS	Tertiary CH Supply
TCHR	Tertiary CH Return
PHWS	Primary HW Supply
PHWR	Primary HW Return
HWS	Hot Water Supply
HWR	Hot Water Return
SHWS	Secondary HW Supply
SHWR	Secondary HW Return
ITS	Ice Tank Supply
ITR	Ice Tank Return
STM	Steam

Analog Inputs (continued)

HXnCHS	Heat Exchanger n (n = 1-4) CHS
HXnCHR	Heat Exchanger n (n = 1-4) CHR
HXnCWS	Heat Exchanger n (n = 1-4) CWS
HXnCWR	Heat Exchanger n (n = 1-4) CWR
HXnHWS	Heat Exchanger n (n = 1-4) HWS
HXnHWR	Heat Exchanger n (n = 1-4) HWR
HXnSTM	Heat Exchanger n (n = 1-4) STM
HXnPW	Heat Exchanger n (n = 1-4) Process
HXnDHW	Heat Exchanger n (n = 1-4) Domestic HW
CHCHS	Chiller CH Supply
CHCHR	Chiller CH Return
CHCWS	Chiller CW Supply
CHCWR	Chiller CW Return
CnCHS	Chiller n (n = 1-9) CH Supply
CnCHR	Chiller n (n = 1-9) CH Return
CnCWS	Chiller n (n = 1-9) CW Supply
CnCWR	Chiller n (n = 1-9) CW Return
TnBSN	Tower n (n = 1-9) Basin
BnHWS	Boiler n (n = 1-9) HW Supply
BnHWR	Boiler n (n = 1-9) HW Return
HPS	High Pressure Steam
MPS	Medium Pressure Steam
LPS	Low Pressure Steam
HTHW	High Temp Hot Water
MTHW	Medium Temp Hot Water
DW	Domestic Water
DHW	Domestic Hot Water
EM	Electric Meter
EMn	Electric Meter n (n = 1-4)
GM	Gas Meter
GMn	Gas Meter n (n = 1-4)

Binary Inputs

SPVSD	Secondary CHW Pump VSD
SPnVSD	Secondary CHW Pump n (n = 1-9) VSD
SPVSD	Secondary HW Pump VSD
SPnVSD	Secondary HW Pump n (n = 1-9) VSD
TVIB	Tower Vibration
LW	Low Water
BFF	Boiler Flame Failure
BnFF	Boiler n (n = 1-9) Flame Failure

Analog and Binary Outputs

CTBYP	Cooling Tower Bypass Valve
CTnBYP	Cooling Tower n (n = 1-9) Bypass Valve
HX	Heat Exchanger Valve
HXn	Heat Exchanger n (n = 1-9) Valve

SUFFIXES

Binary Outputs

-C	Command	Off/On
-EN	Enable	Dis/Ena
-OP	Open	Off/On
-CL	Close	Off/On

Analog Outputs

-O	Output	%
-O1	Output 1	%
-O2	Output 2	%

Binary Inputs

-S	Status	Off/On
-A	Alarm	Normal/Alarm
-ES	End Switch	Close/Open
-FS	Flow Switch	Off/On
-SD	Smoke Detector	Normal/Alarm
-S	Status	Clean/Dirty

Analog Inputs

-T	Temp	Deg F
-H	Humidity	% RH
-WB	Wetbulb	Deg F
-Q	Air Quality	PPM
-L	Level	% Full
-P	Static Pressure	In WC
-DP	Diff Pressure	In WC
-VP	Velocity Pressure	In WC
-E	Enthalpy	BTU/Lb
-DEW	Dewpoint	Deg F
-F	Flow	CFM
-F	Flow	GPM
-F	Flow	Lb/Hr
-%	Speed	%
-I	Amps	Amps
-V	Volts	Volts
-KW	Kilowatts	KW
-W	Watts	Watts
-TON	Tons	Tons
-CO	CO	PPM
-CO2	CO2	PPM
-HP	Horsepower	HP
-P	Pressure	psi
-DP	Diff Pressure	psi
-POS	Position	%
-BTU	BTUs	BTU

Drawing Title
Standard Hardware Naming Conventions

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY

Sales Engineer	Project Manager	Application Engineer	DRAWN		APPROVED	
Mary Pullo	Jeffrey Loupee	Qusai Alqadi	BY	DATE	BY	DATE

Project Title
Bailly Elem School Nurse Renov Duneland

Branch Information
Johnson Controls, Inc.
1500 Huntington Drive
Calumet City, IL 60409-5402
Phone: (708) 474-1717
Fax: (708) 474-6551

CONTRACT NUMBER
0N02-0154

DRAWING NUMBER
00.02-00

STANDARD SOFTWARE NAMING CONVENTIONS

AIR HANDLING UNIT PREFIXES

Setpoints

DAT	Discharge Air Temperature
SAT	Supply Air Temperature
DAP	Discharge Air Static Pressure
SAP	Supply Air Static Pressure
RAP	Return Air Static Pressure
DAH	Discharge Air Humidity
MAT	Mixed Air Temperature
RAT	Return Air Temperature
RAH	Return Air Humidity
RMT	Room Temperature
RMH	Room Humidity
ZNT	Zone Temperature
ZNH	Zone Humidity
MALT	Mixed Air Low Temperature
HDT	Hot Deck Temperature
CDT	Cold Deck Temperature
CDLT	Cold Deck Low Temperature
PHT	Preheat Temperature
PCT	PreCool Temperature
ACLG	Actual Cooling
AHTG	Actual Heating
ASCLG	Actual Supply Cooling
ACDT	Actual Cold Deck Temperature
ASHTG	Actual Supply Heating
AHDT	Actual Hot Deck Temperature
OCLG	Occupied Cooling
OHTG	Occupied Heating
UCLG	Unoccupied Cooling
UHTG	Unoccupied Heating
ZNCLG	Zone Cooling
ZNHTG	Zone Heating
BBHTG	Baseboard Heating
FTHTG	Fin Tube Heating
SAF	Supply Air Flow
RAF	Return Air Flow
OAF	Outside Air Flow
EAF	Exhaust Air Flow
DAF	Discharge Air Flow
MOAF	Minimum Outside Air Flow
SAH	Supply Air Humidity
ZNnT	Zone n (n = 1-9) Temperature
ZNnH	Zone n (n = 1-9) Humidity
HDH	Hot Deck Humidity

Reset Parameters

SAT	Supply Air Temperature
HDT	Hot Deck Temperature
CDT	Cold Deck Temperature
ZNT	Zone Temperature
OAT	Outside Air Temperature

Modes

ECON	Economizer Mode

CENTRAL PLANT PREFIXES

Devices (both Input & Output)

CH	Chiller
CHn	Chiller n (n = 1-9)
BLR	Boiler
BLRn	Boiler n (n = 1-9)
CT	Cooling Tower
CTn	Cooling Tower n (n = 1-9)
P	Pump
Pn	Pump n (n = 1-9)
CHP	Chilled Water Pump
CHPn	Chilled Water Pump n (n = 1-9)
PCHP	Primary Chilled Water Pump
PCHPn	Primary Chilled Water Pump n (n = 1-9)
SCHP	Secondary Chilled Water Pump
SCHPn	Secondary Chilled Water Pump n (n = 1-9)
CWP	Condenser Water Pump
CWPn	Condenser Water Pump n (n = 1-9)
HWP	Hot Water Pump
HWPn	Hot Water Pump n (n = 1-9)
PHWP	Primary HW Pump
PHWPn	Primary HW Pump n (n = 1-9)
SHWP	Secondary HW Pump
SHWPn	Secondary HW Pump n (n = 1-9)

Setpoints

CHDL	Chiller Demand Limit
CHnDL	Chiller n (n = 1-9) Demand Limit
PCHST	Primary CH Supply Temperature
PCHRT	Primary CH Return Temperature
CHST	Chilled Water Supply Temperature
CHRT	Chilled Water Return Temperature
CWST	Cond Water Supply Temperature
CWRT	Cond Water Return Temperature
SCHST	Secondary CH Supply Temperature
SCHRT	Secondary CH Return Temperature
DTST	Dual Temperature Supply Temperature
DTRT	Dual Temperature Return Temperature
TCHST	Tertiary CH Supply Temperature
TCHRT	Tertiary CH Return Temperature
PHWST	Primary HW Supply Temperature
PHWRT	Primary HW Return Temperature
HWST	Hot Water Supply Temperature
HWRT	Hot Water Return Temperature
SHWST	Secondary HW Supply Temperature
SHWRT	Secondary HW Return Temperature
HXnCHST	Heat Exchanger n (n = 1-4) CHS Temperature
HXnCWS	Heat Exchanger n (n = 1-4) CWS Temperature
HXnHWS	Heat Exchanger n (n = 1-4) HWS Temperature
CHCHST	Chiller CH Supply Temperature
CHnCHST	Chiller n (n = 1-9) CH Supply Temperature
CHCWST	Chiller CW Supply Temperature
CHnCWST	Chiller n (n = 1-9) CH Supply Temperature
BnHWST	Boiler n (n = 1-9) HW Supply Temperature

Reset Parameters

HWST	Hot Water Supply Temperature
SHWST	Secondary HW Supply Temperature
CHST	Chilled Water Supply Temperature

TERMINAL BOX PREFIXES

Setpoints

AZNT	Actual Zone Temperature
OCCFM	Occupied CFM
UNCFM	Unoccupied CFM
WUCFM	Warmup CFM
OCSAC	Occupied Supply Air CFM
UNSAC	Unoccupied Supply Air CFM
WUSAC	Warmup Supply Air CFM
OCRAC	Occupied Return Air CFM
UCRAC	Unoccupied Return Air CFM
WURAC	Warmup Return Air CFM
OCEAC	Occupied Exhaust Air CFM
UNEAC	Unoccupied Exhaust Air CFM
WUEAC	Warmup Exhaust Air CFM
OCLGC	Occupied Cooling CFM
UCLGC	Unoccupied Cooling CFM
OHTGC	Occupied Heating CFM
UCLGC	Unoccupied Cooling CFM
OBMNC	Occupied Base Board Minimum CFM
UBMNC	Unoccupied Base Board Minimum CFM
OBMXC	Occupied Base Board Maximum CFM
UBMXC	Unoccupied Base Board Maximum CFM
OCDMN	Occupied Cold Deck Minimum CFM
UCDMN	Unoccupied Cold Deck Minimum CFM
OCDMX	Occupied Cold Deck Maximum CFM
UCDMX	Unoccupied Cold Deck Maximum CFM
OHDMN	Occupied Hot Deck Minimum CFM
UHDMN	Unoccupied Hot Deck Minimum CFM
OHDMX	Occupied Hot Deck Maximum CFM
UHDMX	Unoccupied Hot Deck Maximum CFM
OCMNC	Occupied Cooling Minimum CFM
UCMXC	Unoccupied Cooling Maximum CFM
OHMNC	Occupied Hot Deck Minimum CFM
UHMXC	Unoccupied Hot Deck Maximum CFM
WCMNC	Warmup Cooling Minimum CFM
WCMXC	Warmup Cooling Maximum CFM
WHMNC	Warmup Heating Minimum CFM
WHMXC	Warmup Heating Maximum
WCDMN	Warmup Cold Deck Minimum CFM
WCDMX	Warmup Cold Deck Maximum CFM
WHDMN	Warmup Hot Deck Minimum CFM
WHDMX	Warmup Hot Deck Maximum CFM

SUFFIXES

Analog Outputs

-SP	Setpoint	Setp
-RB	Reset Band	Setp
-LL	Low Limit	Setp
-HL	High Limit	Setp

Analog Inputs

-SP	Setpoint	Setp

Analog Datapoints

-SQ	Sequence	of X
-Z	PID Controller	

Binary Datapoints

-SQ	Sequence	1/2

Drawing Title
Standard Software Naming Conventions

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY

Sales Engineer	Project Manager	Application Engineer	DRAWN		APPROVED	
Mary Pullo	Jeffrey Loupee	Qusai Alqadi	BY	DATE	BY	DATE

Project Title
Bailly Elem School Nurse Renov
Duneland

Johnson Controls

Branch Information
Johnson Controls, Inc.
1500 Huntington Drive
Calumet City, IL 60409-5402
Phone: (708) 474-1717
Fax: (708) 474-6551

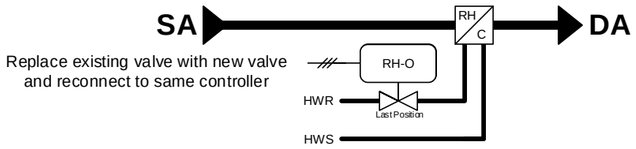
CONTRACT NUMBER
0N02-0154

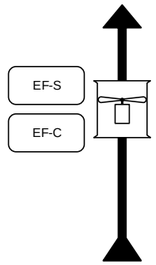
DRAWING NUMBER
00.03-00

MISC CONTROLS

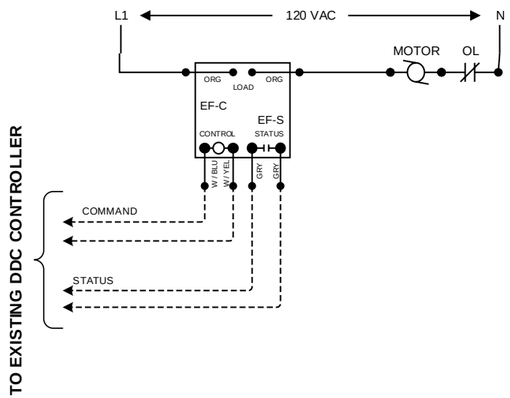
BILL OF MATERIALS

Designation	Qty	Part Number	Description
PANEL	1	EXISTING PANEL	
CONTROLLER	1	MS-FEC2611-0	EXISTING CONTROLLER
Field Devices:			
EF-C, -S	1	H120	CSR, N.O., 24V, FRAC HP, N.O., SERIES
RH-O	1	SEE VALVE SCHEDULE	





EXHAUST FAN MOTOR WIRING



xxxxxx SOLID BOX = FIELD DEVICE REQUIRED
(DESIGNATED AS EITHER FIELD OR PANEL IN BOM)

xxxxxx DASHED BOX = FIELD CONNECTION POINT ONLY
(DESIGNATED AS OTHER IN BOM)

xxxxxx DOTTED BOX = SOFTWARE MAPPED POINT
(DESIGNATED AS OTHER IN BOM)

Drawing Title
Misc Controls

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY

Sales Engineer	Project Manager	Application Engineer	DRAWN		APPROVED	
Mary Pullo	Jeffrey Loupee	Qusai Alqadi	BY	DATE	BY	DATE

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0N02-0154

DRAWING NUMBER
02.00-00

MISC POINT SCHEDULE 1

Electrician/Fitter	Point Information				Controller Information						Panel Information				Intermediate Device				Field Device				
Tag	Point Type	System Name	Object Name	Expanded ID	Controller Details	Trunk Type	Trunk Nbr	Trunk Addr.	Cable Destination Bay/Terminal	Termination Out	Panel	Panel Location	Slot Number	Cable Number	Wiring /Tubing	Termination In	Device	Termination Out	Wiring /Tubing	Termination In	Device	Ref Detail Shape	Comment
FEC-1					FEC 26xx																		Power to Controller
					FEC 26xx	MS/TP	1	5			EN-BLY.RTU Admin	Mech Room	0										BacNet FC Bus
	UI IN-1	BLY.RTU Admin	DA-T	Discharge Air Temperature	FEC 26xx	MS/TP	1	5	UI IN-1		EN-BLY.RTU Admin	Mech Room	0	-4-UI IN-1									
	UI IN-2	BLY.RTU Admin	RA-T	Return Air Temperature	FEC 26xx	MS/TP	1	5	UI IN-2		EN-BLY.RTU Admin	Mech Room	0	-4-UI IN-2									
	UI IN-3	BLY.RTU Admin	LT-A	Low Temperature Alarm	FEC 26xx	MS/TP	1	5	UI IN-3		EN-BLY.RTU Admin	Mech Room	0	-4-UI IN-3									
	UI IN-4	BLY.RTU Admin	PFILT-S	PreFilter Status	FEC 26xx	MS/TP	1	5	UI IN-4		EN-BLY.RTU Admin	Mech Room	0	-4-UI IN-4									
	UI IN-5	BLY.RTU Admin	RA-SD	Return Air Smoke Alarm	FEC 26xx	MS/TP	1	5	UI IN-5		EN-BLY.RTU Admin	Mech Room	0	-4-UI IN-5									
	UI IN-6	BLY.RTU Admin	FILT-S	Filter Status	FEC 26xx	MS/TP	1	5	UI IN-6	IN1, ICOM1	EN-BLY.RTU Admin	Mech Room	0	-4-UI IN-6									
	BI IN-7	BLY.RTU Admin	SF-S	Supply Fan Status	FEC 26xx	MS/TP	1	5	BI IN-7		EN-BLY.RTU Admin	Mech Room	0	-4-BI IN-7									
	BI IN-8	**MISC**	**EF-S**	**Exhaust Fan Status**	**FEC 26xx**	**MS/TP**	**1**	**5**	**BI IN-8**		**EN-BLY.RTU Admin**	**Mech Room**	**0**	**-4-BI IN-8**	**2/22**	**OUT, COM**	**Current Relay**	**Motor Lead**	**Motor Lead**	**See wiring detail**	**Motor Status (Contact)**	**F301**	
	BO OUT-1	BLY.RTU Admin	SF-C	Supply Fan Command	FEC 26xx	MS/TP	1	5	BO OUT-1		EN-BLY.RTU Admin	Mech Room	0	-4-BO OUT-1									
	BO OUT-2	BLY.RTU Admin	CLG1-C	Cooling Stage 1 Command	FEC 26xx	MS/TP	1	5	BO OUT-2		EN-BLY.RTU Admin	Mech Room	0	-4-BO OUT-2									
	BO OUT-3	**MISC**	**EF-C**	**Exhaust Fan Command**	**FEC 26xx**	**MS/TP**	**1**	**5**	**BO OUT-3**	**OUT3, 24V COM**	**EN-BLY.RTU Admin**	**Mech Room**	**0**	**-4-BO OUT-3**					**2/18**	**See wiring detail**	**24VAC OUT (Sw Hi, EXT Source)**	**F501**	
	CO OUT-4	BLY.RTU Admin			FEC 26xx	MS/TP	1	5	CO OUT-4		EN-BLY.RTU Admin	Mech Room	0	-4-CO OUT-4									
	CO OUT-5	BLY.RTU Admin			FEC 26xx	MS/TP	1	5	CO OUT-5		EN-BLY.RTU Admin	Mech Room	0	-4-CO OUT-5									
	CO OUT-6	BLY.RTU Admin			FEC 26xx	MS/TP	1	5	CO OUT-6		EN-BLY.RTU Admin	Mech Room	0	-4-CO OUT-6									
	CO OUT-7	BLY.RTU Admin			FEC 26xx	MS/TP	1	5	CO OUT-7		EN-BLY.RTU Admin	Mech Room	0	-4-CO OUT-7									
	AO OUT-8	BLY.RTU Admin			FEC 26xx	MS/TP	1	5	AO OUT-8		EN-BLY.RTU Admin	Mech Room	0	-4-AO OUT-8									
	AO OUT-9	BLY.RTU Admin	RH-O	Reheat Output	FEC 26xx	MS/TP	1	5	AO OUT-9		EN-BLY.RTU Admin	Mech Room	0	-4-AO OUT-9									
		BLY.RTU Admin			NET STAT						EN-BLY.RTU Admin	Mech Room											
		BLY.RTU Admin			NET STAT	SA Bus	1	199			EN-BLY.RTU Admin	Mech Room	0										BacNet SA Bus
	STAT	BLY.RTU Admin	ZN1-T	Zone 1 Temperature	NET STAT	SA Bus	1	199	STAT		EN-BLY.RTU Admin	Mech Room	0	4--199-STAT									

Points that are highlighted, red and bold are new points

Points that are not highlighted, black, and not bold are existing points

FEC is existing controller in a panel

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY
		AS BUILT		6/5/2020	QA

FILENAME	REVISION DATE/TIME	SLW	SALES ENGINEER	PROJECT MANAGER	APPLICATION ENGINEER	DRAWN BY	DRAWN DATE	APPROVED BY	APPROVED DATE
02.01-01_POINT SCHEDULE.VSD	08/05/20 8:39 AM		Mary Pullo	Jeffrey Loupee	Qusai Alqadi	QA	5/22/2020		

DRAWING TITLE
Misc Point Schedule 1

PROJECT NAME
Bailly Elem School Nurse Renov
Duneland

BRANCH INFORMATION
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1500 Huntington Drive
Calumet City
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Phone: (708) 474-1717
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CONTRACT NUMBER
0N02-0154

DRAWING NUMBER
02.01-00

VALVE SCHEDULE

Tag					Valve Information																Actuator Information	
Item	System	Service	Qty.	Ref. Dwg.	Select Code Number	Valve Family	Configuration	Fail Position	Inlet Pipe Size (in)	Valve Size (in)	Medium	Flow (gpm or lbs/hr)	Design Delta P (psi)	Valve Delta P (psi)	Design Coefficient (Cv)	Valve Coefficient (Cv)	Design Close Off (psi)	Valve Close Off (psi)	Trim Material	Connection	Code Number	Actuator Control
1	RHC	RH-O	1		VG1245AG+943GGA	Ball Valve	2-Way	Valve Closed	3/4	1/2	Water	8.9	4.0	3.6	4.5	4.7	200.0	200.0	Stainless Steel	Threaded	VA9203-GGA-2Z	0-10VDC PROP

Drawing Title

Valve Schedule

REFERENCE DRAWING	NO.	REVISION-LOCATION	ECN	DATE	BY

Sales Engineer	Project Manager	Application Engineer	DRAWN		APPROVED	
			BY	DATE	BY	DATE
Mary Pullo	Jeffrey Loupee	Qusai Alqadi				

Project Title

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VS-1