

GENERAL STRUCTURAL NOTES  
BUILDING CODES USED FOR DESIGN

1. INTERNATIONAL BUILDING CODE, 2012 EDITION

DESIGN LOADS

1.	MECHANICAL ROOFS	DESIGN LIVE LOADS: 125 PSF** 20 PSF
2.	GROUND SNOW LOAD FLAT-ROOF SNOW LOAD SNOW EXPOSURE FACTOR SNOW IMPORTANCE FACTOR THERMAL FACTOR	ROOF SNOW: 30 PSF 25 PSF*** 1.0 1.1 1.0
3.	BASIC WIND SPEED WIND EXPOSURE COMPONENTS & CLADDING	WIND: 120 MPH C
SEISMIC:	SEISMIC IMPORTANCE FACTOR USE GROUP SS SI	125 III 0.115 0.062
SITE CLASS	SDS SD1	D 0.123
DESIGN CATEGORY	BASIC RESISTING SYSTEM	0.099 B ORDINARY REINFORCED MASONRY SHEAR WALLS
	RESPONSE COEFFICIENT RESPONSE MODIFICATION COEFFICIENT ANALYSIS PROCEDURE	0.071 2.0 ELF
	**OR EQUIPMENT WEIGHT IF HEAVIER ***PLUS DRIFTING AND/OR SLIDING SNOW	

SHEET NOTES:

- 1) SEE SHEET A8.20 FOR GENERAL NOTES, ABBREVIATIONS AND SCHEDULES.
- 2) VERIFY ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS, ARCHITECTURAL, PLUMBING AND MECHANICAL DRAWINGS.
- 3) GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE ALL MISCELLANEOUS STEEL PIECES AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- 4) GENERAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS FOR ROOF OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. NOT ALL OPENINGS ARE INDICATED ON PLAN. SEE DETAIL X/XXXX FOR ROOF FRAMING DETAIL.
- 5) GENERAL CONTRACTOR TO COORDINATE SIZES AND LOCATIONS OF MECHANICAL UNITS WITH MECHANICAL CONTRACTOR. IF UNIT SIZE AND WEIGHT VARIES FROM WHAT IS INDICATED ON THE STRUCTURAL DRAWINGS PLEASE CONTACT THE ENGINEER IMMEDIATELY.
- 6) PROVIDE #6 @ 48" OC VERTICAL REINFORCEMENT FULL HEIGHT AT ALL EXTERIOR AND PARTIAL EXTERIOR WALLS. GROUT CELLS SOLID AT REINFORCEMENT. PROVIDE DOUELS INTO CONCRETE FOUNDATION MATCH SIZE AND SPACING OF WALL REINFORCEMENT. PROVIDE (2) ADDITIONAL #5 VERTICAL REINFORCEMENT, GROUTED FULL HEIGHT, AT EACH SIDE OF ALL OPENINGS AND CONTROL JOINTS.

CONCRETE

1. ALL CONCRETE WORK INCLUDING FORMING, REINFORCING, MIXING, PLACING AND CURING SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF CONCRETE PRACTICE INCLUDING "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318 AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE," ACI 301.
2. ALL CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH f'c = 3000 PSI FOR FOUNDATIONS AND SLABS AT 28 DAYS.
3. CONCRETE SHALL BE VIBRATED INTO FORMS WHILE PLACING, WITHOUT OVER-VIBRATING. REINFORCING SHALL BE PROTECTED BY CONCRETE OF THICKNESS AS FOLLOWS UNO:

FOOTINGS	3"
OTHER FOUNDATION	2" BOTH FACES
EXPOSED EXTERIOR CONCRETE	2"
SLAB ON GRADE	t/3 FROM TOP
4. SLABS-ON-GRADE SHALL BE PLACED IN CONTINUOUS STRIPS PER ACI RECOMMENDATIONS.
5. COORDINATE CONCRETE WORK WITH THAT OF OTHER TRADES TO ALLOW FOR SETTING OF SLEEVES, ACCESSORIES, ETC.

LINTEL NOTES

1. LOOSE LINELS FOR NON-LOAD BEARING WALLS SHALL HAVE A MINIMUM END BEARING OF 8" AND SHALL BE THE FOLLOWING SIZES, UNLESS NOTED OTHERWISE (LINTEL SIZES GIVEN ARE FOR NEW MASONRY CONSTRUCTION ONLY (SPANS NOTED ARE CLEAR SPANS):

UP TO 6'-0" SPAN	CONT. 8" HIGH BOND BEAM W/ (2) #5 REBAR
OVER 6'-0" TO 8'-0"	CONT. 16" HIGH BOND BEAM W/ (2) #5 REBAR
OVER 8'-0" TO 12'-0"	W8x18 + #5" #F ON BOTTOM (#F TO BE #8" LESS THAN WALL WIDTH)
2. PLATES ON LINELS SHALL BE SHOP WELDED TO MEMBER W/ #4"x2" FILLET WELDS AT 12" O.C. STAGGERED.
3. WELD TOGETHER ALL BACK-TO-BACK ANGLES.
4. CONTRACTOR SHALL COORDINATE ALL REQUIRED OPENINGS IN NON-LOAD BEARING MASONRY WALLS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

REINFORCED MASONRY

1. ALL MASONRY SHALL CONFORM TO ACI 530, "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" AND ACI 530.1 "SPECIFICATION FOR MASONRY STRUCTURES."
2. ALL LOAD BEARING CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2150 PSI OR PROVIDE Fm GREATER THAN OR EQUAL TO 1500 PSI BY THE PRISM STRENGTH TEST METHOD.
3. GROUT FOR VERTICALLY REINFORCED MASONRY WALLS AND BOND BEAMS SHALL CONSIST OF 1 PORTLAND CEMENT; 2#8" FINE AGGREGATE; 2 FEA GRAVEL; Fc = 2500 PSI @ 28 DAYS. GROUT SLUMP SHALL BE 9"-10"
4. ALL MASONRY WALLS SHALL HAVE HORIZONTAL REINFORCING CONSISTING OF GALVANIZED STANDARD WEIGHT 3 GA. "DUR-O-WAL" OR EQUIVALENT. ALL REINFORCING SHALL BE LOCATED EVERY SECOND COURSE.
5. SUPPLY VERTICAL REINFORCING IN MINIMUM 4'-0" PLUS 48 BAR DIAMETER LAP LENGTHS.
6. DOUELS SHALL MATCH SIZE AND NUMBER OF VERTICAL WALL REINFORCING UNLESS NOTED OTHERWISE. HOOK INTO FOUNDATION 1'-0" MIN. AND LAP 48 BAR DIAMETER WITH MAIN STEEL.
7. WALL CONSTRUCTION LIFTS FOR REINFORCING BARS AND INSULATION FILL SHALL BE PER ACI 530.
8. TYPE "N" MORTAR REQUIRED FOR ALL WALLS UNLESS NOTED OTHERWISE.
9. SEE ARCHITECTURAL PLANS FOR LOCATION AND DETAIL OF CONTROL JOINTS AND EXPANSION JOINTS. REINFORCED WALLS SHALL HAVE THE FIRST VERTICAL BAR AND DOUEL WITHIN 8" OF JOINT ON EACH SIDE OF JOINT.
10. BOND BEAMS 6" OR SMALLER USE 1-#5 CONT., BOND BEAMS 8" OR LARGER USE 2-#5 CONT., UNLESS NOTED OTHERWISE.
11. MASONRY WALLS ARE DESIGNED FOR IN PLACE LOADS. MASONRY CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING OF WALLS UNTIL ALL CONNECTIONS ARE COMPLETE AND MORTAR AND GROUT HAVE CURED. NOTE THAT INTERIOR WALLS ARE NOT DESIGNED FOR EXTERIOR WIND LOADS SO CARE SHOULD BE TAKEN TO ADEQUATELY BRACE WALL FOR EXTERIOR WIND LOADS DURING CONSTRUCTION.

MISCELLANEOUS

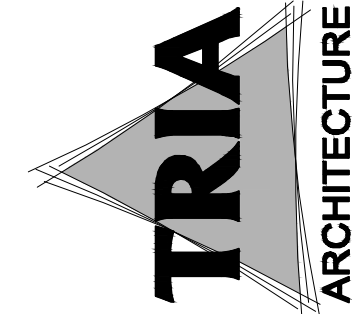
1. ALL ANCHOR BOLTS FOR MECHANICAL AND ELECTRICAL EQUIPMENT ARE FURNISHED AND LOCATED BY THE RESPECTIVE CONTRACTORS AND SET BY THE GENERAL CONTRACTOR EXCEPT WHERE THE OTHER CONTRACTORS FURNISH THEIR OWN CONCRETE PADS.
2. ALL PIPE SLEEVES ARE FURNISHED BY AND LOCATED BY THE MECHANICAL AND ELECTRICAL CONTRACTOR AND SET BY THE GENERAL CONTRACTOR.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENING SIZES, PAD SIZES, AND LOCATIONS WITH THE RESPECTIVE CONTRACTORS.
4. ALL CORE DRILLING SHALL BE DONE BY THE MECHANICAL AND ELECTRICAL CONTRACTORS FOR THEIR OWN WORK UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. NO REINFORCING SHALL BE CUT. VERIFY LOCATION OF REINFORCING BEFORE CORE DRILLING. THERE SHALL NOT BE ANY CORE DRILLING THROUGH BEAMS OR COLUMNS. MAXIMUM CORE HOLE THROUGH SLABS SHALL BE PIPE DIAMETER PLUS 1".

NEW CONSTRUCTION

1. THE CONTRACTOR SHALL FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE CONSTRUED TO APPLY AT ANY SIMILAR CONDITION ELSEWHERE ON THE JOB EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. WHERE DISCREPANCIES OCCUR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENING SIZES, PAD SIZES AND LOCATIONS WITH THE RESPECTIVE CONTRACTORS.

NEW WORK IN CONJUNCTION WITH EXISTING CONSTRUCTION

1. THE CONTRACTOR SHALL VERIFY, BY FIELD CHECK, ALL SIZES, DIMENSIONS, ELEVATIONS, LOCATIONS, ETC. OF ELEMENTS OF THE EXISTING CONSTRUCTION WHICH ARE RELATIVE TO THE NEW CONSTRUCTION.
2. ALL DIMENSIONS INVOLVING NEW WORK TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION SHALL BE FIELD CHECKED BY THE CONTRACTOR AND FURNISHED TO THE SUBCONTRACTOR PRIOR TO FABRICATION OF ANY WORK. THE VERIFIED DIMENSIONS SHALL APPEAR AND BE NOTED AS SUCH ON THE FIRST SHOP DRAWING SUBMITTED.
3. THE ENGINEER HAS MADE ASSUMPTIONS CONCERNING THE SOUNDNESS OF THE EXISTING BUILDING AND THESE ASSUMPTIONS ARE THAT THIS BUILDING WAS DESIGNED AND CONSTRUCTED IN CONFORMITY WITH GOOD DESIGN AND CONSTRUCTION PRACTICES. THE CONTRACTOR SHALL TAKE EXTRAORDINARY PRECAUTIONS CONCERNING PRESERVATION OF THE BUILDING DURING DEMOLITION AND NEW CONSTRUCTION WORK. FURTHER, HE SHALL AGREE TO ASSUME ALL RESPONSIBILITY FOR THE PRESERVATION OF THIS PROPERTY.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS.
5. ALL HOLES THROUGH EXISTING CONSTRUCTION SHALL BE CORE DRILLED OR SAW CUT.



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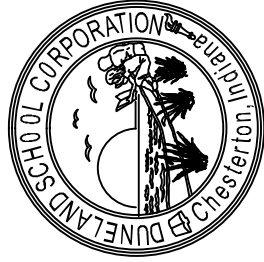
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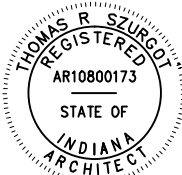
DUNELAND SCHOOL CORPORATION

2020 MECHANICAL RENOVATIONS AT:  
WESTCHESTER INTERMEDIATE SCHOOL

1050 SOUTH 5TH STREET, CHESTERTON, IN 46304

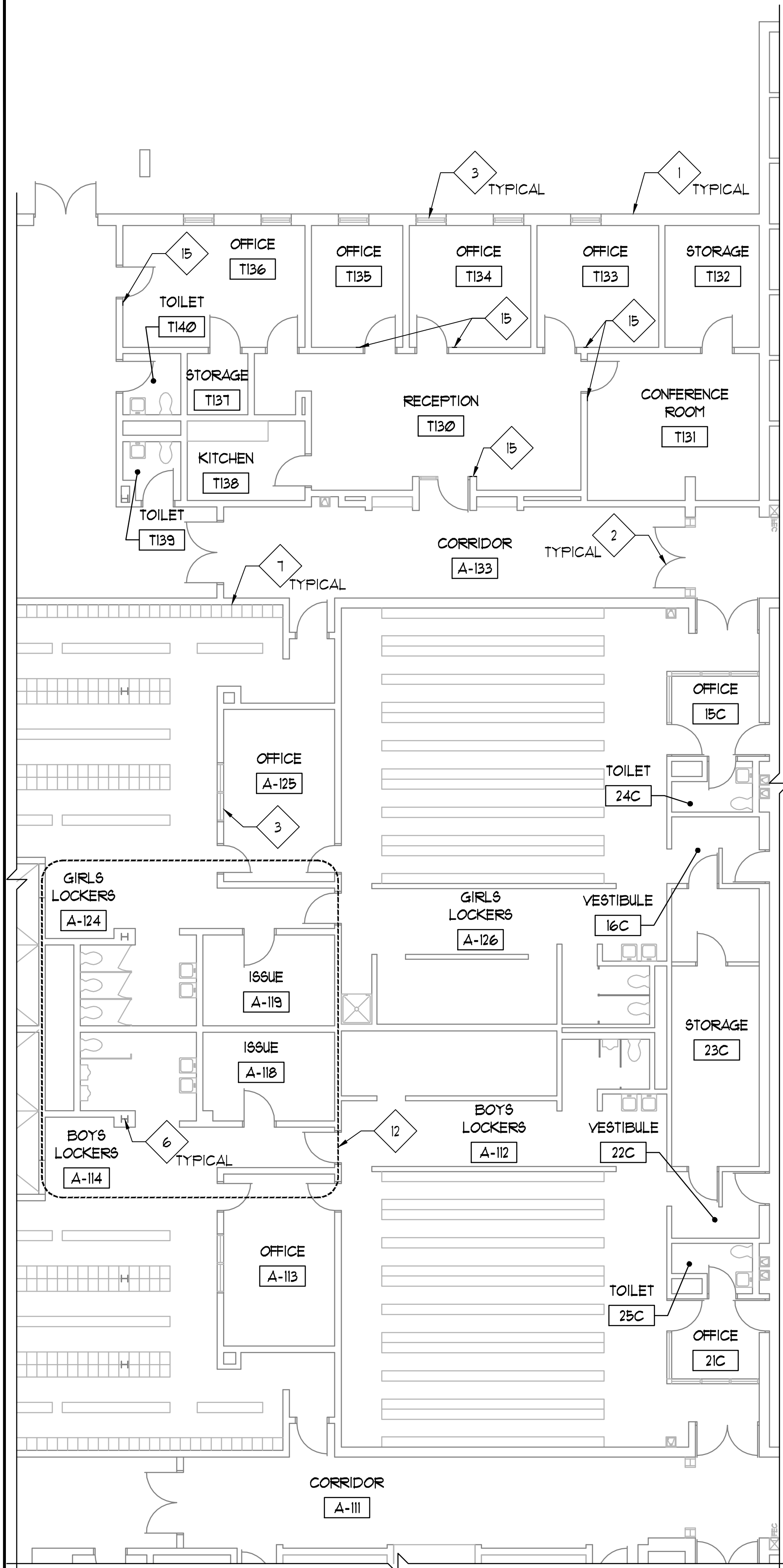


PROJECT NUMBER: 18-0923	PROJECT MANAGER: HQ	DRAWN BY: GT	USED FOR BIDS: 01/07/2020	STRUCTURAL NOTES

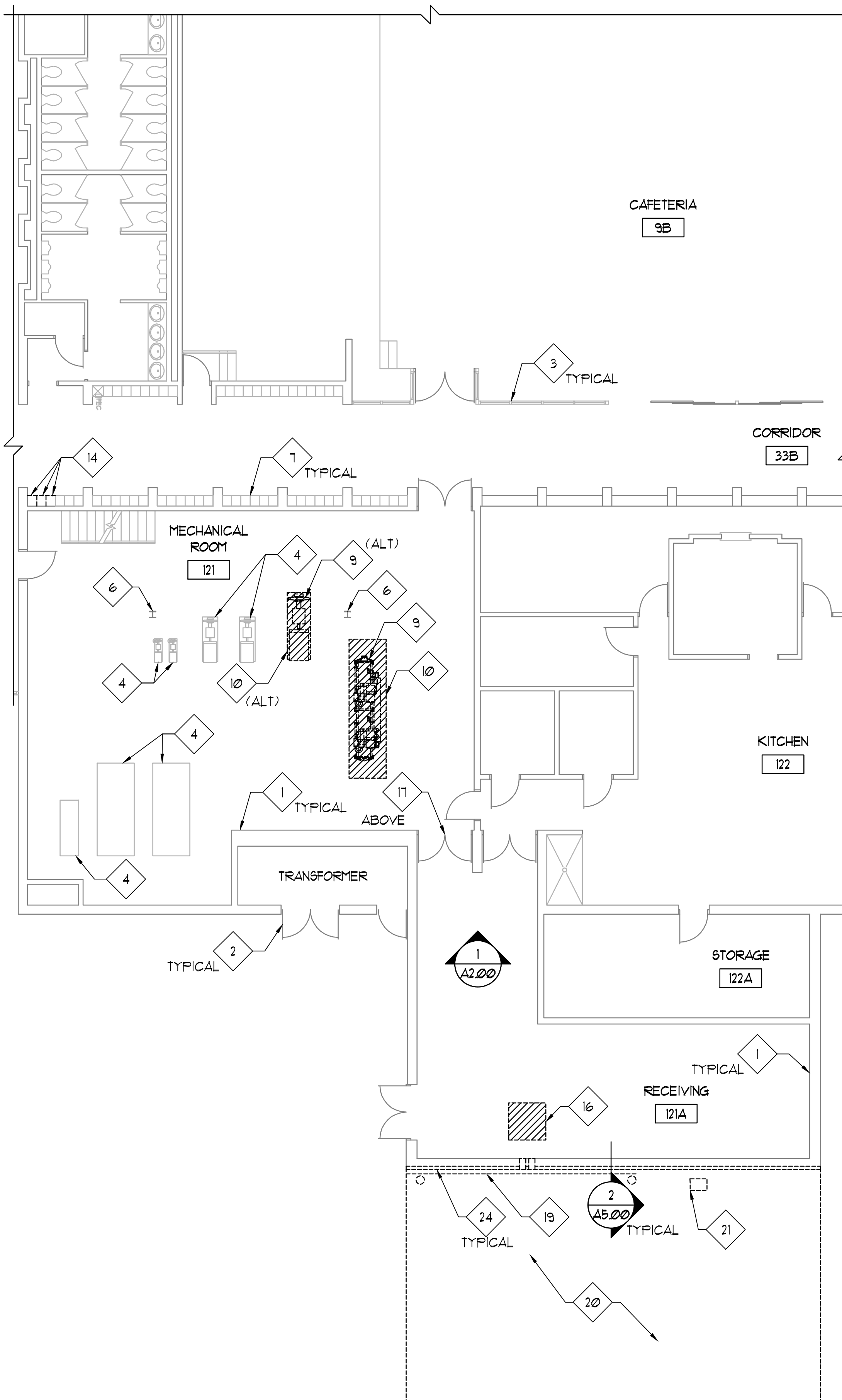


EXPIRES 12/01/2021

AG0.00



1 EXISTING PARTIAL FIRST FLOOR PLAN - ALTERNATE  
1/8" = 1'-0"

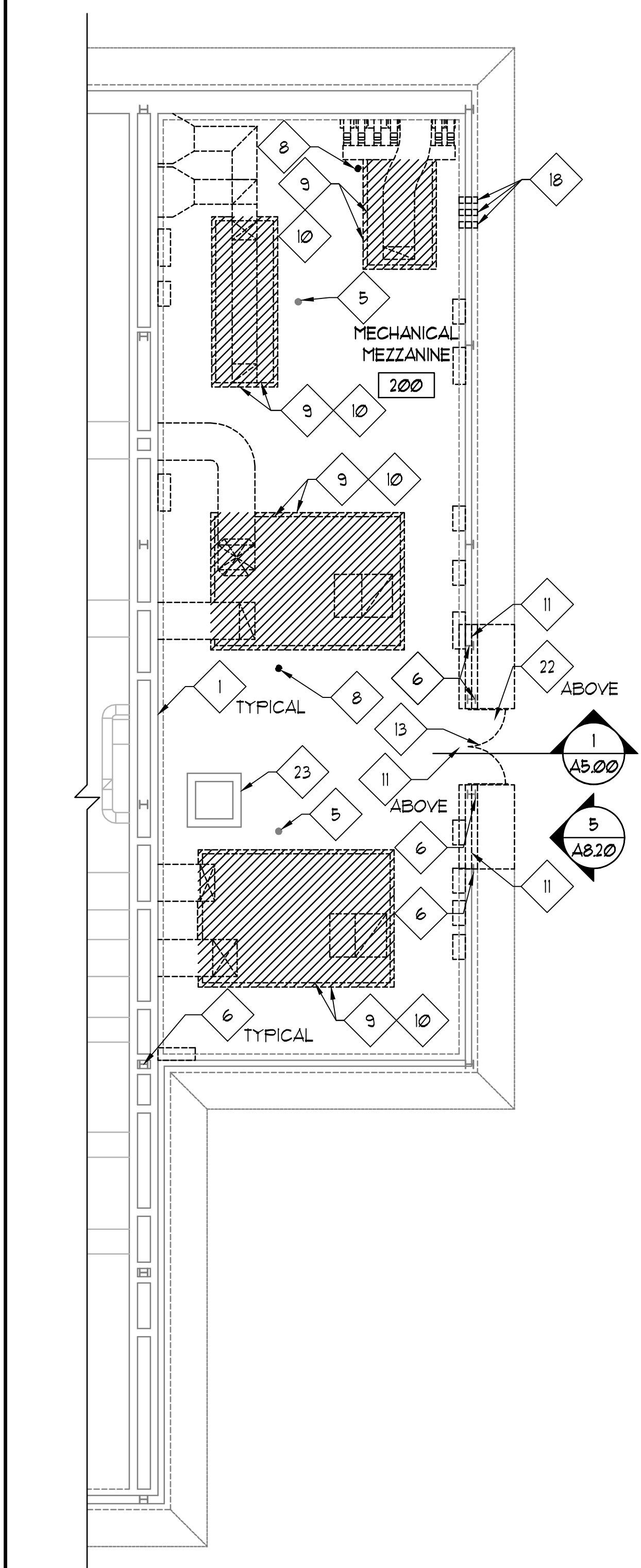


2 EXISTING PARTIAL FIRST FLOOR PLAN  
1/8" = 1'-0"

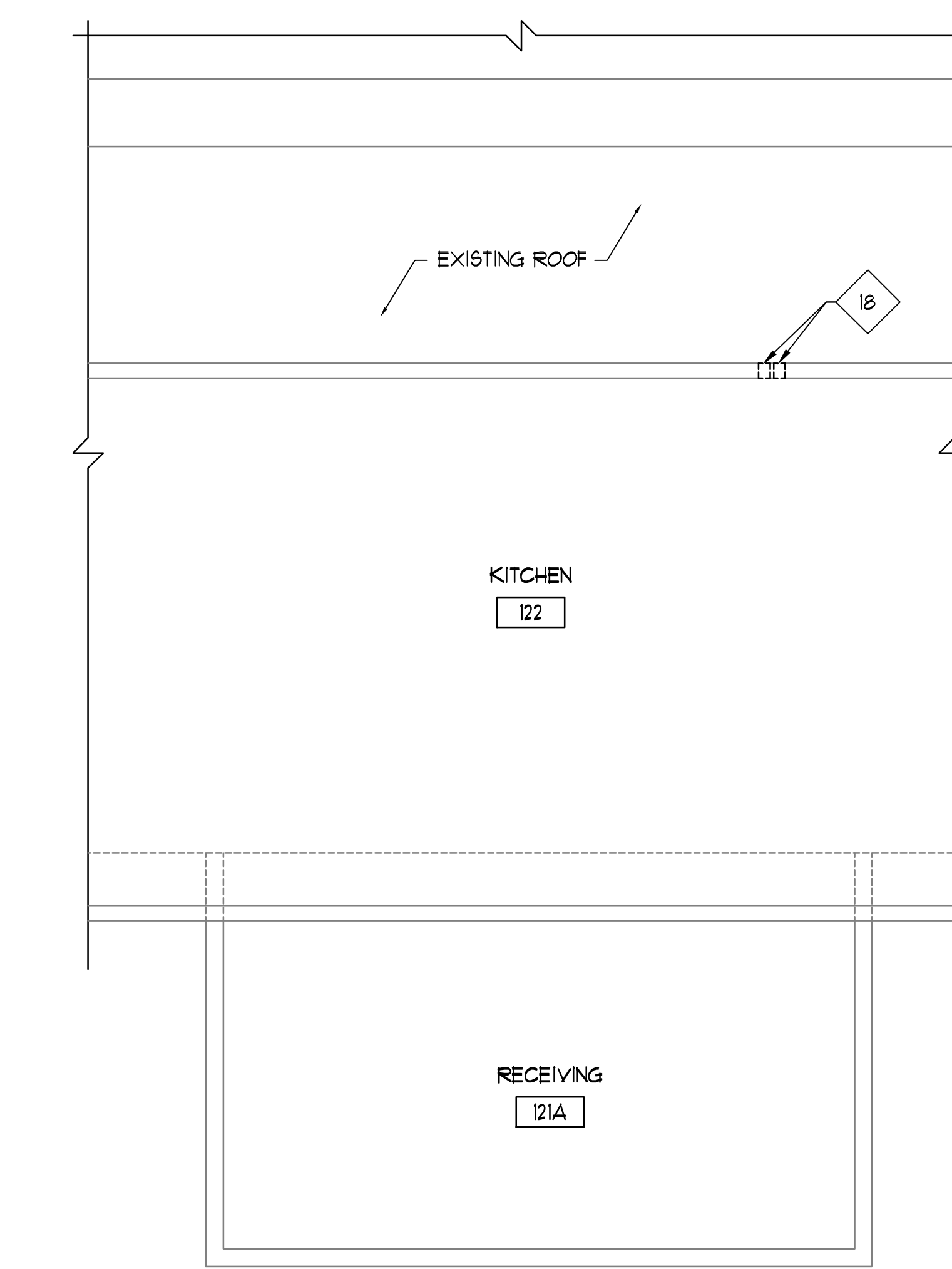


- ### EXISTING PLAN GENERAL NOTES
- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
  - FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
  - SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
  - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION





1 EXISTING PARTIAL SECOND FLOOR PLAN  
1/8" = 1'-0"



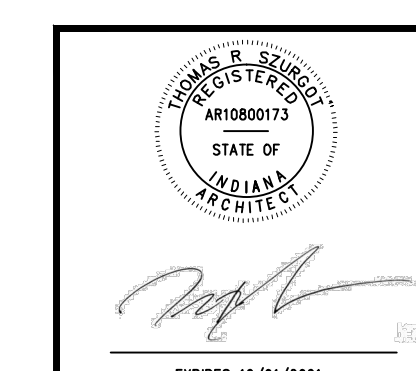
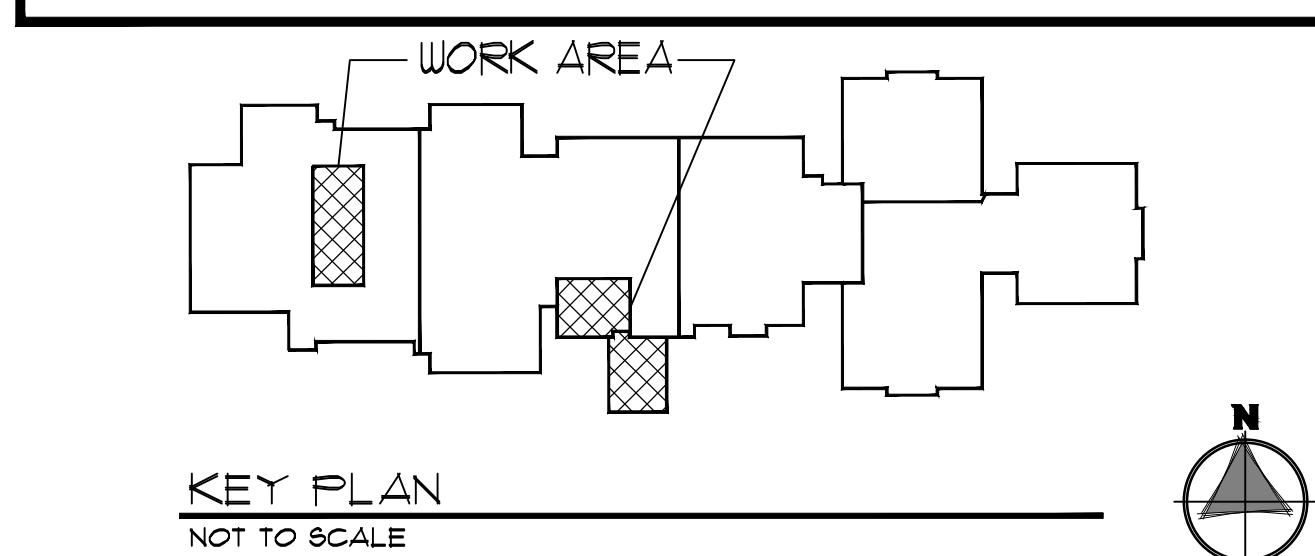
2 EXISTING PARTIAL SECOND FLOOR PLAN  
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  - SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
  - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
  - REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, FULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
  - PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
  - REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
  - THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
  - EXISTING FLOOR FINISH TO REMAIN, UNLESS NOTED OTHERWISE.
  - WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
  - AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
  - REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
  - GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
  - PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING - MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS.
  - REMOVE EXISTING MASONRY WALL CONSTRUCTION AS REQUIRED TO INSTALL NEW STRUCTURAL MEMBERS - REFER TO STRUCTURAL DRAWINGS FOR NEW STRUCTURE LOCATIONS.
  - ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE PLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

- ### EXISTING PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
- EXISTING MASONRY WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING FLOOR DRAIN TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING LOCKERS TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING FLOOR DRAIN TO BE REMOVED IN ITS ENTIRETY - REFER TO PLUMBING DRAWINGS.
  - EXISTING EQUIPMENT TO BE REMOVED IN ITS ENTIRETY - REFER TO ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS.
  - EXISTING CONCRETE PAD TO BE REMOVED IN ITS ENTIRETY - PATCH FLOOR AS REQUIRED TO CREATE A CONTINUOUS SMOOTH SURFACE.
  - EXISTING METAL STUD WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
  - EXISTING CEILING TO BE REMOVED AND REINSTALLED AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO MECHANICAL DRAWINGS.
  - EXISTING DOOR AND FRAME TO BE REMOVED IN ITS ENTIRETY.
  - EXISTING LOCKERS, WALL CONSTRUCTION ABOVE, CONCRETE BASE AND TERRAZZO TO BE REMOVED IN THEIR ENTIRETY - TURN LOCKERS OVER TO OWNER.
  - EXISTING WALL MOUNTED THERMOSTAT TO BE REMOVED IN ITS ENTIRETY - REFER TO MECHANICAL DRAWINGS - PATCH AND PAINT TO CREATE A SMOOTH CONTINUOUS SURFACE - MATCH ADJACENT WALL.
  - SAWCUT EXISTING SLAB AND EXCAVATE FILL BELOW AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS - PROTECT ADJACENT FLOOR FINISH SCHEDULED TO REMAIN DURING CONSTRUCTION - CONTRACTOR TO REPAIR/REPLACE ANY DAMAGE AT NO COST TO OWNER.
  - EXISTING MECHANICAL EQUIPMENT AND PANELS TO BE REMOVED IN TRANSOM ABOVE DOORS - DOOR FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
  - EXISTING MECHANICAL PIPING OPENING - PATCH WALL TO MATCH EXISTING CONSTRUCTIONS.
  - EXISTING SLIDING GATE, POSTS AND ALL ACCESSORIES TO BE REMOVED IN ITS ENTIRETY.
  - EXISTING ASPHALT, STONE AND SUBGRADE TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
  - EXISTING PEDESTAL TO BE REMOVED AND RELOCATED.
  - EXISTING METAL ROOFING AND SOFFIT TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
  - EXISTING FLOOR HATCH TO REMAIN - PROTECT DURING CONSTRUCTION.
  - NEEDLE WALL IF REQUIRED TO REMOVED BRICK COURSES BELOW GRADE AND (6) COURSES ABOVE EXISTING GRADE AS REQUIRED TO PROVIDE CURB PER DETAIL 3/A5.10.

### LEGEND

-----	EXISTING CONSTRUCTION TO BE REMOVED / DEMO		SAW CUT EXISTING CONCRETE FLOOR SLAB TO PROVIDE WORK INDICATED - REFER TO ELECTRICAL, MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS.
_____	EXISTING CONSTRUCTION TO REMAIN		



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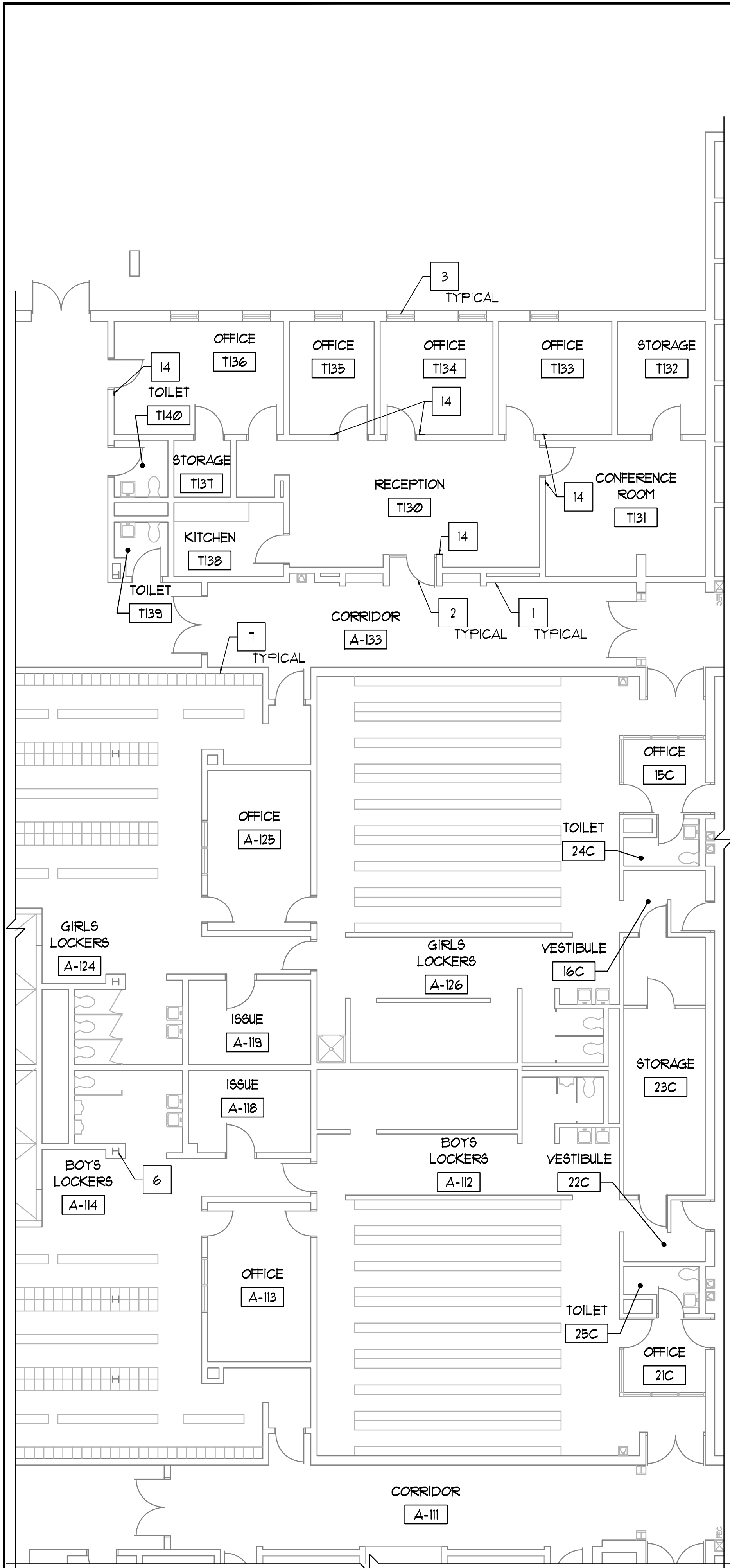
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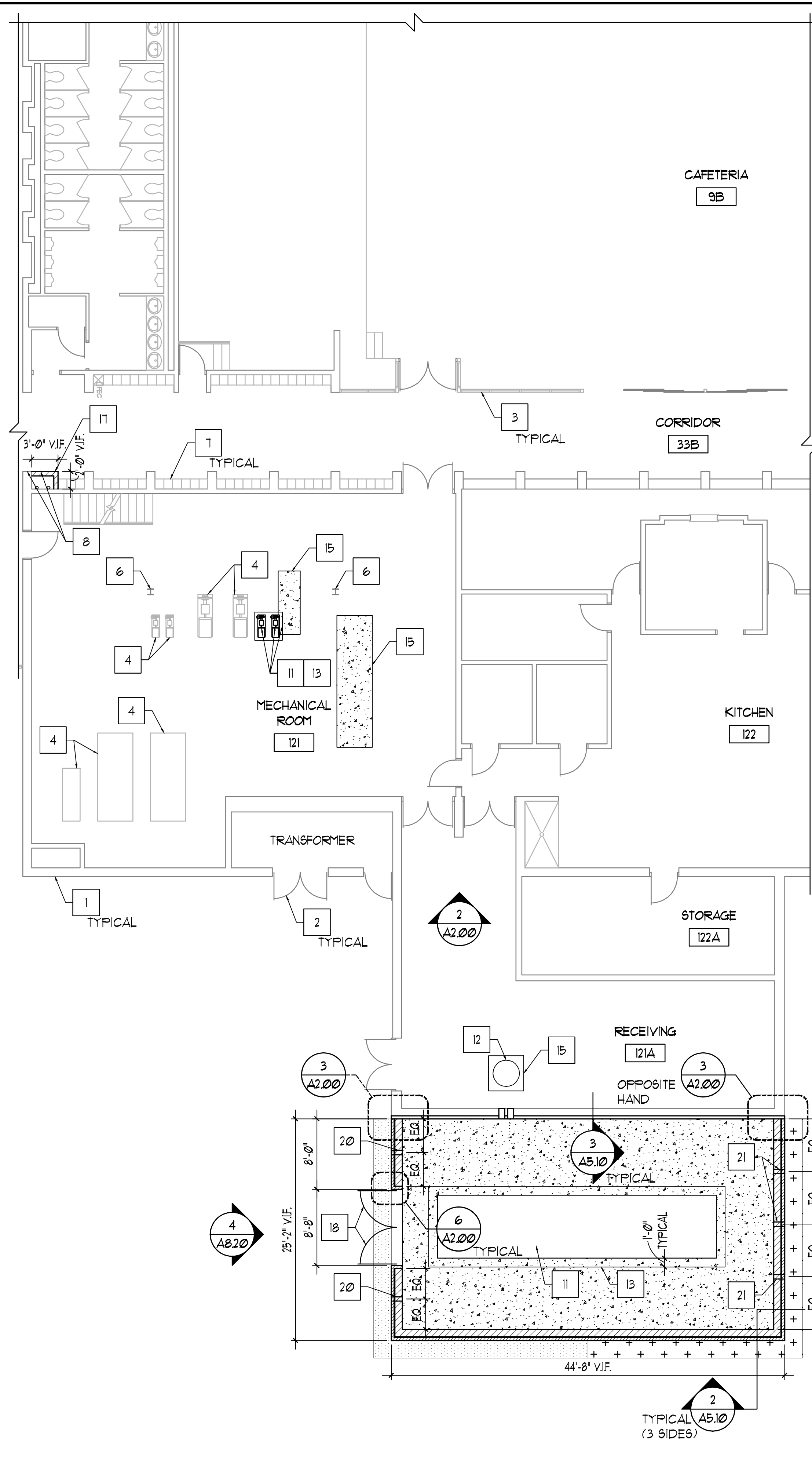
**DUNELAND SCHOOL CORPORATION**  
**2020 MECHANICAL RENOVATIONS AT:**  
**WESTCHESTER INTERMEDIATE SCHOOL**  
**1050 SOUTH 5TH STREET, CHESTERTON, IN 46304**

PROJECT NUMBER: 18-0623  
PROJECT MANAGER: HQ  
DRAWN BY: GT  
ISSUED FOR BIDDING: 07/07/2020  
EXISTING PARTIAL SECOND FLOOR PLAN

**A0.20**



1 PARTIAL FIRST FLOOR PLAN - ALTERNATE  
1/8" = 1'-0"

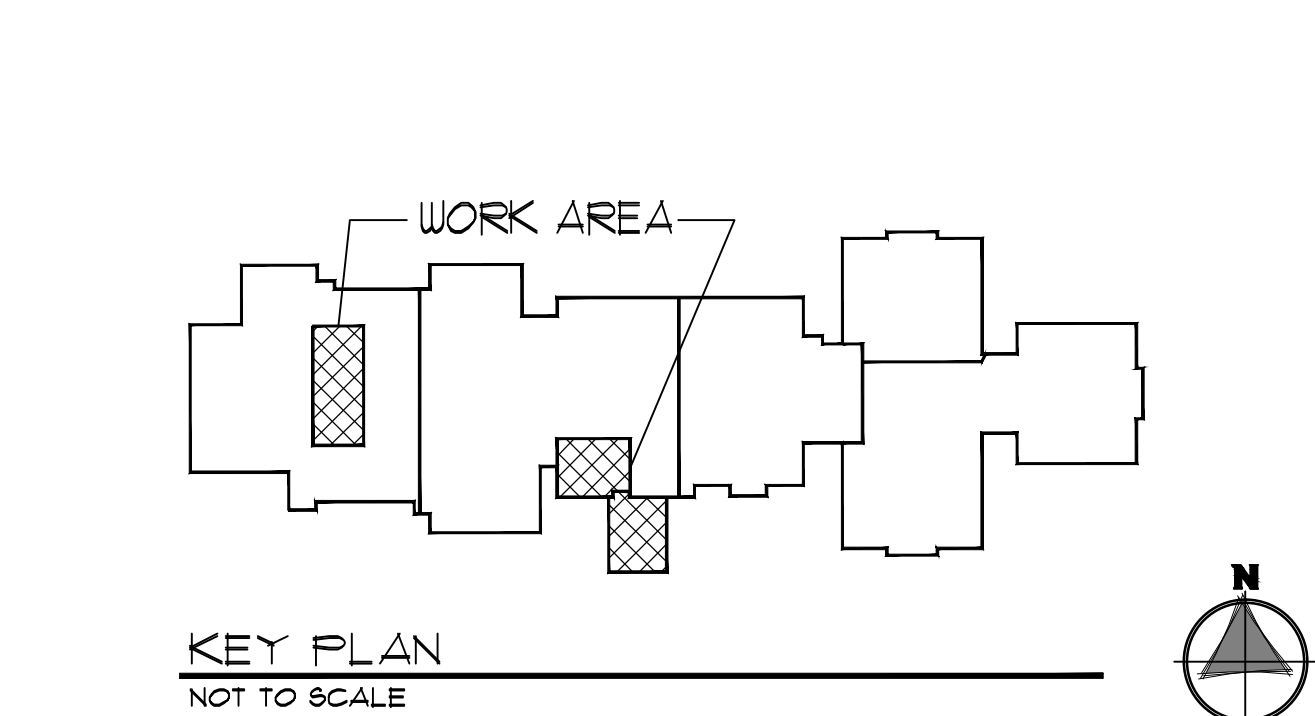


2 PARTIAL FIRST FLOOR PLAN  
1/8" = 1'-0"

- ### FLOOR PLAN GENERAL NOTES
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD. DIMENSIONS SHOWN FOR REFERENCE ONLY - GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL LAY OUTS AMONG ALL TRADES AFFECTED - NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION BY ANY TRADE.
  2. ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
  3. REFER TO PROJECT MANUAL FOR PRODUCTS, MATERIALS, PROCEDURES AND ADDITIONAL INFORMATION NOT COVERED IN DRAWINGS.
  4. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
  5. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE. TOOTH-IN ALL MASONRY IN WHOLE UNITS.
  6. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
  7. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
  8. PROVIDE LINTELS ABOVE ALL DOORS, PENETRATIONS, LOUVERS, ETC. IN MASONRY WALLS - REFER TO LINTEL SCHEDULE ON STRUCTURAL DRAWINGS - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL LINTEL LOCATIONS REQUIRED DUE TO DUCT PENETRATIONS, ETC.
  9. PATCH, PAINT, AND CLEAN EXISTING WALLS, FLOORS, AND CEILINGS AT ITEMS SCHEDULED TO BE REMOVED.
  10. REFER TO ROOF, MECHANICAL AND PLUMBING PLANS FOR LOCATIONS OF ROOF PENETRATIONS.
  11. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
  12. REMOVE EXISTING WALL CONSTRUCTION AS REQUIRED TO INSTALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK - PATCH WALLS AT REMOVED MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT TO BE REMOVED. TOOTH-IN ALL MASONRY.
  13. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - PATCH CONSTRUCTION AS REQUIRED TO PROVIDE WORK INDICATED.
  14. CUT, CORE AND PATCH SLABS (NEW AND EXISTING) AS REQUIRED TO INSTALL PLUMBING, MECHANICAL AND ELECTRICAL WORK.
  15. AT ALL NEW WINDOW AND DOOR OPENINGS, TOOTH-IN NEW MASONRY UNITS AT JAMB CONDITIONS IN WHOLE UNITS TO PROVIDE A FINISHED APPEARANCE.
  16. REMOVE AND PATCH/REINSTALL/REPLACE EXISTING CEILINGS AS NEEDED TO INSTALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL WORK.

- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING MASONRY WALL CONSTRUCTION.
  2. EXISTING DOOR AND FRAME.
  3. EXISTING FRAME AND GLAZING SYSTEM.
  4. EXISTING EQUIPMENT.
  5. EXISTING FLOOR DRAIN.
  6. EXISTING STRUCTURAL COLUMN.
  7. EXISTING LOCKERS.
  8. ALIGN.
  9. INFILL EXISTING OPENING - TOOTH IN MASONRY IN WHOLE UNITS WHERE POSSIBLE - MATCH ADJACENT WALL CONSTRUCTION IN MATERIAL, THICKNESS, TEXTURE, COLOR AND MASONRY BOND PATTERN - PAINT ALL EXPOSED SURFACES.
  10. FLOOR DRAIN - REFER TO PLUMBING DRAWINGS.
  11. MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS.
  12. PLUMBING EQUIPMENT - REFER TO PLUMBING DRAWINGS.
  13. CONCRETE EQUIPMENT PAD - COORDINATE EXACT SIZE LOCATION WITH MECHANICAL EQUIPMENT SPECIFICATIONS.
  14. PATCH AND PAINT WALL TO MATCH EXISTING ADJACENT AT REMOVED EQUIPMENT.
  15. PATCH EXISTING CONCRETE SLAB OVER COMPACTED GRANULAR FILL - MATCH ADJACENT SLAB IN CONSTRUCTION - PROVIDE 12" #4 DOUELS AT 12" ON CENTER STAGGERED - EMBED DOUELS 6" INTO EXISTING SLAB - WRAP ONE END IN BOND BREAK PAPER.
  16. 6" CONCRETE MASONRY UNITS TO DECK - PAINT - PROVIDE RUBBER WALL BASE - COLOR TO BE SELECTED BY ARCHITECT.
  17. CUT AND PATCH FLOOR AND CEILING AS REQUIRED AROUND NEW CHASE.
  18. EXTERIOR GATE.
  19. EXISTING FLOOR HATCH.
  20. 6" DIAMETER PVC INSERT (DRAIN OUTLET) - REFER TO SECTION 4/A5.10.
  21. 6" DIAMETER PVC INSERT (DRAIN OUTLET) - REFER TO SECTION 5/A5.10.

- ### LEGEND
- EXISTING CONSTRUCTION
  - LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
  - AREA OF GRADE TO BE REPAIRED, REGRADED AND SEED AND BLANKET INSTALLED
  - AREA OF ASPHALT PAVING AND STRIPPING CONSTRUCTION



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**DUNELAND SCHOOL CORPORATION**

**2020 MECHANICAL RENOVATIONS AT:**

**WESTCHESTER INTERMEDIATE SCHOOL**

**1050 SOUTH 5TH STREET, CHESTERTON, IN 46304**

PROJECT NUMBER: 18-0923

PROJECT MANAGER: HQ

DRAWN BY: GT

DATE FOR BIDS: 01/07/2020

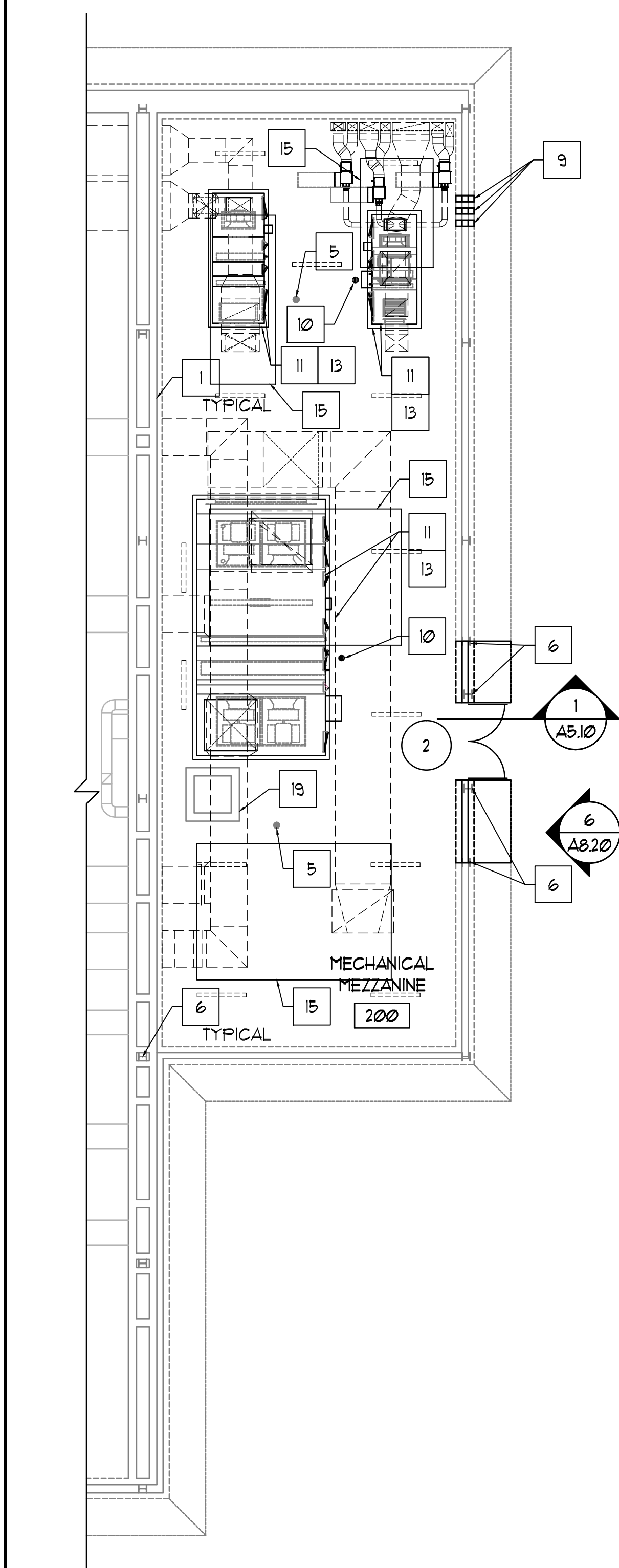
PARTIAL FIRST FLOOR PLAN

STATE OF INDIANA  
ARCHITECT

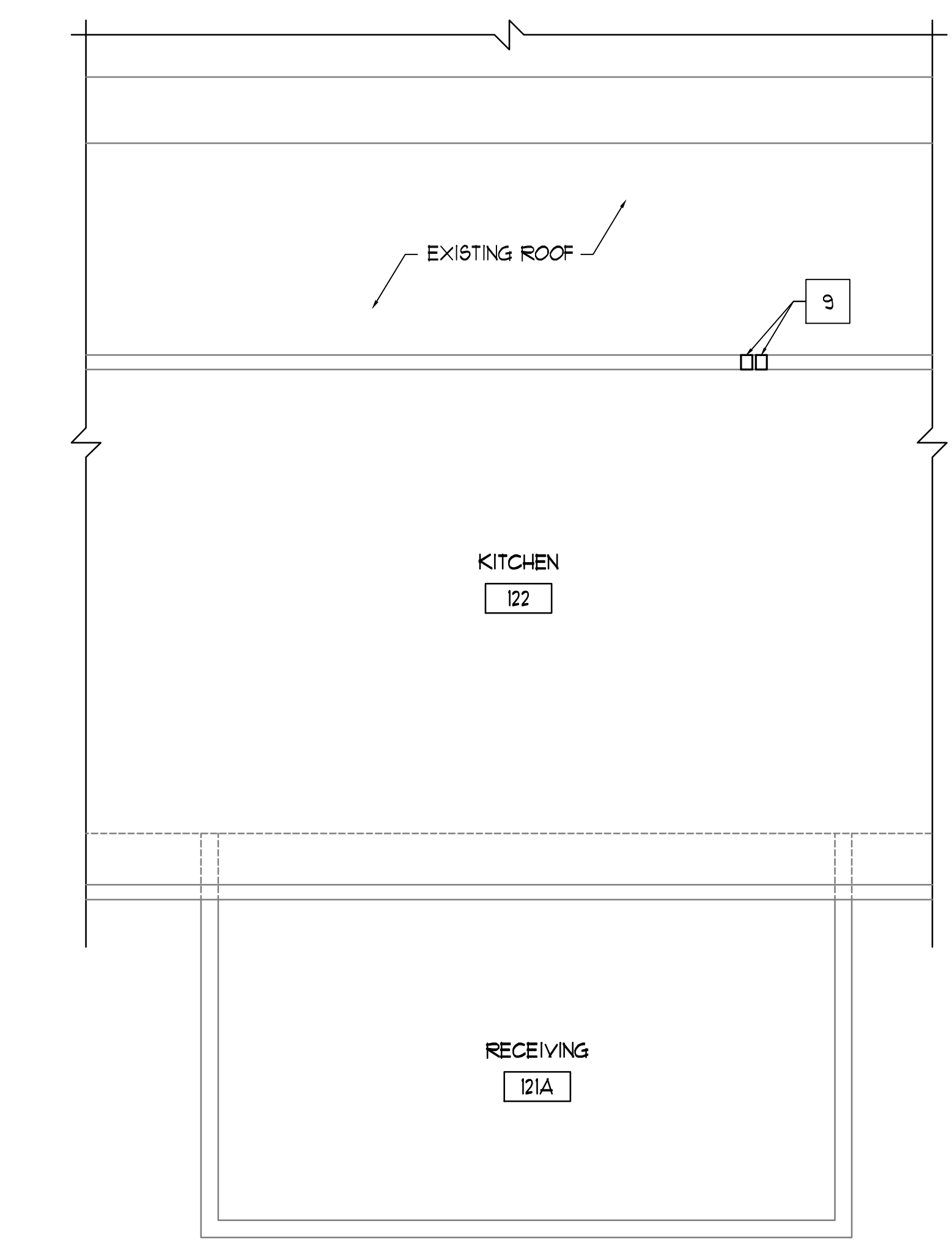
EXPIRES 12/01/2021

**A1.10**





1 PARTIAL SECOND FLOOR PLAN  
1/8" = 1'-0"

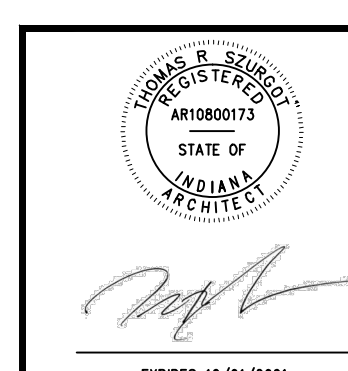
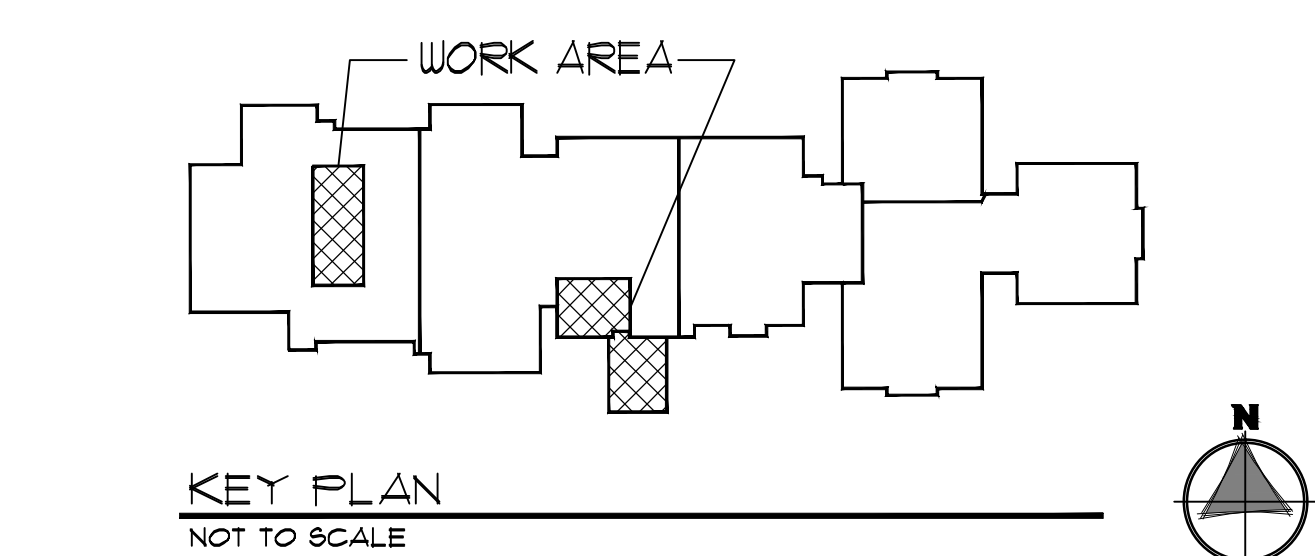


2 PARTIAL SECOND FLOOR PLAN  
1/8" = 1'-0"

- ### FLOOR PLAN GENERAL NOTES
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD. DIMENSIONS SHOWN FOR REFERENCE ONLY - GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL LAY OUTS AMONG ALL TRADES AFFECTED - NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION BY ANY TRADE.
  2. ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
  3. REFER TO PROJECT MANUAL FOR PRODUCTS, MATERIALS, PROCEDURES AND ADDITIONAL INFORMATION NOT COVERED IN DRAWINGS.
  4. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
  5. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE. TOOTH-IN ALL MASONRY IN WHOLE UNITS.
  6. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
  7. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
  8. PROVIDE LINTELS ABOVE ALL DOORS, PENETRATIONS, LOUVERS, ETC. IN MASONRY WALLS - REFER TO LINTEL SCHEDULE ON STRUCTURAL DRAWINGS - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL LINTEL LOCATIONS REQUIRED DUE TO DUCT PENETRATIONS, ETC.
  9. PATCH, PAINT, AND CLEAN EXISTING WALLS, FLOORS, AND CEILINGS AT ITEMS SCHEDULED TO BE REMOVED.
  10. REFER TO ROOF, MECHANICAL AND PLUMBING PLANS FOR LOCATIONS OF ROOF PENETRATIONS.
  11. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
  12. REMOVE EXISTING WALL CONSTRUCTION AS REQUIRED TO INSTALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK - PATCH WALLS AT REMOVED MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT TO BE REMOVED. TOOTH-IN ALL MASONRY.
  13. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - PATCH CONSTRUCTION AS REQUIRED TO PROVIDE WORK INDICATED.
  14. CUT, CORE AND PATCH SLABS (NEW AND EXISTING) AS REQUIRED TO INSTALL PLUMBING, MECHANICAL AND ELECTRICAL WORK.
  15. AT ALL NEW WINDOW AND DOOR OPENINGS, TOOTH-IN NEW MASONRY UNITS AT JAMB CONDITIONS IN WHOLE UNITS TO PROVIDE A FINISHED APPEARANCE.
  16. REMOVE AND PATCH/REINSTALL/REPLACE EXISTING CEILINGS AS NEEDED TO INSTALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL WORK.

- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING MASONRY WALL CONSTRUCTION.
  2. EXISTING DOOR AND FRAME.
  3. EXISTING FRAME AND GLAZING SYSTEM.
  4. EXISTING EQUIPMENT.
  5. EXISTING FLOOR DRAIN.
  6. EXISTING STRUCTURAL COLUMN.
  7. EXISTING LOCKERS.
  8. ALIGN.
  9. INFILL EXISTING OPENING - TOOTH IN MASONRY IN WHOLE UNITS WHERE POSSIBLE - MATCH ADJACENT WALL CONSTRUCTION IN MATERIAL, THICKNESS, TEXTURE, COLOR AND MASONRY BOND PATTERN - PAINT ALL EXPOSED SURFACES.
  10. FLOOR DRAIN - REFER TO PLUMBING DRAWINGS.
  11. MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS.
  12. PLUMBING EQUIPMENT - REFER TO PLUMBING DRAWINGS.
  13. CONCRETE EQUIPMENT PAD - COORDINATE EXACT SIZE LOCATION WITH MECHANICAL EQUIPMENT SPECIFICATIONS.
  14. PATCH AND PAINT WALL TO MATCH EXISTING ADJACENT AT REMOVED EQUIPMENT.
  15. PATCH EXISTING CONCRETE SLAB OVER COMPACTED GRANULAR FILL - MATCH ADJACENT SLAB IN CONSTRUCTION - PROVIDE 12" #4 DOUELS AT 12" ON CENTER STAGGERED - EMBED DOUELS 6" INTO EXISTING SLAB - WRAP ONE END IN BOND BREAK PAPER.
  16. 6" CONCRETE MASONRY UNITS TO DECK - PAINT - PROVIDE RUBBER WALL BASE - COLOR TO BE SELECTED BY ARCHITECT.
  17. CUT AND PATCH FLOOR AND CEILING AS REQUIRED AROUND NEW CHASE.
  18. EXTERIOR GATE.
  19. EXISTING FLOOR HATCH.
  20. 6" DIAMETER PVC INSERT (DRAIN OUTLET) - REFER TO SECTION 4/A5.10.
  21. 6" DIAMETER PVC INSERT (DRAIN OUTLET) - REFER TO SECTION 5/A5.10.

- ### LEGEND
- EXISTING CONSTRUCTION
  - LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
  - AREA OF GRADE TO BE REPAIRED, REGRADED AND SEED AND BLANKET INSTALLED
  - AREA OF ASPHALT PAVING AND STRIPPING CONSTRUCTION



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**DUNELAND SCHOOL CORPORATION**  
**2020 MECHANICAL RENOVATIONS AT:**  
**WESTCHESTER INTERMEDIATE SCHOOL**  
**1050 SOUTH 5TH STREET, CHESTERTON, IN 46304**

PROJECT NUMBER: 18-0933  
PROJECT MANAGER: HQ  
DRAWN BY: GT  
ISSUED FOR BIDS: 01/07/2020

PARTIAL SECOND FLOOR PLAN

**A1.20**

DOOR AND FRAME SCHEDULE																
	DOOR						FRAME						FRAME DETAILS			
OP'NG NO.	SIZE		TYPE	MAT'L	HWR SET	PROT. RATING HOURS	SIZE		TYPE	MAT'L	PROT. RATING HOURS	REF. NOTES	HEAD	JAMB	JAMB	SILL
	WIDTH	HEIGHT					WIDTH	HEIGHT								
SECOND FLOOR																
2	PAIR (3'-0")	6'-0"	A	FRP	I	-	6'-4"	6'-4"	A	AL	-	I	4/A2.00	5/A2.00	5/A2.00	7/A2.00

DOOR AND FRAME REFERENCE NOTES

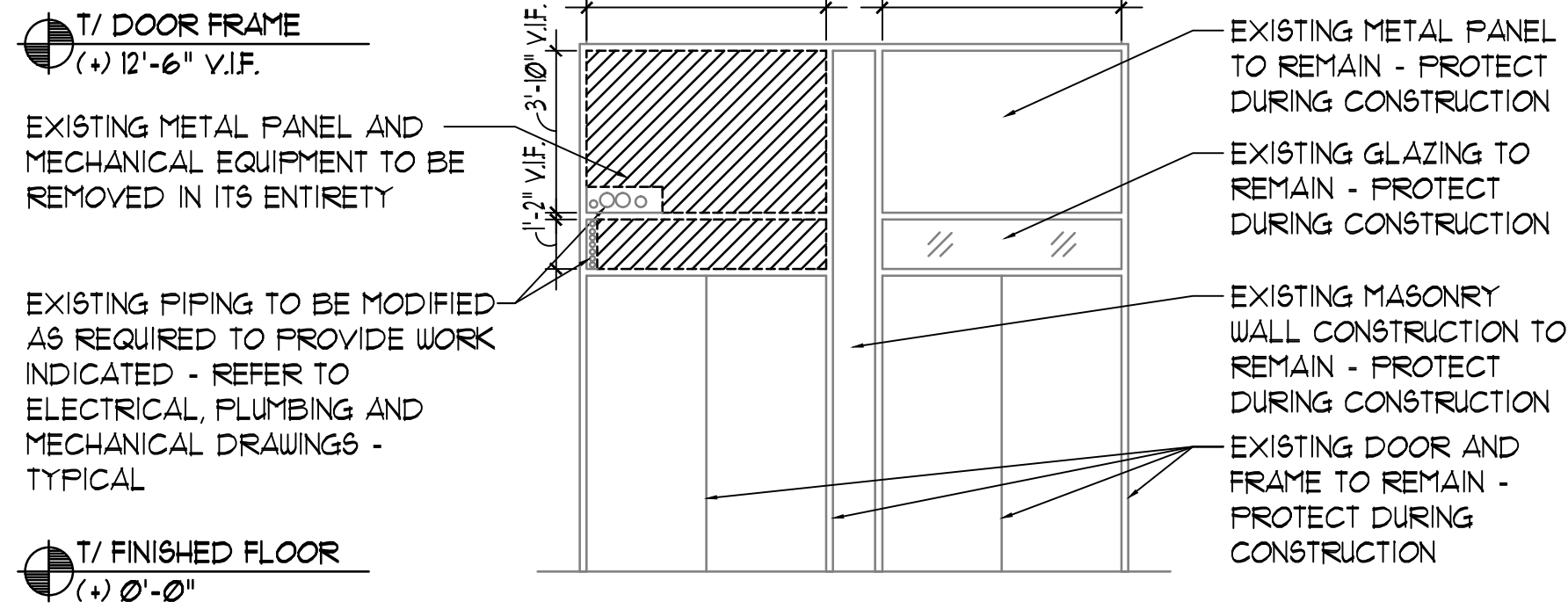
- I. PROVIDE 4 SIDED FRAME WITH ALUMINUM SILL.

DOOR AND FRAME ABBREVIATIONS

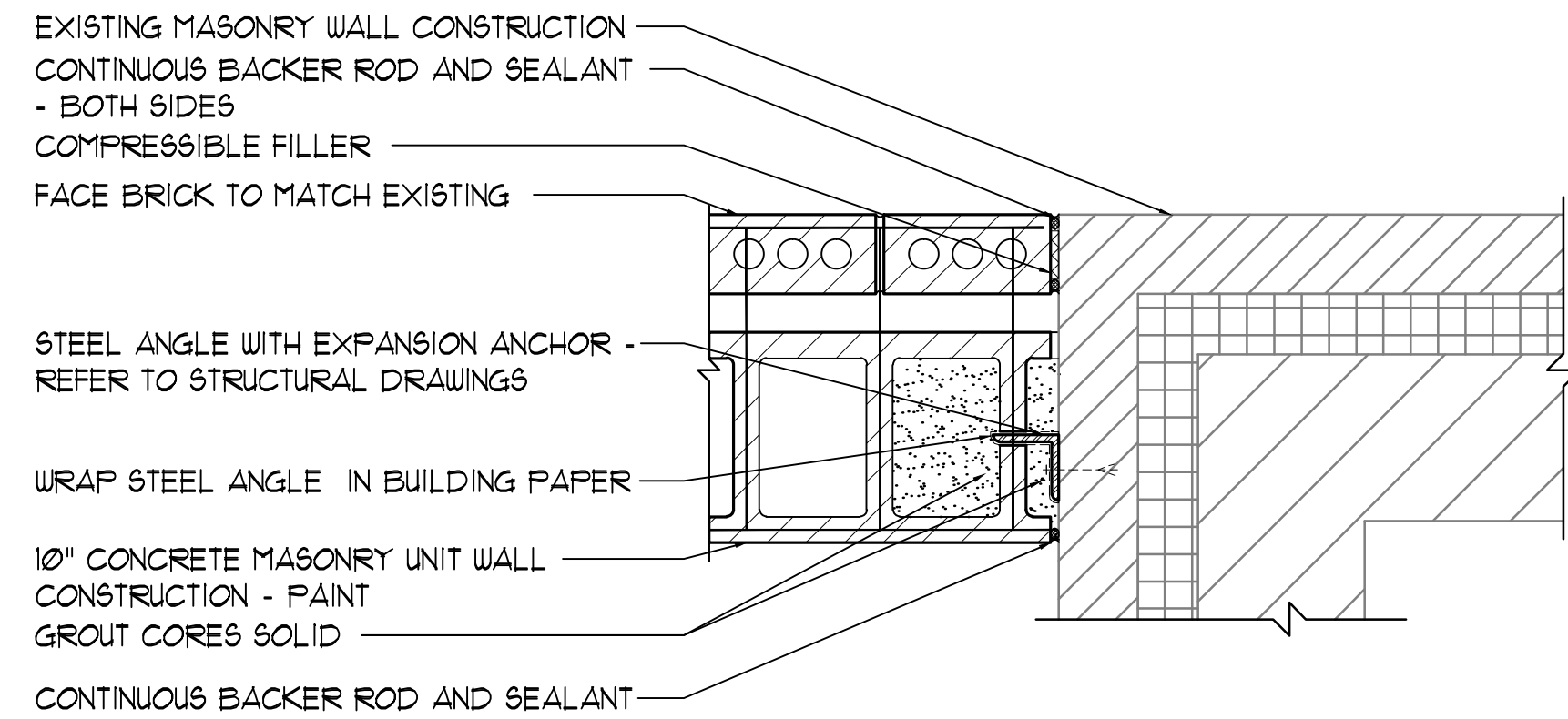
EX	EXISTING
HM	HOLLOW METAL
ME	MATCH EXISTING
WD	WOOD

DOOR AND FRAME GENERAL NOTES

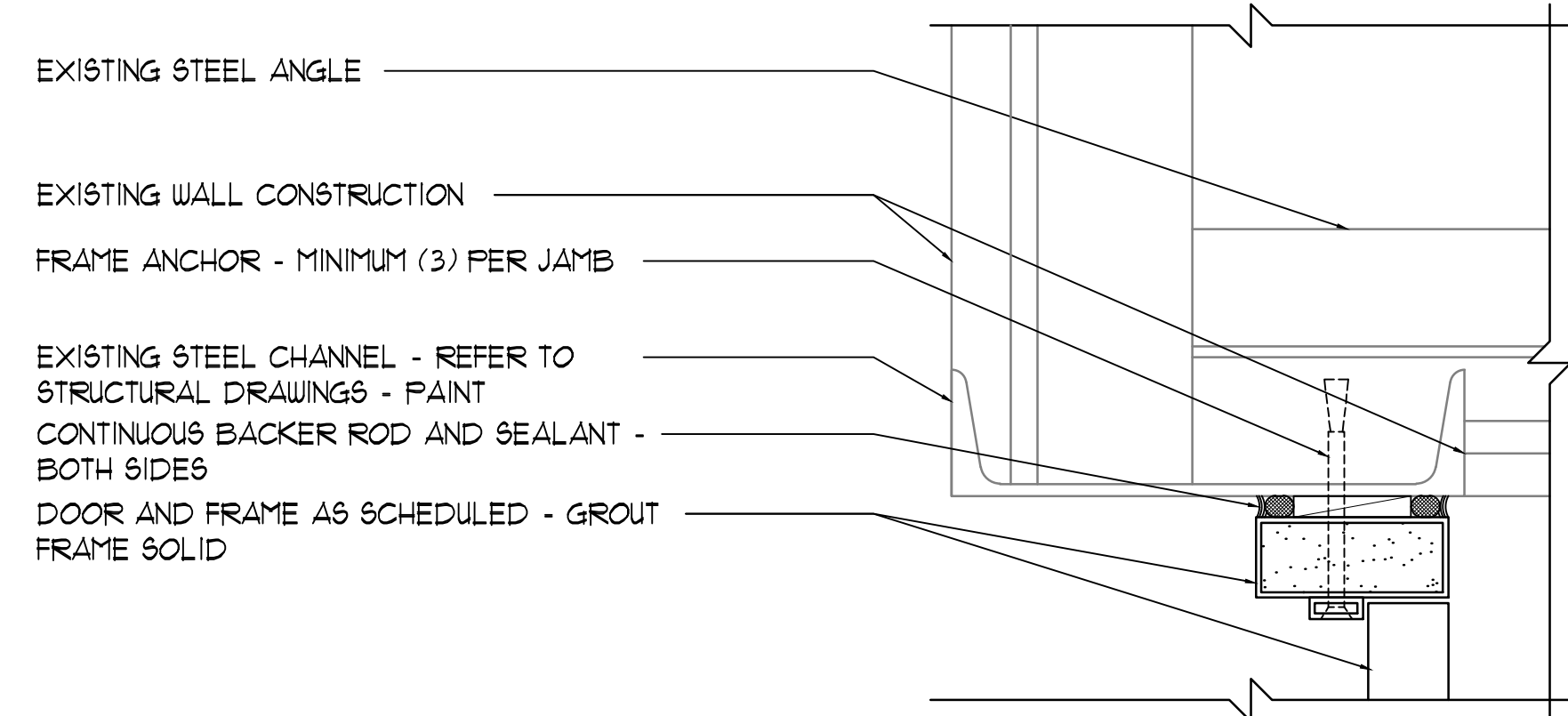
- CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL ROUGH OPENINGS IN FIELD.
- REFER TO WALL TYPES FOR WALL CONSTRUCTION AT DOOR LOCATIONS.
- REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.
- ALL EXPOSED ANCHORS ON HOLLOW METAL FRAMES ARE TO BE COUNTERSUNK INTO FRAMES, APPLY EPOXY FILLER, SAND SMOOTH, AND PAINT TO MATCH FRAME.
- VERIFY DIMENSIONS OF ALL DOORS AND FRAMES TO BE INSTALLED IN EXISTING WALL OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS.
- HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.
- DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- DOOR OPERATING FORCE SHALL NOT EXCEED:  
EXTERIOR HINGED DOORS: 85 LB  
INTERIOR HINGED DOORS: 5 LB
- ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.
- ALL EXISTING FIRE RATED OPENINGS ARE TO BE MAINTAINED.



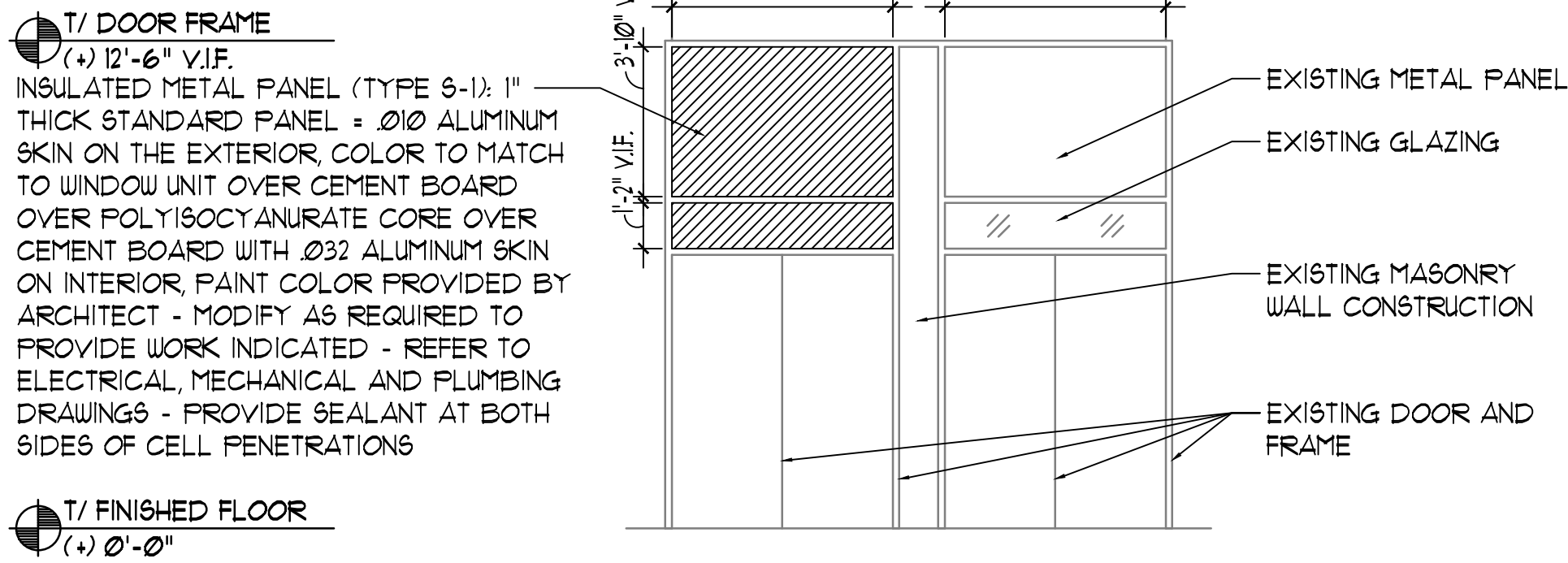
1 EXISTING INTERIOR ELEVATION  
1/4" = 1'-0"



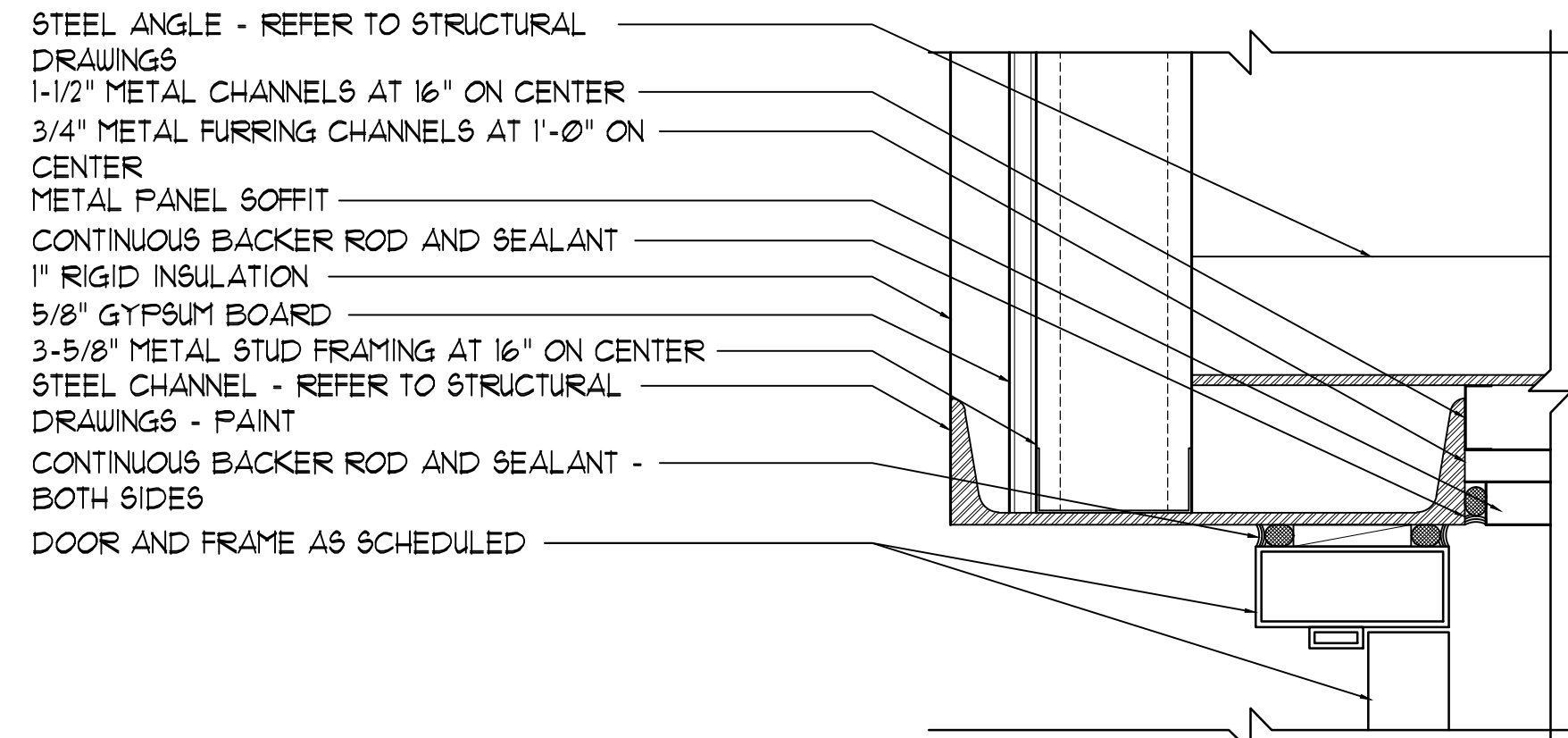
3 PLAN DETAIL  
1-1/2" = 1'-0"



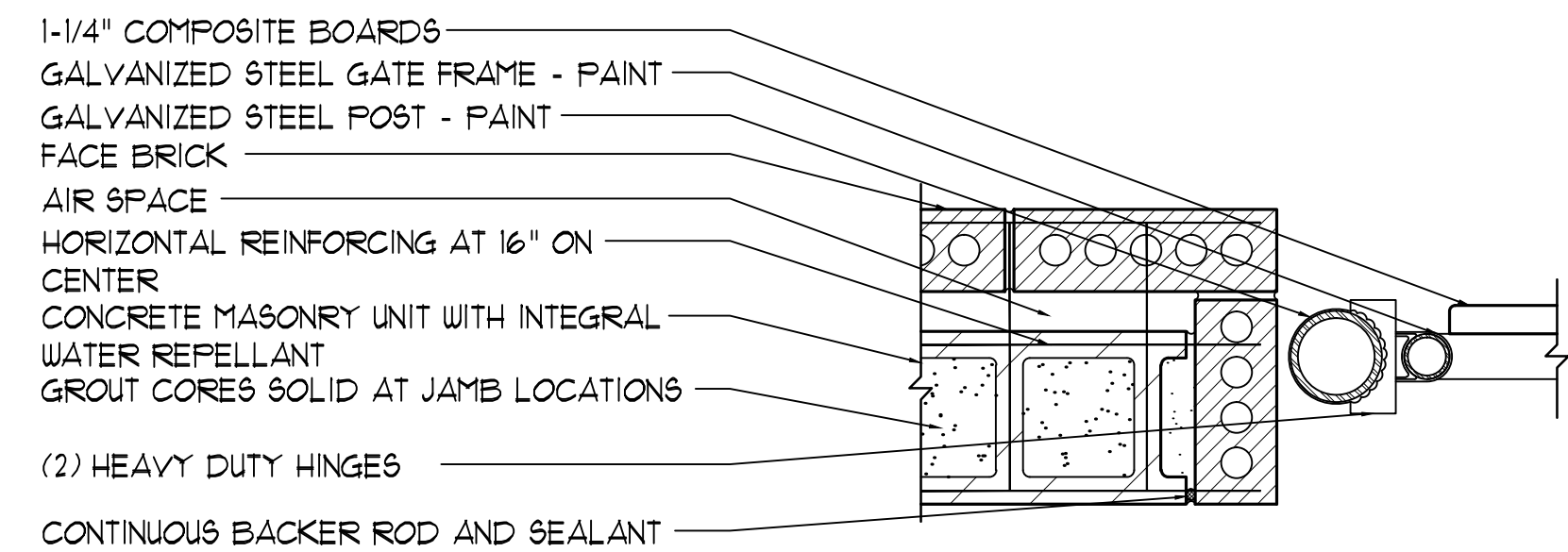
5 JAMB DETAIL  
3" = 1'-0"



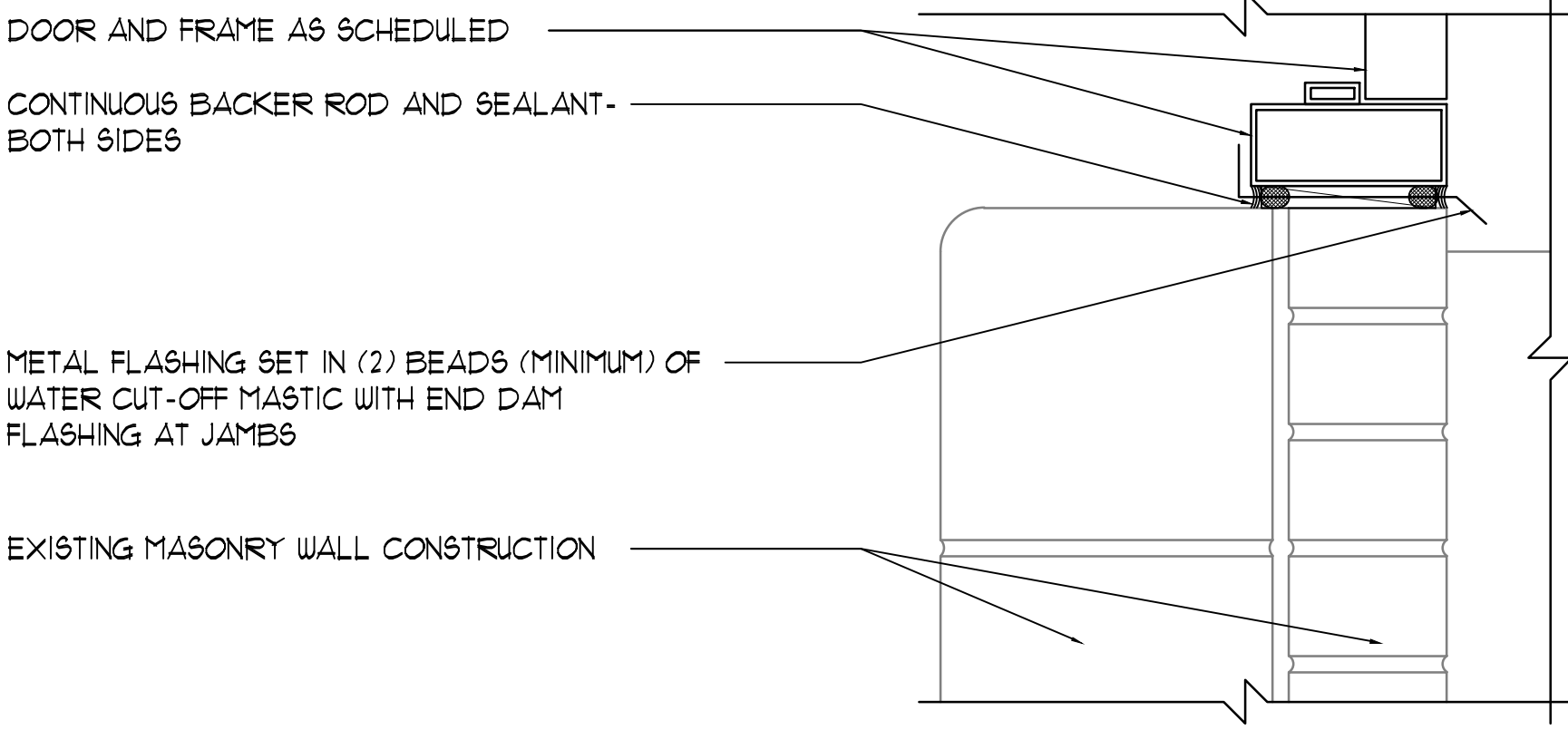
2 INTERIOR ELEVATION  
1/4" = 1'-0"



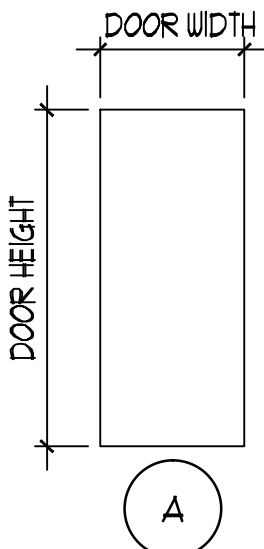
4 HEAD DETAIL  
3" = 1'-0"



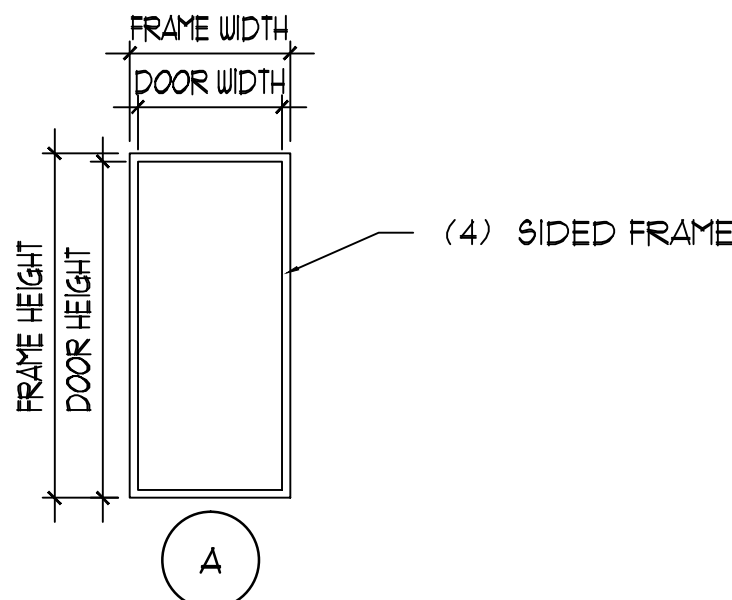
6 JAMB DETAIL  
3" = 1'-0"



7 SILL DETAIL  
3" = 1'-0"

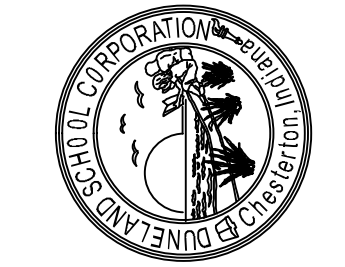


DOOR TYPES  
NOT TO SCALE

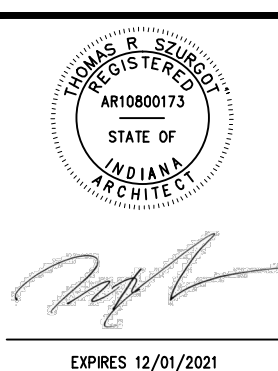


FRAME TYPES  
NOT TO SCALE

DUNELAND SCHOOL CORPORATION  
2020 MECHANICAL RENOVATIONS AT:  
WESTCHESTER INTERMEDIATE SCHOOL  
1050 SOUTH 5TH STREET, CHESTERTON, IN 46304

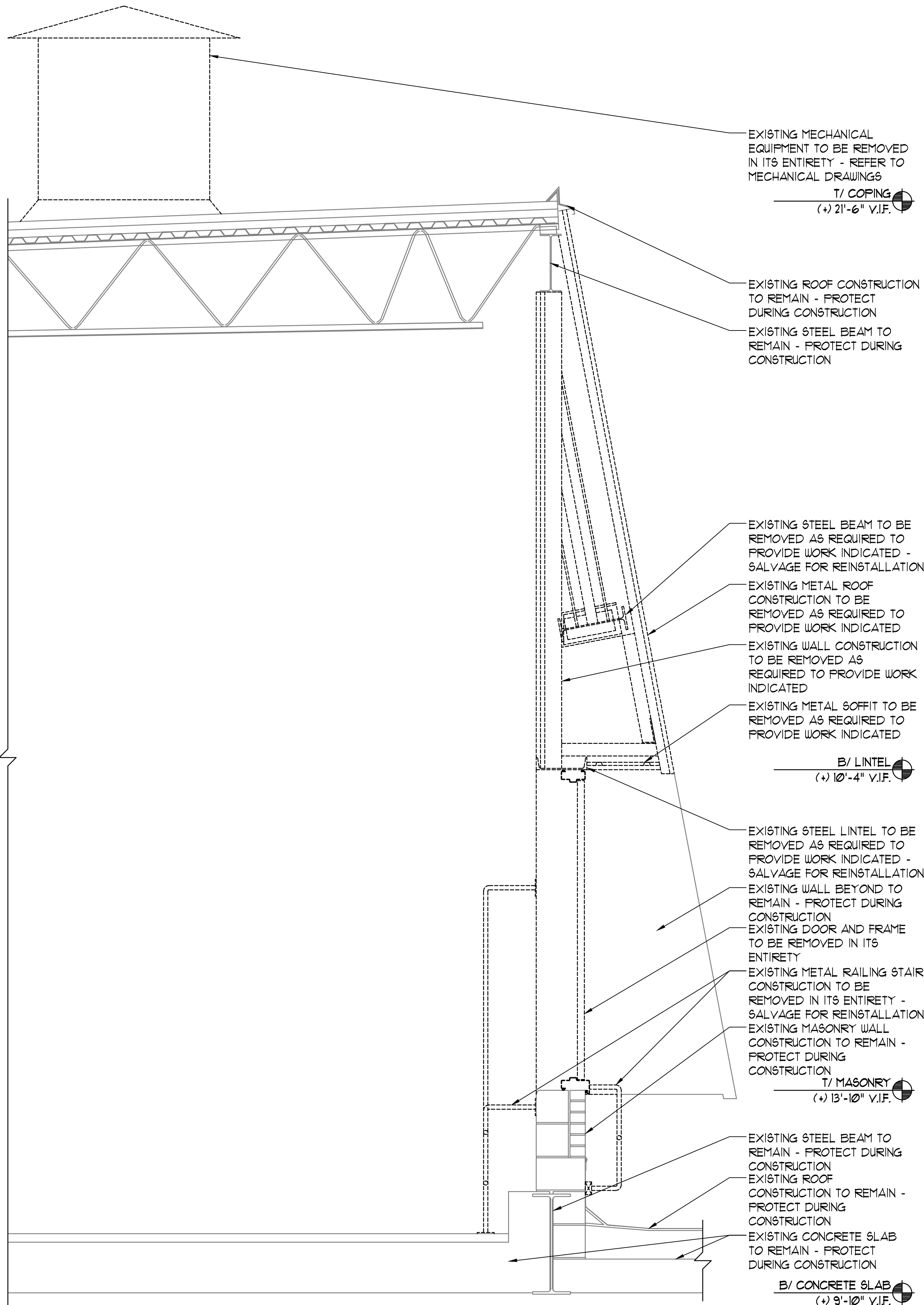


PROJECT NUMBER: 18-093	REVISED: 12/01/2021
PROJECT MANAGER: NG	PROJECT MANAGER: NG
DRAWN BY: GT	DRAWN BY: GT
ISSUED FOR BIDS: 01/07/2020	ISSUED FOR BIDS: 01/07/2020
DOOR AND FRAME SCHEDULE, TYPES, DETAILS, WALL TYPES, WALL AND NOTES	



A2.00





EXISTING MECHANICAL EQUIPMENT TO BE REMOVED IN ITS ENTIRETY - REFER TO MECHANICAL DRAWINGS  
T/ COPING  
(+) 2'-6" V.I.F.

EXISTING ROOF CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION  
EXISTING STEEL BEAM TO REMAIN - PROTECT DURING CONSTRUCTION

EXISTING STEEL BEAM TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED - SALVAGE FOR REINSTALLATION  
EXISTING METAL ROOF CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED  
EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED  
EXISTING METAL SOFFIT TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

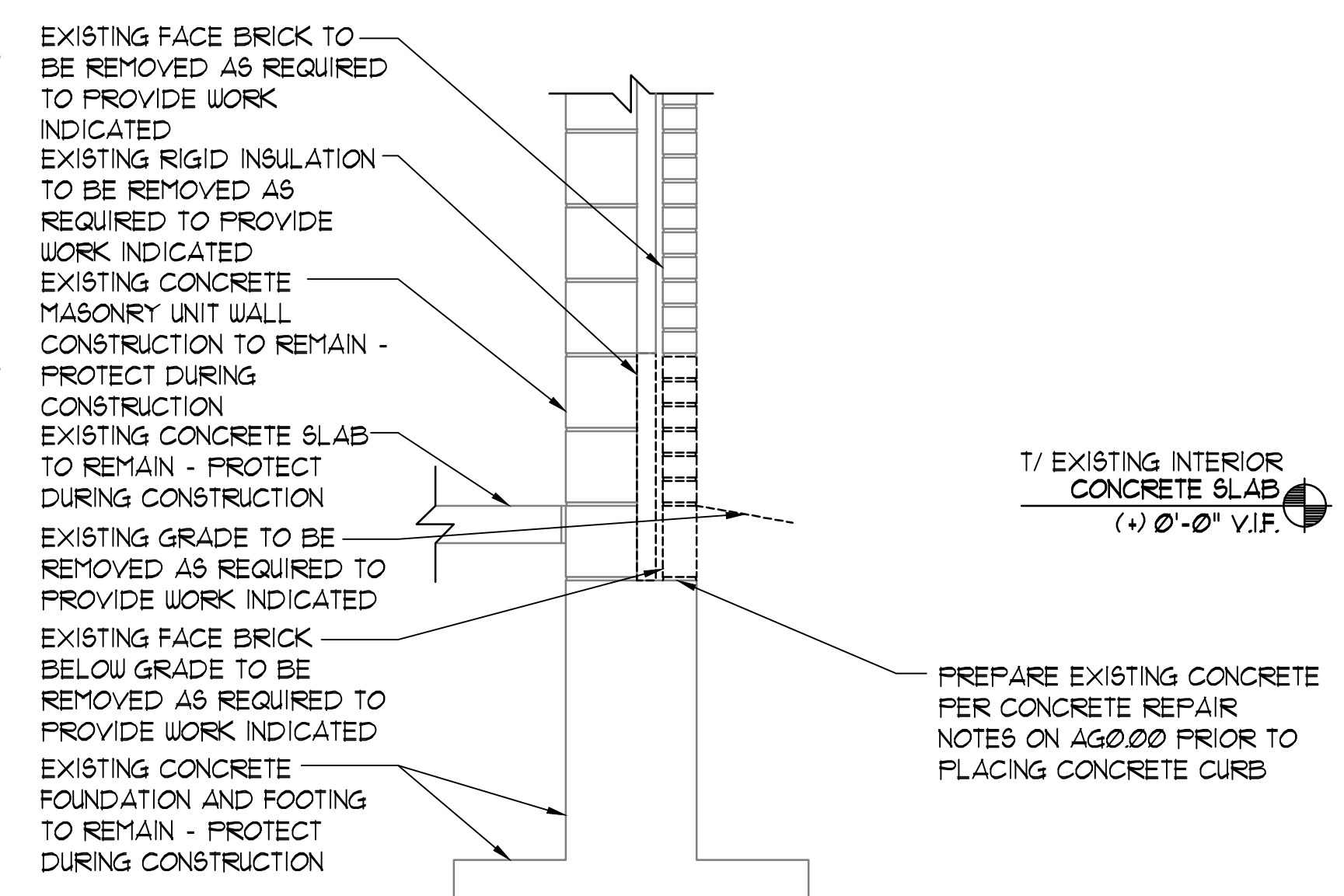
B/ LINTEL  
(+) 10'-4" V.I.F.

EXISTING STEEL LINTEL TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED - SALVAGE FOR REINSTALLATION  
EXISTING WALL BEYOND TO REMAIN - PROTECT DURING CONSTRUCTION  
EXISTING DOOR AND FRAME TO BE REMOVED IN ITS ENTIRETY  
EXISTING METAL RAILING STAIR CONSTRUCTION TO BE REMOVED IN ITS ENTIRETY - SALVAGE FOR REINSTALLATION  
EXISTING MASONRY WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION

T/ MASONRY  
(+) 13'-10" V.I.F.

EXISTING STEEL BEAM TO REMAIN - PROTECT DURING CONSTRUCTION  
EXISTING ROOF CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION  
EXISTING CONCRETE SLAB TO REMAIN - PROTECT DURING CONSTRUCTION

B/ CONCRETE SLAB  
(+) 9'-10" V.I.F.

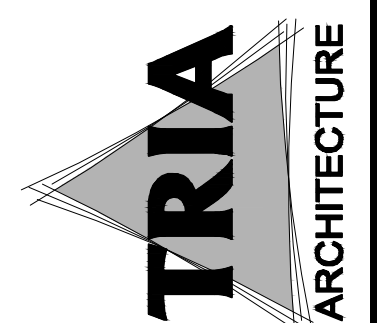


T/ EXISTING INTERIOR CONCRETE SLAB  
(+) 0'-0" V.I.F.

PREPARE EXISTING CONCRETE PER CONCRETE REPAIR NOTES ON AG000 PRIOR TO PLACING CONCRETE CURB

1 EXISTING WALL SECTION  
3/4" = 1'-0"

2 EXISTING WALL SECTION  
3/4" = 1'-0"



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Larson Engineering, Inc. STRUCTURAL CONSULTANT  
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(P) 6303351064  
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LANSING, MICHIGAN 48204-1412  
UT PHONE: 313.710.0330

DUNELAND SCHOOL CORPORATION  
2020 MECHANICAL RENOVATIONS AT:  
WESTCHESTER INTERMEDIATE SCHOOL  
1050 SOUTH 5TH STREET, CHESTERTON, IN 46304



PROJECT NUMBER:	18-0923
PROJECT MANAGER:	MD
DRAWN BY:	GT
ISSUED FOR BIDS:	01/07/2020
EXISTING WALL SECTIONS	



A5.00

EXPIRES 12/01/2021





EXISTING ROOF CONSTRUCTION NOTES

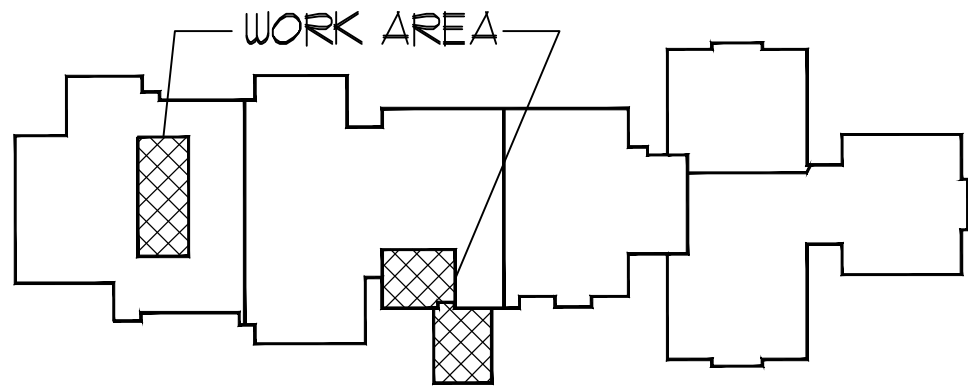
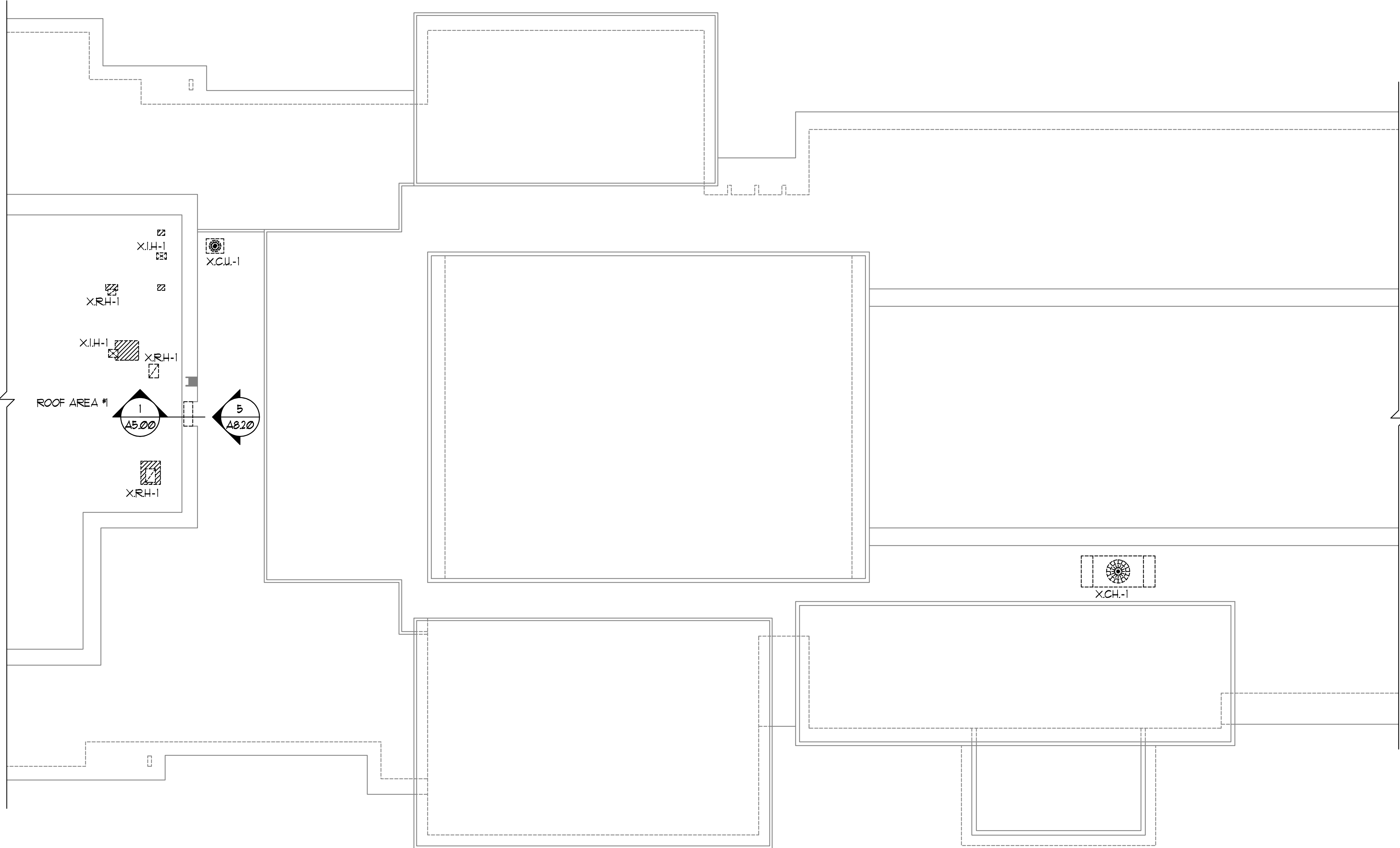
ROOF AREA #1:  
EXISTING ROOF CONSISTS OF METAL DECK, INSULATION AND TREMCO TPA ROOF SYSTEM -  
AT AREAS TO PATCH, MATCH EXISTING ADJACENT CONSTRUCTION - CONTACT GLUTH  
BROTHERS ROOFING COMPANY, INC., PHONE 219.844.5536. YOU CAN ALSO CONTACT THE  
SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COPLEY, PHONE 260.312.0483.  
TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL CORPORATION.

LEGEND

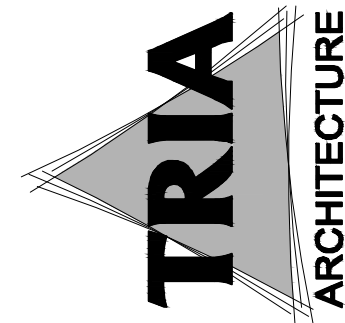
- X.CH.-1 EXISTING CHILLER TO BE REMOVED IN ITS ENTIRETY AND ALL ASSOCIATED ACCESSORIES - PATCH ROOF AT REMOVED ROOF COVERED RAIL SUPPORTS.
- X.RH.-1 EXISTING RELIEF HOOD - REMOVE RELIEF HOOD, CURB, AND ALL ASSOCIATED ACCESSORIES - REFER TO MECHANICAL DRAWINGS
- X.I.H.-1 EXISTING INTAKE HOOD - REMOVE INTAKE HOOD, CURB, AND ALL ASSOCIATED ACCESSORIES - REFER TO MECHANICAL DRAWINGS.
- X.C.U.-1 EXISTING CONDENSING UNIT AND RAILS TO BE REMOVED IN ITS ENTIRETY - PATCH ROOF AT REMOVED RAILS.
- X.S.H. EXISTING ROOF SCUPPER AND DOWNSPOUT TO BE REMOVED IN ITS ENTIRETY.
- X.V.P. EXISTING VENT PIPE LOCATION TO REMAIN
- X.G.P. EXISTING GAS PIPE - RAISE AND SUPPORT AS REQUIRED FOR NEW ROOF INSTALLATION.
- X.G.P.-1 EXISTING GAS PIPE TO BE REMOVED - REFER TO MECHANICAL DRAWINGS.
- INDICATES AREA OF EXISTING SLOPED ROOF.
- ▨ AREA OF ROOF SYSTEM, INSULATION AND DECKING FRAMING TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION - REFER TO STRUCTURAL AND MECHANICAL DRAWINGS.

GENERAL NOTES

1. FIELD VERIFY EXACT DIMENSIONS AND CONSTRUCTION OF ALL EXISTING CONDITIONS IN FIELD.
2. PROTECT ALL EXISTING SURFACES NOT SCHEDULED FOR REMOVAL FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. EXISTING SCHOOL SHALL REMAIN OPERATIONAL DURING ROOFING REPLACEMENT. NO SERVICES OR UTILITIES SHALL BE SHUT OFF OR DISCONNECTED WITHOUT PRIOR AUTHORIZATION OF OWNER (MINIMUM 3 DAYS IN ADVANCE).
4. ALL EXISTING EQUIPMENT ON ROOF SHALL BE REMOVED AND REINSTALLED AS REQUIRED TO COMPLETE WORK INDICATED.
5. REMOVE MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT, DUCT WORK, PIPING, AND ACCESSORIES AS REQUIRED TO PROVIDE WORK INDICATED.
6. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH THE WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ANY ITEMS REQUIRING REMOVAL TO PROPERLY PERFORM CONTRACT WORK SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDED THE CONDITION WAS VISIBLE DURING BIDDING.
7. CONTRACTOR TO VERIFY CONSTRUCTION OF EXISTING ROOF SYSTEM IN FIELD PRIOR TO SUBMITTING SHOP DRAWINGS.
8. ALL AREAS OF EXISTING SITE USED TO ACCESS AREA OF WORK SHALL BE PROTECTED AND/OR REPAIRED BACK TO ORIGINAL CONDITION PRIOR TO SUBSTANTIAL COMPLETION DATE - AT ALL GRASS AREAS DAMAGED DURING CONSTRUCTION, PROVIDE NEW SOD TO MATCH EXISTING SPECIES.
9. AT ALL ROOF PENETRATIONS TO BE REMOVED - PATCH DECK, FILL OPENING WITH INSULATION TO MATCH EXISTING AND PATCH MEMBRANE PER MANUFACTURER'S REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
10. CONTACT GLUTH BROTHERS ROOFING COMPANY, INC., PHONE 219.844.5536. YOU CAN ALSO CONTACT THE SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COPLEY, PHONE 260.312.0483. TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL CORPORATION.

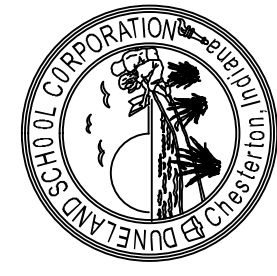


KEY PLAN  
NOT TO SCALE



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LANSING, MICHIGAN 48204  
UT: 0000000000000000

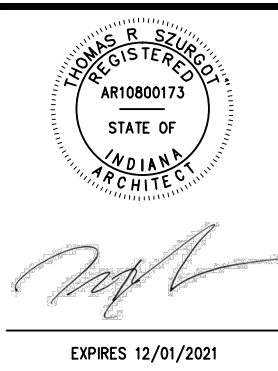
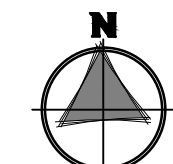
DUNELAND SCHOOL CORPORATION  
2020 MECHANICAL RENOVATIONS AT:  
WESTCHESTER INTERMEDIATE SCHOOL  
1050 SOUTH 5TH STREET, CHESTERTON, IN 46304



PROJECT NUMBER: 18-0923	DATE: 12/01/2021
PROJECT MANAGER: HQ	DATE: 12/01/2021
DRAWN BY: GT	DATE: 12/01/2021
USED FOR BIDDING: 01/07/2020	DATE: 12/01/2021
EXISTING PARTIAL ROOF PLAN	

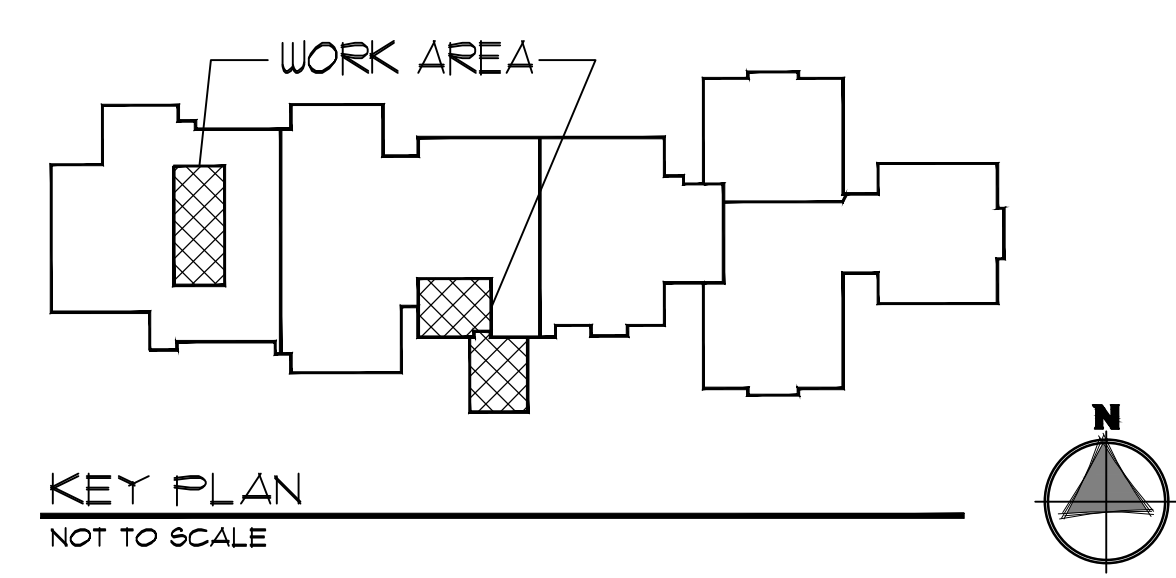
A8.00

1 EXISTING PARTIAL ROOF PLAN  
1/16" = 1'-0"





1 PARTIAL ROOF PLAN  
1/16" = 1'-0"



KEY PLAN  
NOT TO SCALE

**LEGEND**

R.H. RELIEF HOOD - REFER TO SHEET A8.20 AND MECHANICAL DRAWINGS.

I.H. INTAKE HOOD - REFER TO SHEET A8.20 AND MECHANICAL DRAWINGS

INFILL DECK OPENING AT EXISTING ROOF BELOW - MATCH EXISTING ADJACENT CONSTRUCTION THICKNESS AND SLOPE

**GENERAL NOTES**

- ALL INSULATION JOINTS ARE TO BE STAGGERED.
- ALL GAPS IN INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED WITH INSULATION STRIPS.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL COUNTER FLASHING, COPING, AND MISCELLANEOUS METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
- ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED WITH SEALANT FOLLOWING ARCHITECT'S APPROVAL.
- APPLY EPDM MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
- ALL AREAS OF EXISTING SITE USED TO ACCESS AREA OF WORK SHALL BE PROTECTED AND/OR REPAIRED BACK TO ORIGINAL CONDITION PRIOR TO SUBSTANTIAL COMPLETION DATE - AT ALL GRASS AREAS DAMAGED DURING CONSTRUCTION, PROVIDE NEW SOD TO MATCH EXISTING SPECIES.
- EXTEND ALL PIPE PENETRATIONS AS REQUIRED TO PROVIDE WORK INDICATED.
- AT ALL ROOF PENETRATIONS TO BE REMOVED - PATCH DECK, FILL OPENING WITH INSULATION TO MATCH EXISTING AND PATCH MEMBRANE PER MANUFACTURER'S REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
- CONTACT GLUTH BROTHERS ROOFING COMPANY, INC., PHONE 219.844.5536. YOU CAN ALSO CONTACT THE SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COFFEY, PHONE 260.312.0483. TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL CORPORATION.

**FLASHING NOTES**

- ALL FLASHING FLANGES ARE TO BE SET IN SEALANT.
- FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ISOMETRIC DRAWINGS ARE DIAGRAMMATIC.
- FOLLOWING INSTALLATION OF THE FLASHING, APPLY SEALANT TO ALL EXPOSED LEADING EDGES.
- ALL SCREW ANCHOR LOCATIONS TO HAVE PRE-DRILLED 5/16" PILOT HOLES.
- NON-EXPOSED NAIL FASTENERS TO BE 1-1/2" RING SHANK GALVANIZED ROOFING NAILS.
- NON-EXPOSED SCREW ANCHORS INTO WOOD TO BE 1-1/4" X 3/16" HHA ATLAS TYPE #A' POINT SCREWS.
- EXPOSED SCREW ANCHORS INTO WOOD ARE TO BE 1-1/4" X 3/16" HHA ATLAS TYPE #A' POINT 304 SERIES.
- NON-EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" TAPCONS.
- EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" TAPCONS WITH CLIMASEAL CORROSION RESISTIVE COATING AND NEOPRENE WASHERS.
- EXPOSED SCREW FASTENERS INTO SHEET METAL TO BE 3/4" X 1/4" TEKS WITH NEOPRENE WASHERS.
- ALL EXPOSED SCREW FASTENERS ARE TO BE COVERED WITH SEALANT.
- REFER TO SHEETS A8.20 FOR ROOF DETAILS.

**ROOF CONSTRUCTION NOTES**

ROOF AREA #1:  
EXISTING ROOF CONSISTS OF METAL DECK, INSULATION AND TREMCO TPA ROOF SYSTEM - AT AREAS TO PATCH, MATCH EXISTING ADJACENT CONSTRUCTION - CONTACT GLUTH BROTHERS ROOFING COMPANY, INC., PHONE 219.844.5536. YOU CAN ALSO CONTACT THE SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COFFEY, PHONE 260.312.0483. TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL CORPORATION.

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**DUNELAND SCHOOL CORPORATION**

**2020 MECHANICAL RENOVATIONS AT:**

**WESTCHESTER INTERMEDIATE SCHOOL**

**1050 SOUTH 5TH STREET, CHESTERTON, IN 46304**

DUNELAND SCHOOL CORPORATION

PROJECT NUMBER: 18-093	PROJECT MANAGER: HQ	PROJECT DATE: 01/07/2020
DRAWN BY: GT		
PARTIAL ROOF PLAN		

THOMAS J. DUGAN  
PROFESSIONAL ENGINEER  
STATE OF INDIANA  
ARCHITECT  
00000173

EXPRES 12/01/2021

**A8.10**



NOTES:  
1.COORDINATE WITH HVAC AND STRUCTURAL CONSULTANTS.  
2.COORDINATE ALL ROOF DETAILS WITH TREMCO PRIOR TO BIDDING.  
EXISTING ROOF SYSTEM IS UNDER WARRANTY.

HVAC UNIT PROVIDED BY MECHANICAL CONTRACTOR

PREFABRICATED ROOF CURB PROVIDED BY MECHANICAL CONTRACTOR

CONTINUOUS TREATED WOOD BLOCKING-THICKNESS AS REQUIRED TO BE FLUSH WITH TOP OF METAL DECK

STEEL ANGLE FRAMING - ALL 4 SIDES OF OPENING - REFER TO STRUCTURAL DRAWINGS

STAINLESS STEEL SCREW FASTENER WITH NEOPRENE WASHERS - COVER WITH SEALANT

EXISTING TREMCO TPA ROOF SYSTEM OVER INSULATION

VAPOR BARRIER - WRAP UP CURB

EXISTING METAL DECK

1 HVAC UNIT CURB DETAIL  
1 1/2" = 1'-0"

TPA FLASHING SET IN BONDING ADHESIVE AGAINST CURB AND IN SPLICE ADHESIVE OVER TPA

CONTINUOUS TERMINATION BAR WITH MANUFACTURER APPROVED FASTENERS AT 6" ON CENTER

6" MIN

TPA

TPA LAP SEALANT

EXISTING TREMCO TPA ROOF SYSTEM OVER INSULATION

SEALANT OVER FASTENER HEAD - TYPICAL

VAPOR BARRIER - WRAP UP FACE OF WALL

EXISTING METAL DECK

FILL GAPS AROUND PENETRATIONS WITH MINIMALLY EXPANDING FOAM INSULATION

2 TYPICAL SPM ANCHOR STRIP DETAIL  
6" = 1'-0"

SCREW ANCHOR WITH NEOPRENE WASHER AT 12" ON CENTER - COVER WITH SEALANT

1'-3 3/8"

3/4" TREATED PLYWOOD ON 1/2" TREATED SHIM ON 2x TREATED WOOD BLOCKING - TYPICAL

PREFINISHED ALUMINUM COPING WITH CONTINUOUS ALUMINUM CLIP SET IN SEALANT - NAIL AT 4" ON CENTER THROUGH 1/4" PREDRILLED PILOT HOLES

ANCHOR BOLTS BOND BEAM GROUT SOLID

4" FACE BRICK OVER AIR SPACE OVER 1 1/2" RIGID INSULATION OVER 8" CONCRETE MASONRY UNITS

3 DETAIL  
1-1/2" = 1'-0"

2 A5.10

T/ MASONRY (+) 8'-5" V.I.F.

PREFINISHED ALUMINUM COPING

4" FACE BRICK

GRADE

T/ FOUNDATION (+) 0'-0"

FOUNDATION WALL AND FOOTING - REFER TO STRUCTURAL DRAWINGS

(2) 8'-5" HIGH x 3'-8" WIDE GATE WITH 1-1/4" COMPOSITE BOARDS ON STEEL FRAME - VERIFY IN FIELD - PAINT

GALVANIZED STEEL POST - PAINT

PROVIDE (1) COMMERCIAL DOUBLE GATE STRONG ARM LATCH BY DAC INDUSTRIES

PROVIDE (1) 1/2" DIAMETER x 24" LONG CANE BOLT SET IN HOLE IN SLAB

4 EXTERIOR ELEVATION  
1/4" = 1'-0"

T/ COPING (+) 21'-6" V.I.F.

EXISTING METAL PANEL WALL SYSTEM TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FRAME EXISTING METAL PANEL WALL SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION - BOTH SIDES

EXISTING DOOR AND FRAME TO BE REMOVED IN ITS ENTIRETY

B/ LINTEL (+) 10'-4" V.I.F.

EXISTING METAL RAILING STAIR CONSTRUCTION TO BE REMOVED IN ITS ENTIRETY

EXISTING MASONRY WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION

T/ MASONRY (+) 13'-10" V.I.F.

5 EXISTING EXTERIOR ELEVATION  
1/4" = 1'-0"

T/ COPING (+) 21'-6" V.I.F.

METAL PANEL WALL SYSTEM TO MATCH EXISTING

EXISTING METAL PANEL WALL SYSTEM - BOTH SIDES

DOOR AND FRAME AS SCHEDULED

B/ LINTEL (+) 10'-4" V.I.F.

EATON ROOFTOP WALKWAY 3 STEP CONFIGURATION

EXISTING MASONRY WALL CONSTRUCTION

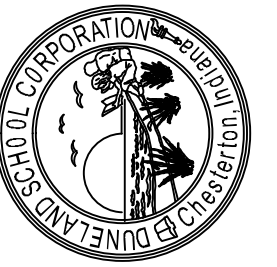
T/ MASONRY (+) 13'-10" V.I.F.

6 EXTERIOR ELEVATION  
1/4" = 1'-0"

DUNELAND SCHOOL CORPORATION

2020 MECHANICAL RENOVATIONS AT:  
WESTCHESTER INTERMEDIATE SCHOOL

1050 SOUTH 5TH STREET, CHESTERTON, IN 46304



PROJECT NUMBER: 18-0933

PROJECT MANAGER: HQ

DRAWN BY: GT

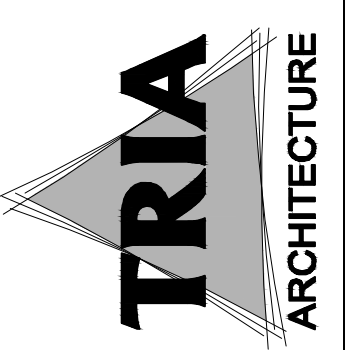
USED FOR BIDDING: 01/07/2020

ROOF DETAILS AND ELEVATIONS



EXPIRES 12/01/2021

A8.20



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