

DUNELAND SCHOOL CORPORATION

2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL

651 WEST MORGAN STREET, CHESTERTON, INDIANA 46304

TRIA PROJECT#: 19-064

ARCHITECT:
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Chesterton, Indiana 46304

Company Main: 630.455.4500 Fax: 630.455.4040
www.TriaArchitecture.com

GENERAL BUILDING CODE REQUIREMENTS

BUILDING CODES REFERENCED:
2012 INTERNATIONAL BUILDING CODE WITH 2014 INDIANA AMENDMENTS

2006 INTERNATIONAL PLUMBING CODE 2ND EDITION AMENDED INDIANA 2012

2008 NATIONAL ELECTRICAL CODE WITH 2009 INDIANA AMENDMENTS

2012 INTERNATIONAL MECHANICAL CODE WITH 2014 INDIANA AMENDMENTS

INDIANA ENERGY CONSERVATION CODE 2010

2012 INTERNATIONAL FIRE CODE WITH 2014 INDIANA AMENDMENTS

2012 INTERNATIONAL FUEL GAS CODE 2ND EDITION WITH 2014 INDIANA AMENDMENTS

OCCUPANCY CLASSIFICATION:
EDUCATIONAL GROUP E

DESIGN FIRM REGISTRATION:
THOMAS R. SZURGOT
INDIANA LICENSE NUMBER: *A10800173

DRAWING INDEX (SET 1 OF 2)

T1.00 TITLE SHEET, SITE LOCATION MAP, INDEX, AND GENERAL BUILDING CODE REQUIREMENTS

ARCHITECTURAL:

A0.01 FIRST FLOOR SAFETY REFERENCE PLAN

A0.10A EXISTING FIRST FLOOR PLAN - MODULE A
A0.10B EXISTING FIRST FLOOR PLAN - MODULE B
A0.10C EXISTING FIRST FLOOR PLAN - MODULE C
A0.10D EXISTING FIRST FLOOR PLAN - MODULE D
A0.10E EXISTING FIRST FLOOR PLAN - MODULE E
A0.10F EXISTING FIRST FLOOR PLAN - MODULE F
A0.10G EXISTING FIRST FLOOR PLAN - MODULE G
A0.10H EXISTING FIRST FLOOR PLAN - MODULE H
A0.10J EXISTING FIRST FLOOR PLAN - MODULE J
A0.10K EXISTING FIRST FLOOR PLAN - MODULE K
A0.10L EXISTING FIRST FLOOR PLAN - MODULE L

A1.10A FIRST FLOOR PLAN - MODULE A
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A1.10C FIRST FLOOR PLAN - MODULE C
A1.10D FIRST FLOOR PLAN - MODULE D
A1.10E FIRST FLOOR PLAN - MODULE E
A1.10F FIRST FLOOR PLAN - MODULE F
A1.10G FIRST FLOOR PLAN - MODULE G
A1.10H FIRST FLOOR PLAN - MODULE H
A1.10J FIRST FLOOR PLAN - MODULE J
A1.10K FIRST FLOOR PLAN - MODULE K
A1.10L FIRST FLOOR PLAN - MODULE L

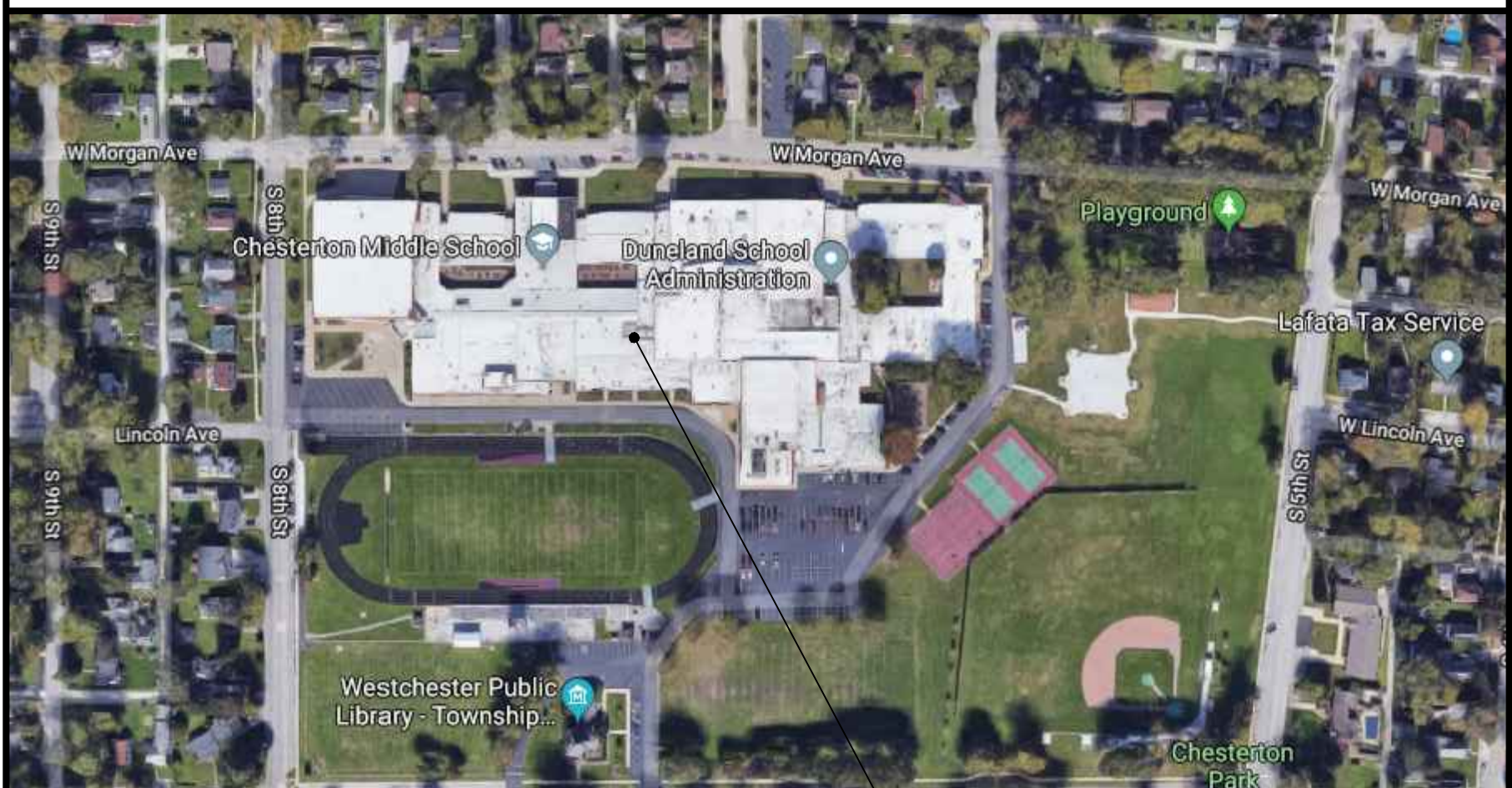
A2.00 DOOR AND FRAME SCHEDULES, TYPES AND NOTES
A2.01 DOOR AND FRAME SCHEDULES, TYPES AND NOTES
A2.02 ALUMINUM FRAME TYPES
A2.10 FRAME DETAILS

A3.00 WALL SECTIONS

SCHOOL BOARD

BOARD PRESIDENT	BRANDON KROFT
BOARD VICE PRESIDENT	KRISTIN KROEGER
BOARD SECRETARY	RONALD STONE
BOARD MEMBER	JOHN MARSHALL
BOARD MEMBER	ALAYNA LIGHTFOOT POL
SUPERINTENDENT	DR. CHIP PETTIT

SITE LOCATION MAP

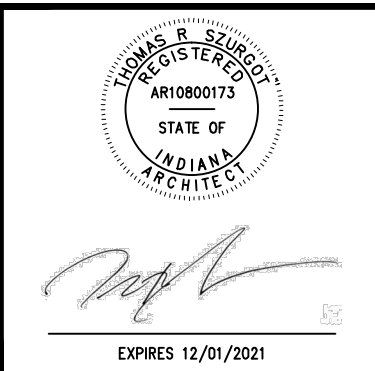


CHESTERTON MIDDLE SCHOOL

**NOTE: ALL WORK IN THIS SET IS
BASE BID
REFER TO SET 2 OF 2 FOR
ALTERNATE BID WORK
ISSUED FOR BID:**
02/05/2020

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REVISION:

T1.00

GENERAL NOTES

1. ALL DOORS ARE BEING REPLACED ONE FOR ONE WITH SIZES TO MATCH EXISTING.

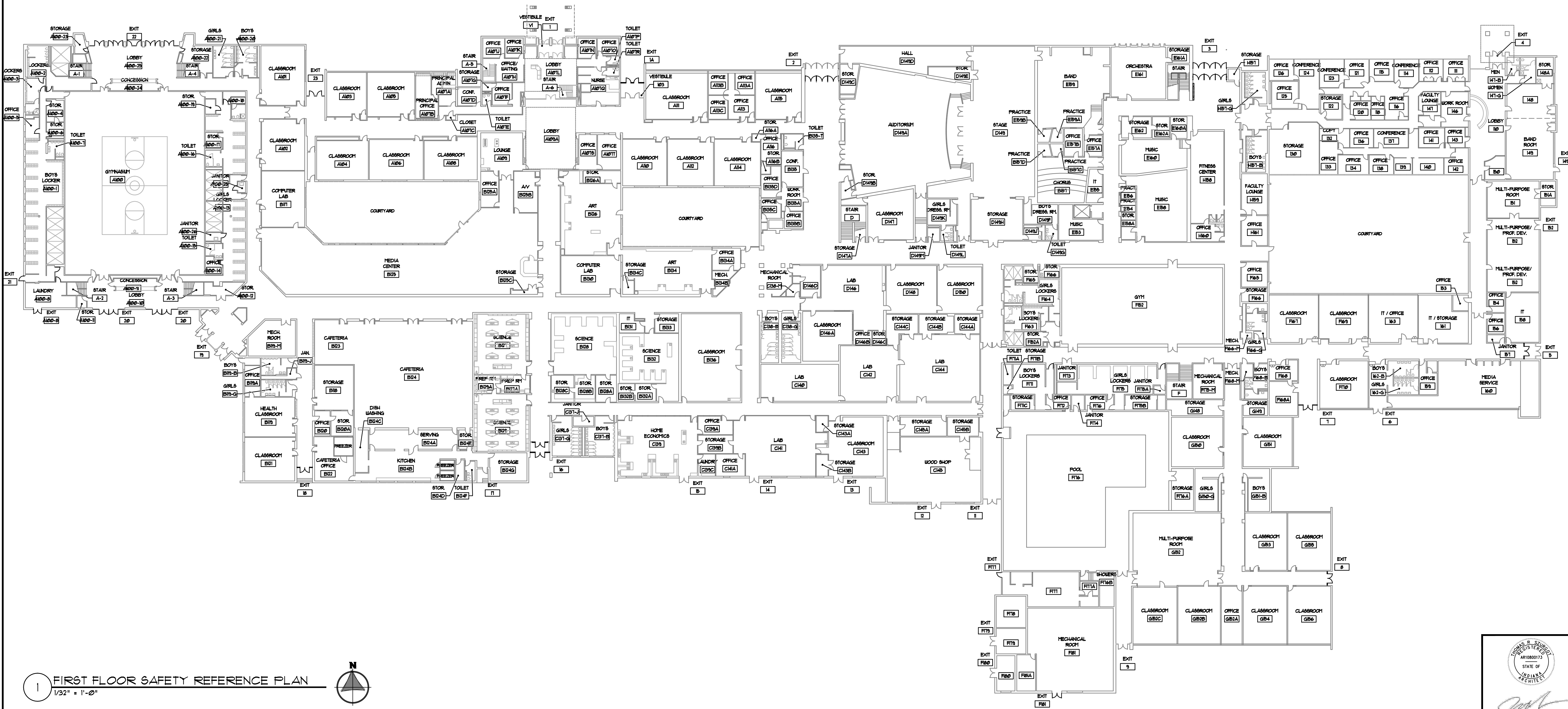
SAFETY REFERENCE LEGEND

OCCUPANCY EXIT(S) USED EXIT NUMBER EGRESS CAPACITY USED	AREA (S.F.) EXIT X EXIT # OCC. CAP. MAXIMUM EGRESS CAPACITY	ROOM OCCUPANCY AND EXIT INFORMATION EXIT EGRESS 1 HOUR FIRE RATED WALL CONSTRUCTION 2 HOUR FIRE RATED WALL CONSTRUCTION 4 HOUR FIRE RATED WALL CONSTRUCTION SAFETY REFERENCE EGRESS PATH AND DISTANCE
■■■■■■■		1 HOUR FIRE RATED WALL CONSTRUCTION
■■■■■■■		2 HOUR FIRE RATED WALL CONSTRUCTION
■■■■■■■		4 HOUR FIRE RATED WALL CONSTRUCTION
XX		SAFETY REFERENCE EGRESS PATH AND DISTANCE

EGRESS

EXIT ACCESS TRAVEL DISTANCE CALCULATED PER TABLE 1017.2 OF THE 2012 INTERNATIONAL BUILDING CODE

ALL EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET.

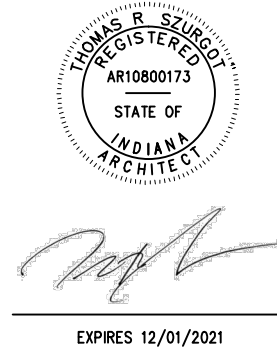


1 FIRST FLOOR SAFETY REFERENCE PLAN
1/32" = 1'-0"

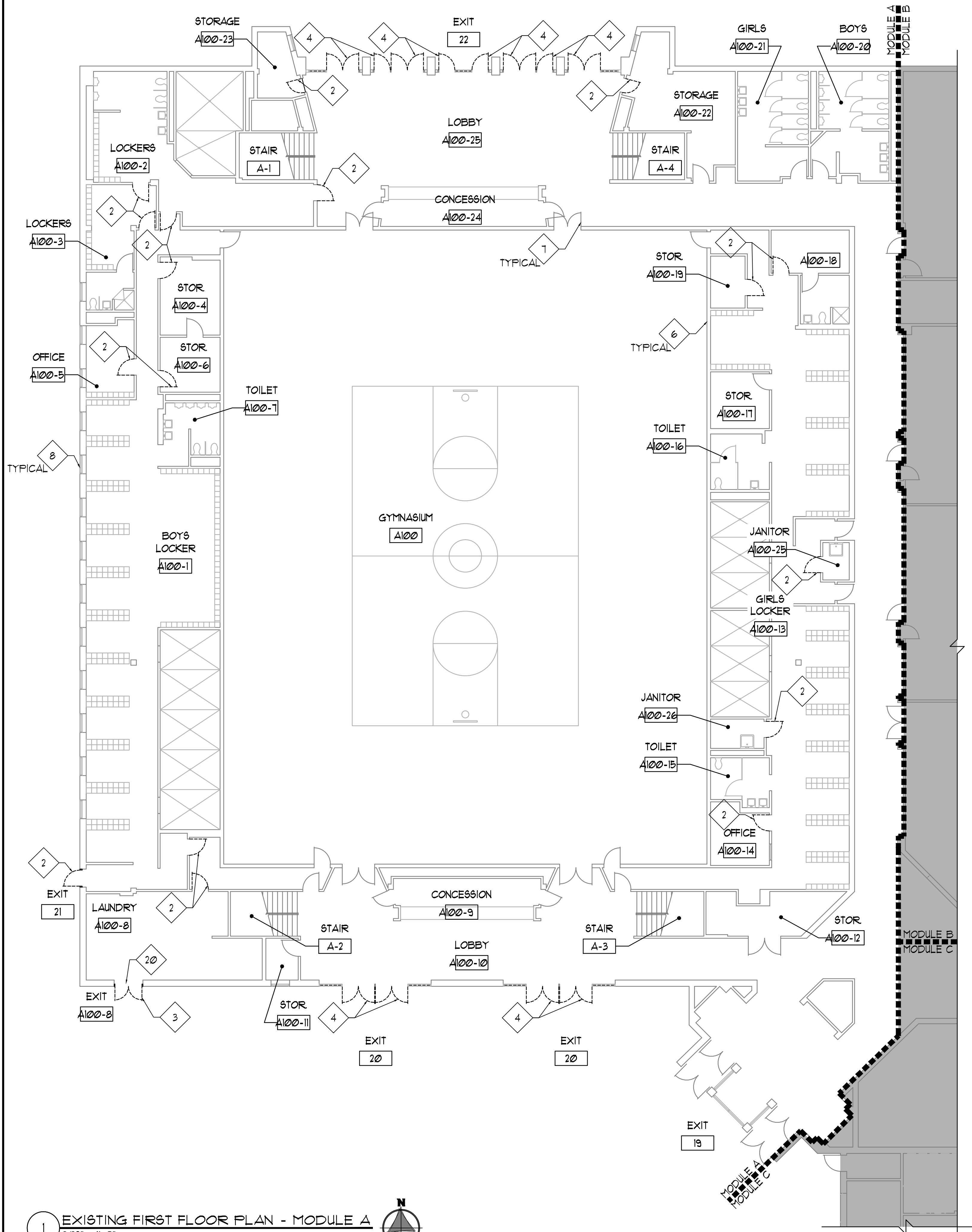
DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER: 2024
PROJECT MANAGER: ND
DRAWN BY: KT
USED FOR BID: 00/00/00
FIRST FLOOR SAFETY REFERENCE PLAN



A0.01



LEGEND

EXISTING CONSTRUCTION TO BE REMOVED / DEMO

EXISTING CONSTRUCTION TO REMAIN

HATCHED AREA INDICATES WORK WITHIN OTHER MODULE

EXISTING CONCRETE WALKWAY/SLOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

**FURNITURE / EQUIPMENT
RELOCATION NOTES**

1. OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

EXISTING PLAN GENERAL NOTES

1. REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.

2. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.

3. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.

4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.

5. REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.

6. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

7. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.

8. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.

9. AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.

10. REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.

11. GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

12. PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.

13. ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE FLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

EXISTING PLAN REFERENCED NOTES
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.

2. EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED.

3. EXISTING DOOR, FRAME, HARDWARE AND ASSOCIATED EQUIPMENT TO BE REMOVED.

4. EXISTING FRAME TO REMAIN. EXISTING DOORS, HARDWARE AND ALL SIDE-LITE GLASS TO BE REMOVED.

5. EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.

6. EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.

7. EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.

8. EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.

9. EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.

10. EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.

11. FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.

12. EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.

13. EXISTING MECHANICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.

14. EXISTING STEEL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.

15. EXISTING CONCRETE SLOOP AND DOOR EQUIPMENT TO BE REMOVED IN ITS ENTIRETY.

16. EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE MODIFIED AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO A200 AND A201.

17. EXISTING LIGHT SWITCH TO BE REMOVED BY OWNER.

18. EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.

19. EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED. DOOR MAGNETS TO BE SALVAGED AND REINSTALLED.

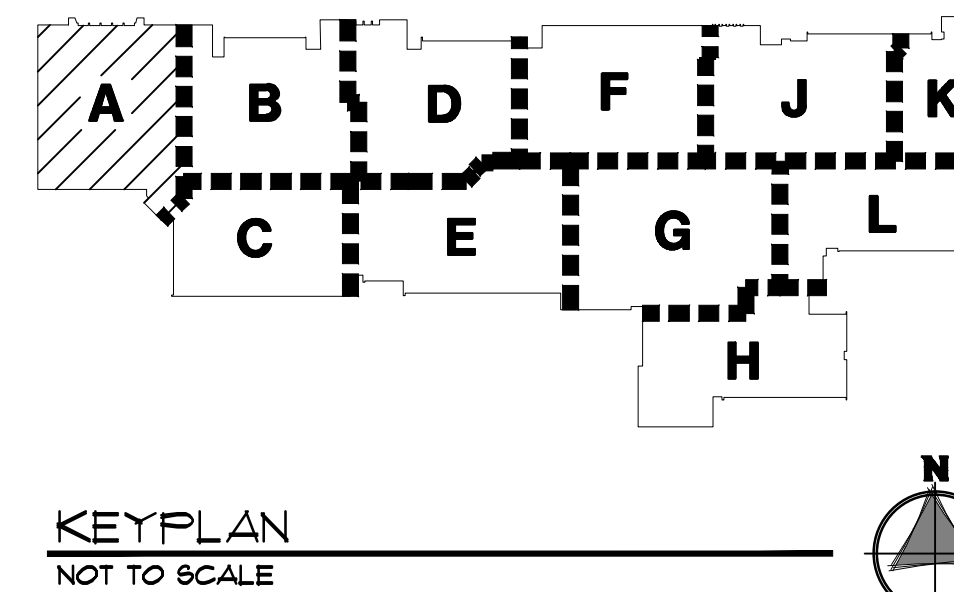
20. EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.

21. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.

22. EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.

23. EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.

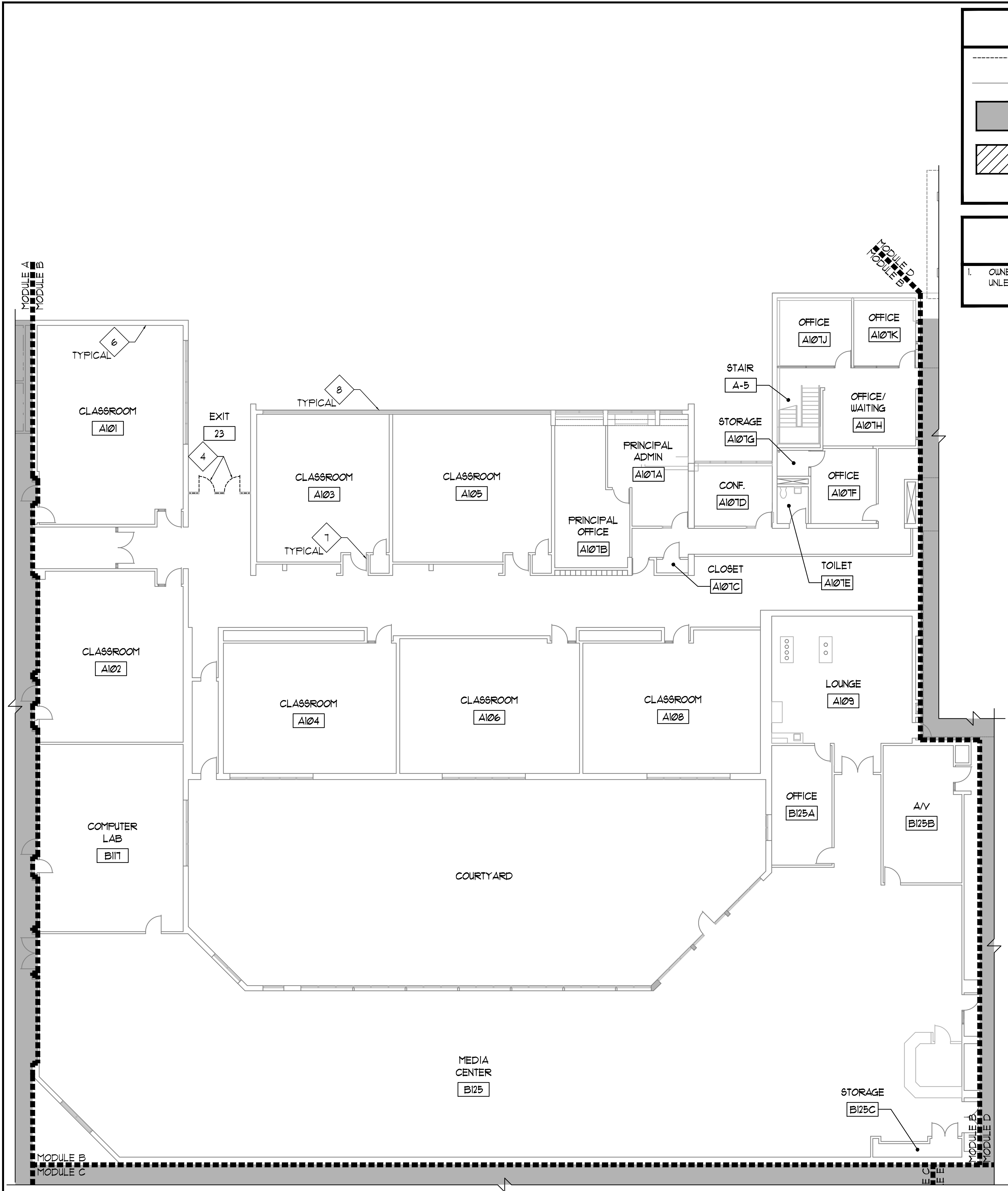
24. SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

PROJECT NUMBER: 20-04	REVISED:
PROJECT MANAGER: MS	
DRAWN BY: KTG	
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE A	

A0.10A
SET 1 OF 2



LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- [Hatched Box] HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- [Diagonal Lines Box] EXISTING CONCRETE WALKWAY/SLOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT RELOCATION NOTES

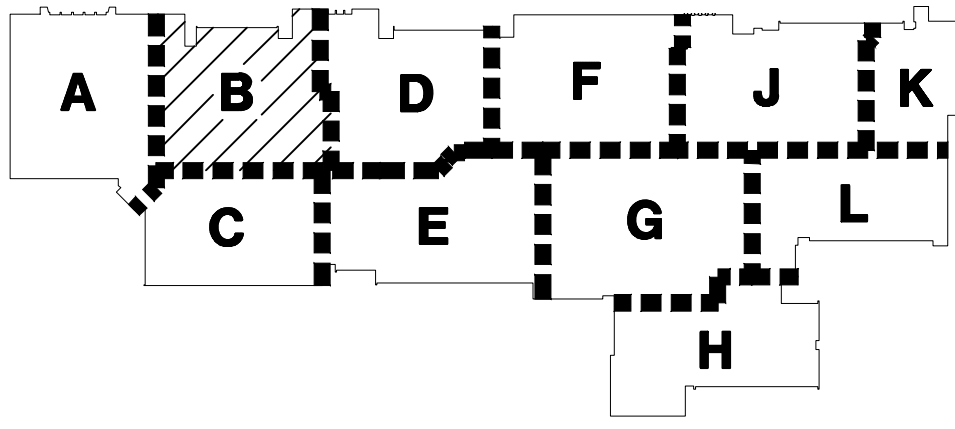
1. OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

EXISTING PLAN GENERAL NOTES

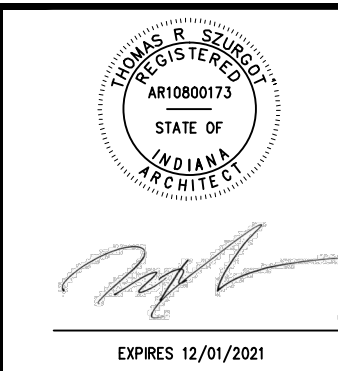
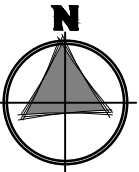
- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
- ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE FLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

EXISTING PLAN REFERENCED NOTES (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

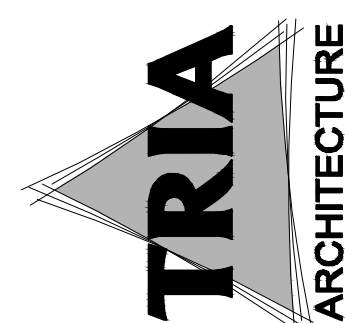
- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED.
- EXISTING DOOR, FRAME, HARDWARE AND ASSOCIATED EQUIPMENT TO BE REMOVED.
- EXISTING FRAME TO REMAIN. EXISTING DOORS, HARDWARE AND ALL SIDE-LITE GLASS TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.
- EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
- EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
- EXISTING MECHANICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING STEEL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING CONCRETE SLOOP AND DOOR EQUIPMENT TO BE REMOVED IN ITS ENTIRETY.
- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE MODIFIED AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO A2.00 AND A2.01.
- EXISTING LIGHT SWITCH TO BE REMOVED BY OWNER.
- EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED. DOOR MAGNETS TO BE SALVAGED AND REINSTALLED.
- EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.
- EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



1 EXISTING FIRST FLOOR PLAN - MODULE B
3/32" = 1'-0"



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651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER: 2024	REVISED: 12/01/2021
PROJECT MANAGER: NO	DATE: 12/01/2021
DRAWN BY: NO	DATE: 12/01/2021
USED FOR BID: 01/05/2020	DATE: 01/05/2020
EXISTING FIRST FLOOR PLAN - MODULE B	

A0.10B

LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- ▨ EXISTING CONCRETE WALKWAY/SWOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT
RELOCATION NOTES

1. OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

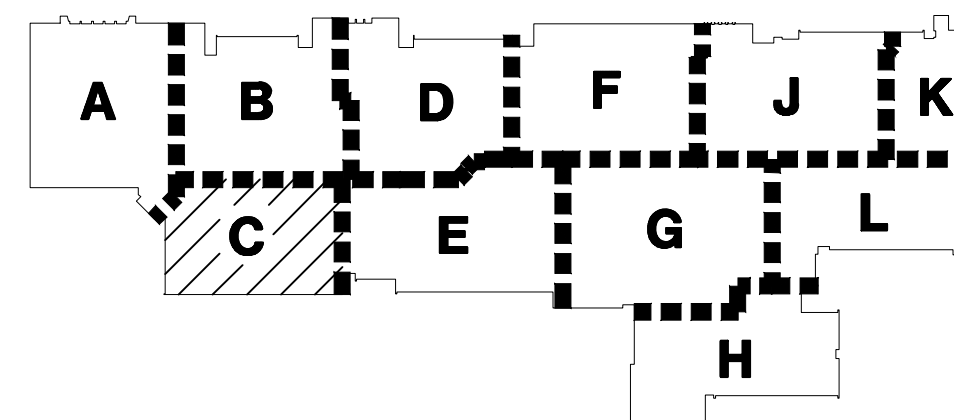
EXISTING PLAN GENERAL NOTES

- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING - MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
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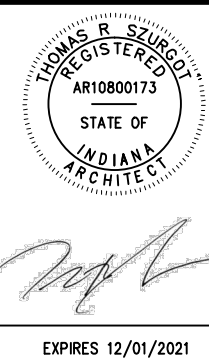
EXISTING PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.
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- EXISTING FRAME TO REMAIN. EXISTING DOORS, HARDWARE AND ALL SIDE-LITE GLASS TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.
- EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
- EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
- EXISTING MECHANICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING STEEL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.
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- EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.
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- EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.
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- SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



KEYPLAN
NOT TO SCALE



EXPIRES 12/01/2021

DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

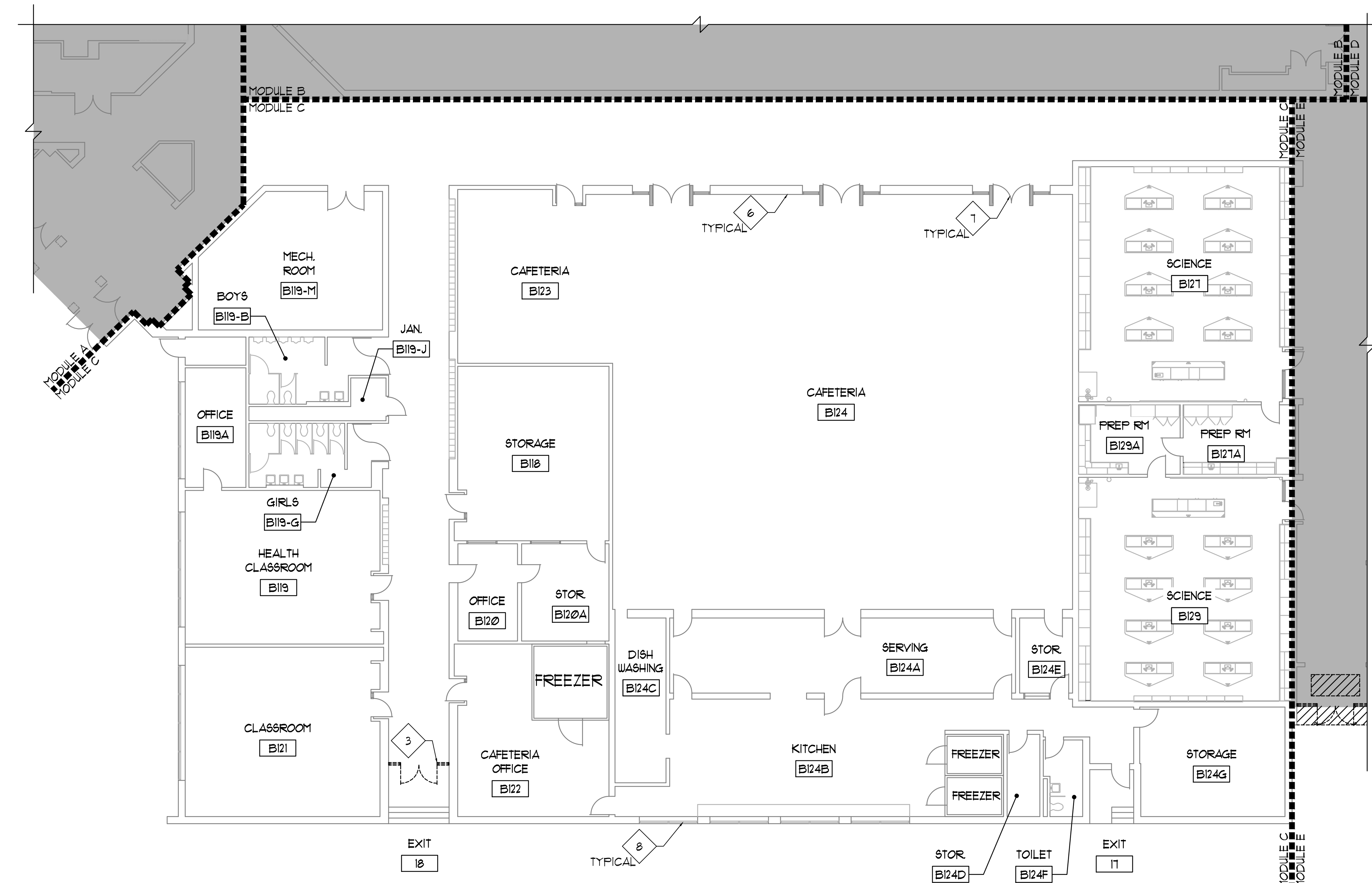
BALLY ELEMENTARY SCHOOL
900 S. 5TH STREET
CHESTERTON, INDIANA 46304



PROJECT NO.	20-04
PROJECT MANAGER	MS
DRAWN BY	KT/ET
USED FOR BID	01/05/2020
EXISTING FIRST FLOOR PLAN - MODULE C	

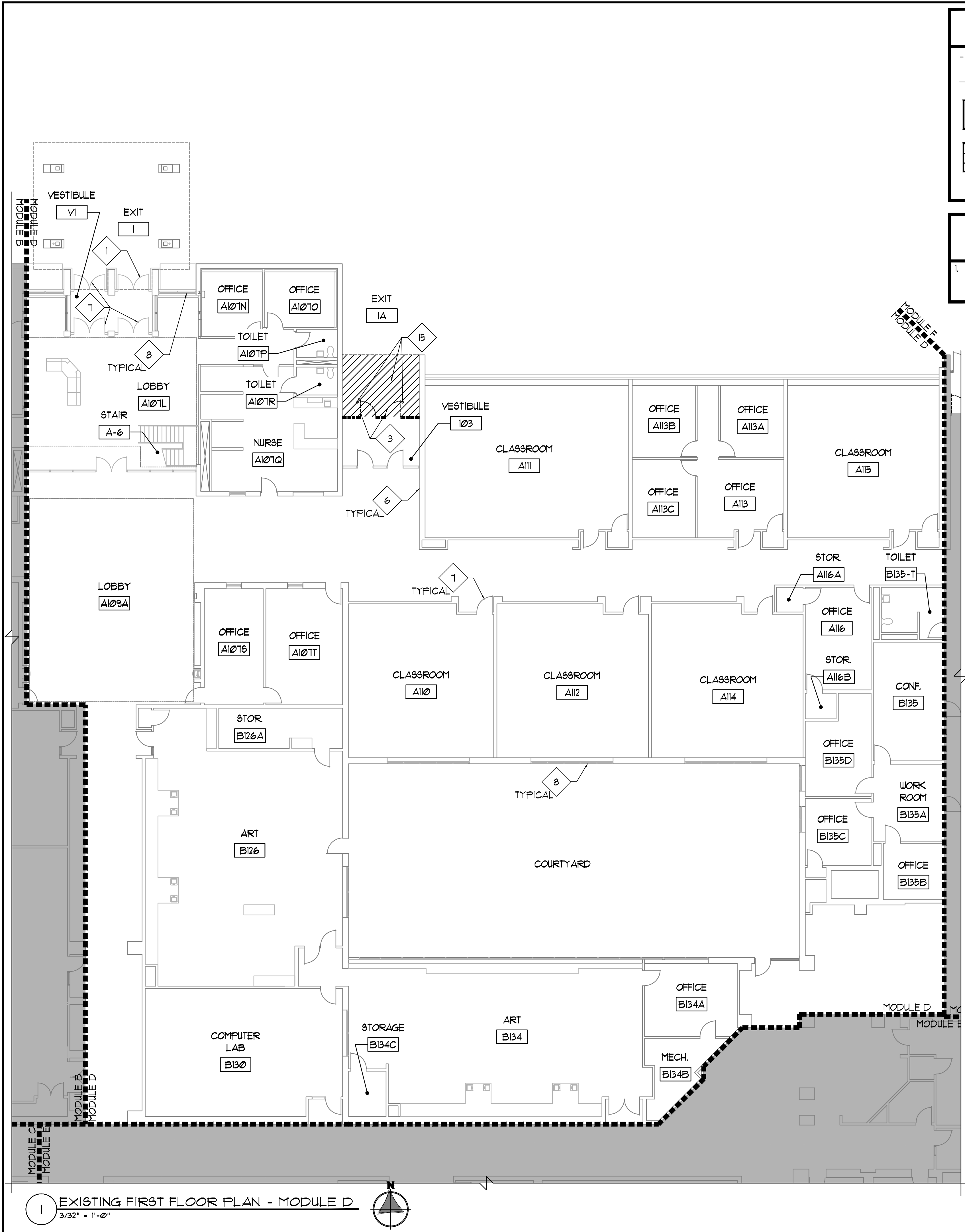
A0.10C

SET 1 OF 2



1 EXISTING FIRST FLOOR PLAN - MODULE C
3/32" = 1'-0"





LEGEND

EXISTING CONSTRUCTION TO BE REMOVED / DEMO

EXISTING CONSTRUCTION TO REMAIN

HATCHED AREA INDICATES WORK WITHIN OTHER MODULE

EXISTING CONCRETE WALKWAY/SWOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT
RELOCATION NOTES

1. OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

EXISTING PLAN GENERAL NOTES

1. REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.

2. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.

3. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.

4. REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.

5. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

6. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.

7. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.

8. AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.

9. REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.

10. GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

11. PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.

12. ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE FLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

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9. EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.

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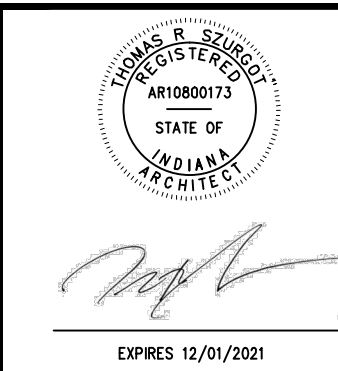
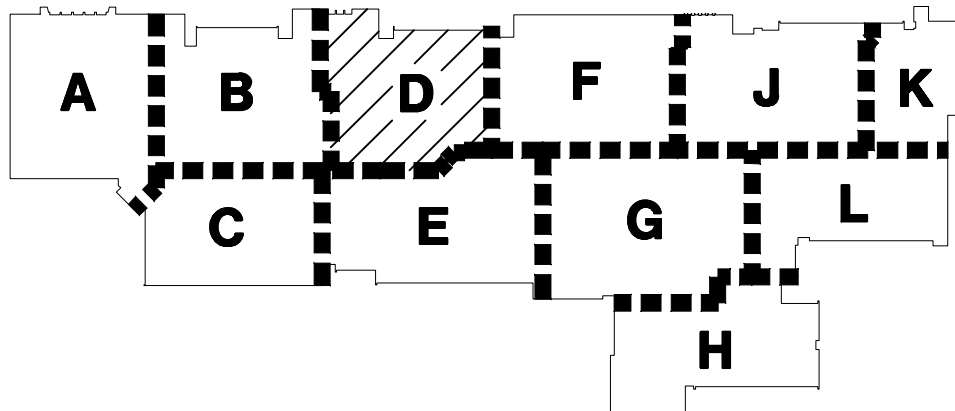
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24. SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



TRIA
ARCHITECTURE

DUNELAND SCHOOL CORPORATION

2020 DOOR RENOVATION AT:

CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

BALLY ELEMENTARY SCHOOL
900 S. 5TH STREET
CHESTERTON, INDIANA 46304

PROJECT NO.: 20-04

PROJECT MANAGER: MS

DRAWN BY: K7/ET

ISSUED FOR BID: 01/05/2020

EXISTING FIRST FLOOR PLAN - MODULE D

A0.10D

SET 1 OF 2

LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- ▨ EXISTING CONCRETE WALKWAY/SWOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT
RELOCATION NOTES

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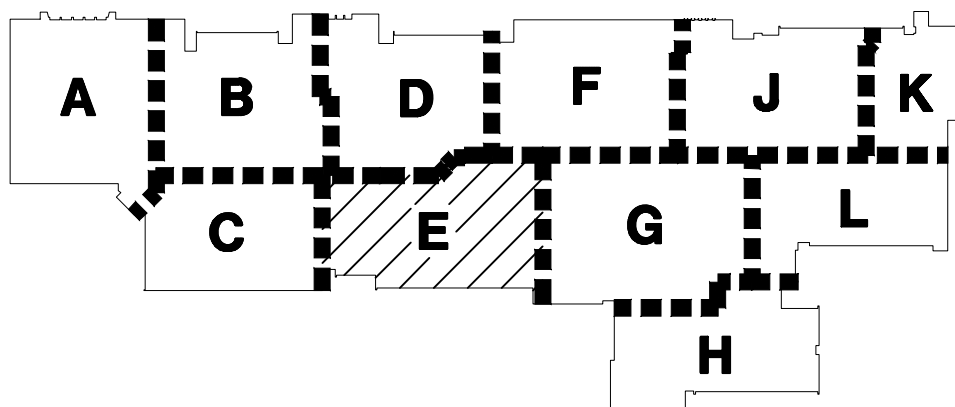
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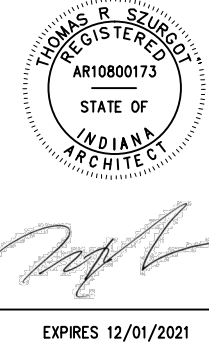
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KEYPLAN
NOT TO SCALE



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



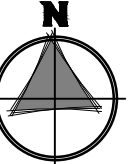
PROJECT NUMBER: 20-04	REVISIONS:
PROJECT MANAGER: NS	
DRAWN BY: KTG	
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE E	

A0.10E

SET 1 OF 2

1 EXISTING FIRST FLOOR PLAN - MODULE E

3/32" = 1'-0"



LEGEND

EXISTING CONSTRUCTION TO BE REMOVED / DEMO

EXISTING CONSTRUCTION TO REMAIN

HATCHED AREA INDICATES WORK WITHIN OTHER MODULE

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FURNITURE / EQUIPMENT
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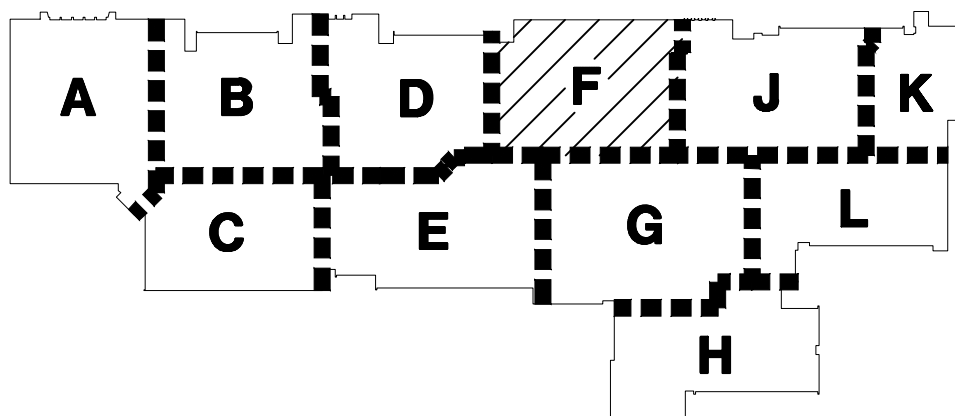
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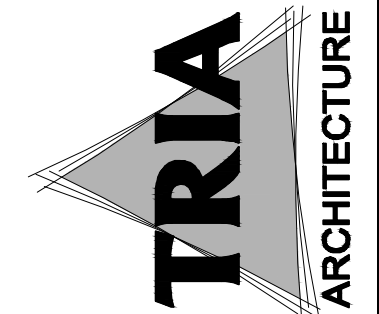
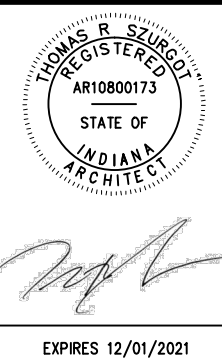
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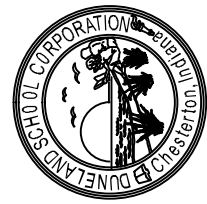


KEYPLAN
NOT TO SCALE



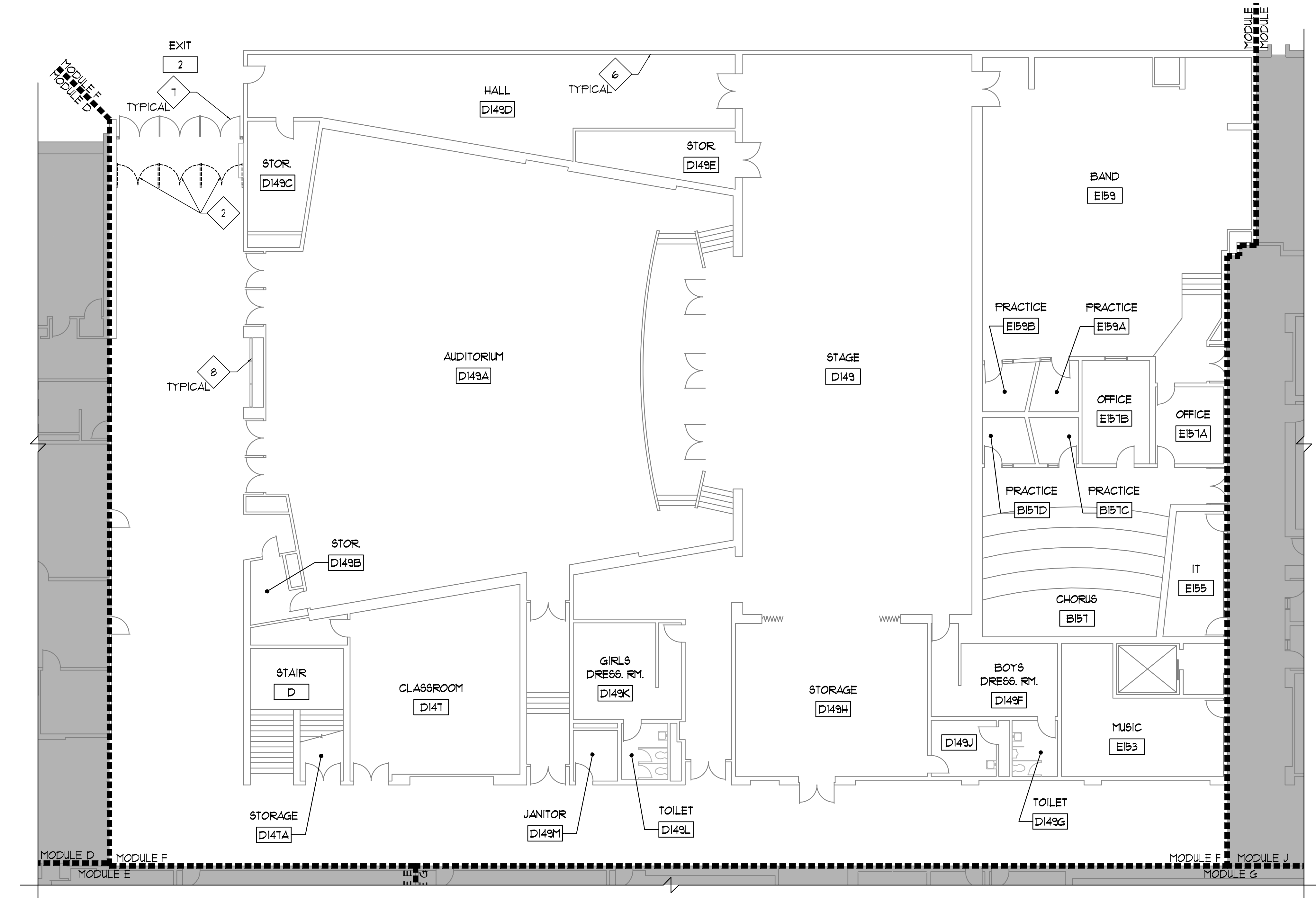
DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

BALLY ELEMENTARY SCHOOL
900 S. 5TH STREET
CHESTERTON, INDIANA 46304

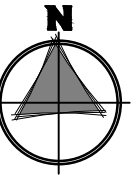


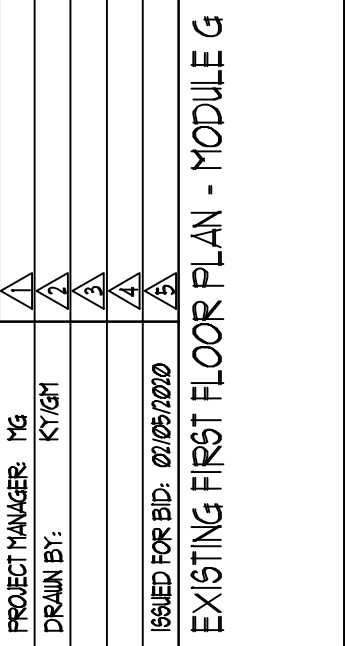
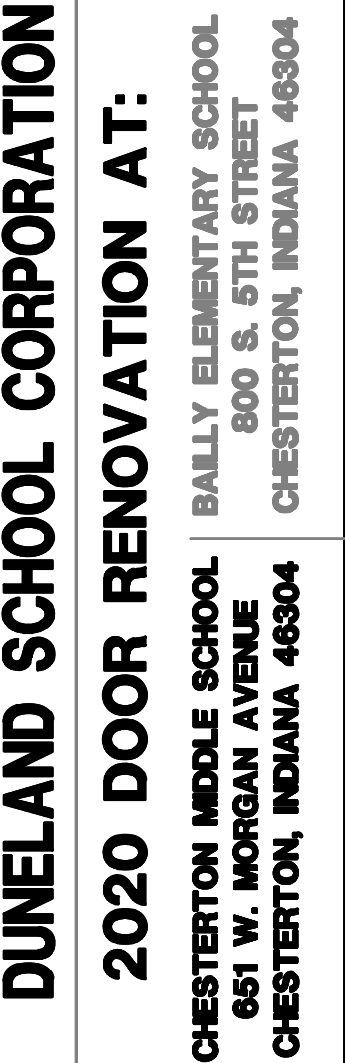
PROJECT NUMBER: 20-04	REVISED:
PROJECT MANAGER: MS	
DRAWN BY: KT/ET	
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE F	

A0.10F
SET 1 OF 2



1 EXISTING FIRST FLOOR PLAN - MODULE F
3/32" = 1'-0"



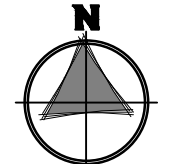


1. OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

1. REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
2. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
3. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
5. REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
6. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
7. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED
8. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
9. AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
10. REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
11. GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
12. PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
13. ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE PLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
14. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.
2. EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED.
3. EXISTING DOOR, FRAME, HARDWARE AND ASSOCIATED EQUIPMENT TO BE REMOVED.
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5. EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.
6. EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
7. EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
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9. EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
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11. FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
12. EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
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21. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.
22. EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
23. EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
24. SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- ▨ EXISTING CONCRETE WALKWAY/SWOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT
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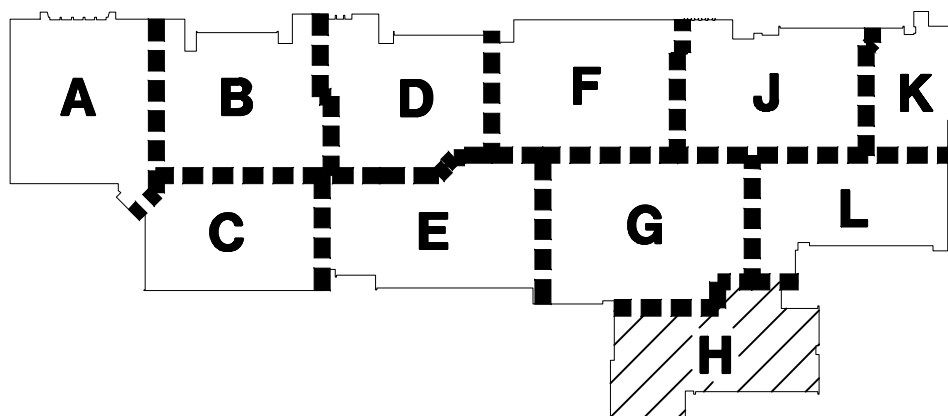
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- 14.

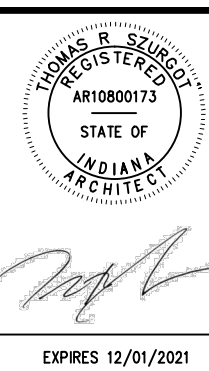
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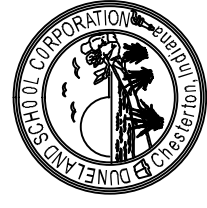
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KEYPLAN
NOT TO SCALE



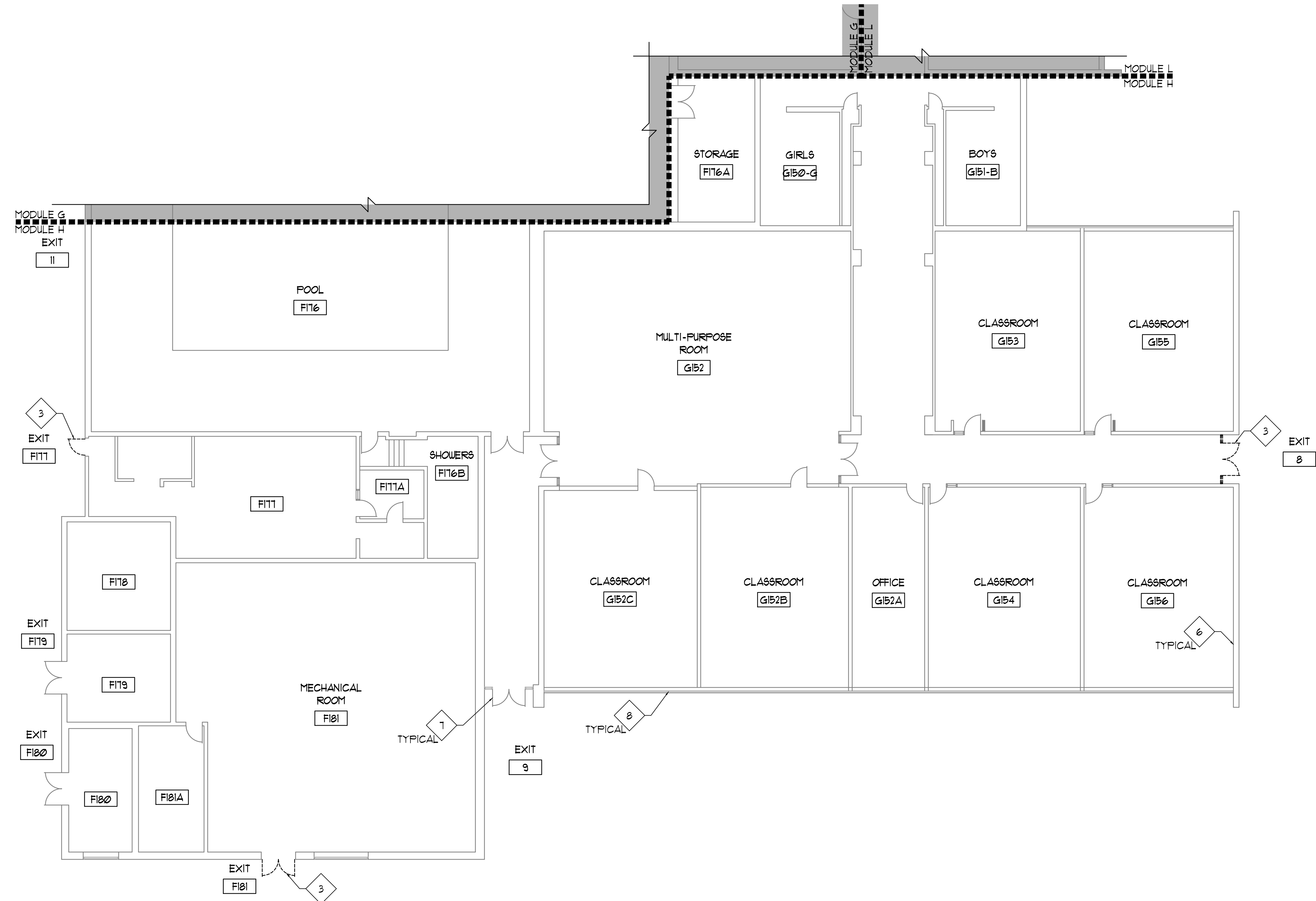
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2020 DOOR RENOVATION AT:
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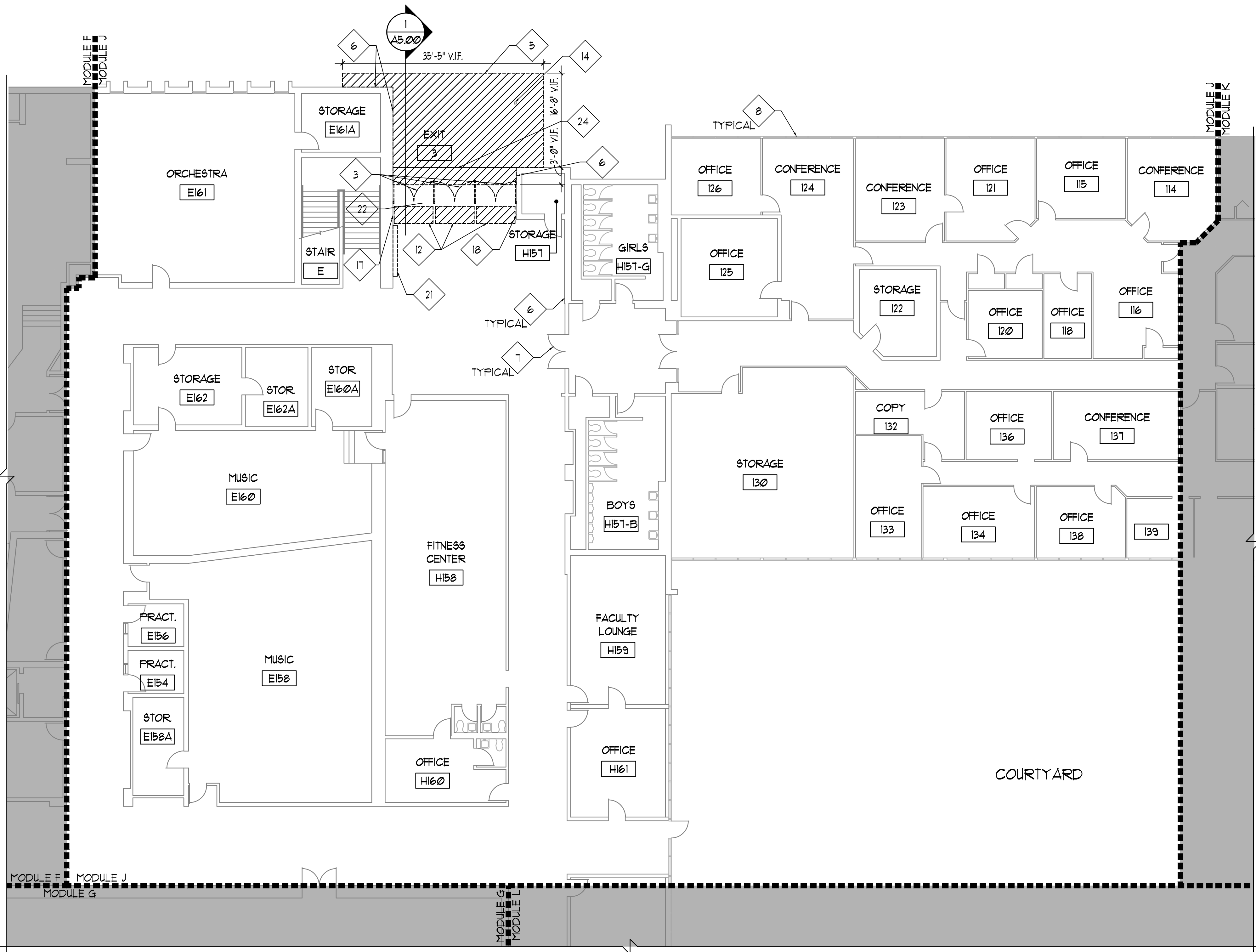


PROJECT NUMBER: 20-04	REVISED:
PROJECT MANAGER: HZ	
DRAWN BY: K7/ET	
ISSUED FOR BIDDING: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE H	

A0.10H

SET 1 OF 2





1 EXISTING FIRST FLOOR PLAN - MODULE J
3/32" = 1'-0"



LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- EXISTING CONCRETE WALKWAY/SLOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT RELOCATION NOTES

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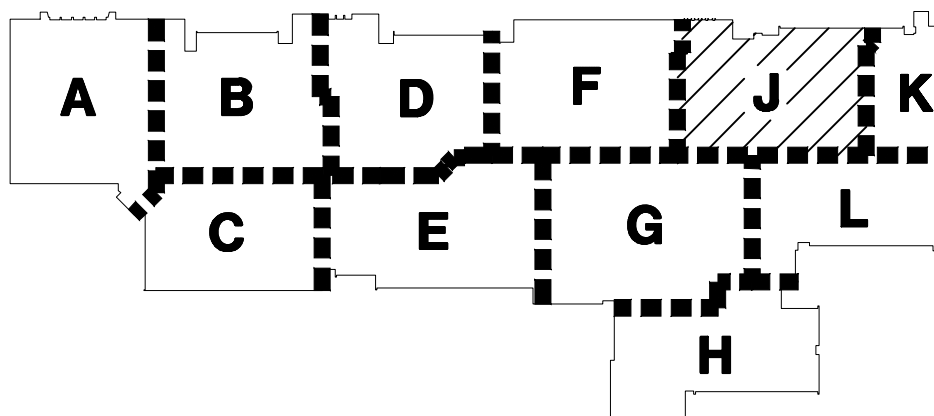
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KEYPLAN
NOT TO SCALE



EXPIRES 12/01/2021

DUNELAND SCHOOL CORPORATION

2020 DOOR RENOVATION AT:

CHESTERTON MIDDLE SCHOOL
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CHESTERTON, INDIANA 46304



PROJECT NUMBER: 20-04

PROJECT MANAGER: MS

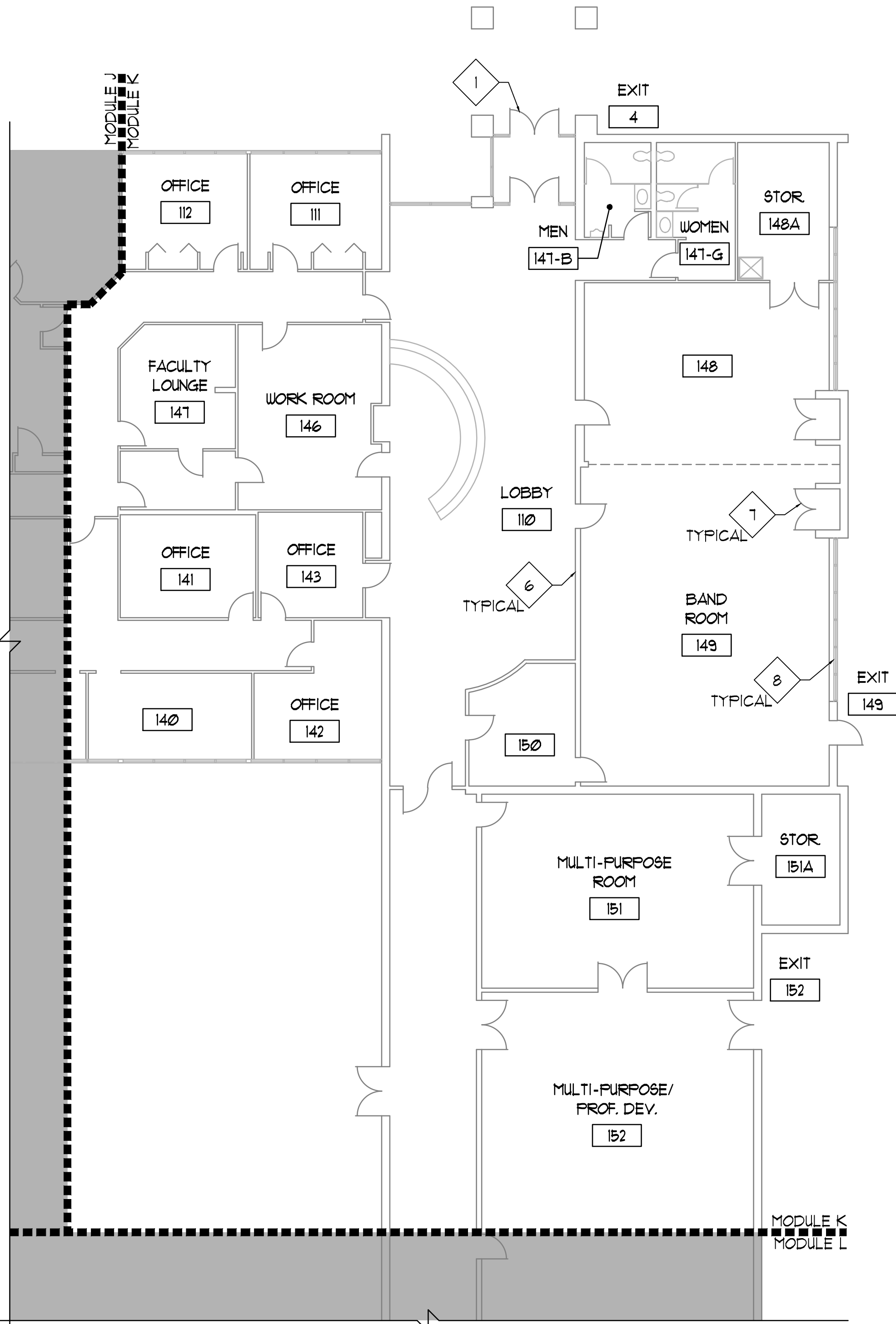
DRAWN BY: K7/ET

ISSUED FOR BIDDING: 01/05/2020

EXISTING FIRST FLOOR PLAN - MODULE J

A0.10J

SET 1 OF 2



1 EXISTING FIRST FLOOR PLAN - MODULE K
3/32" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
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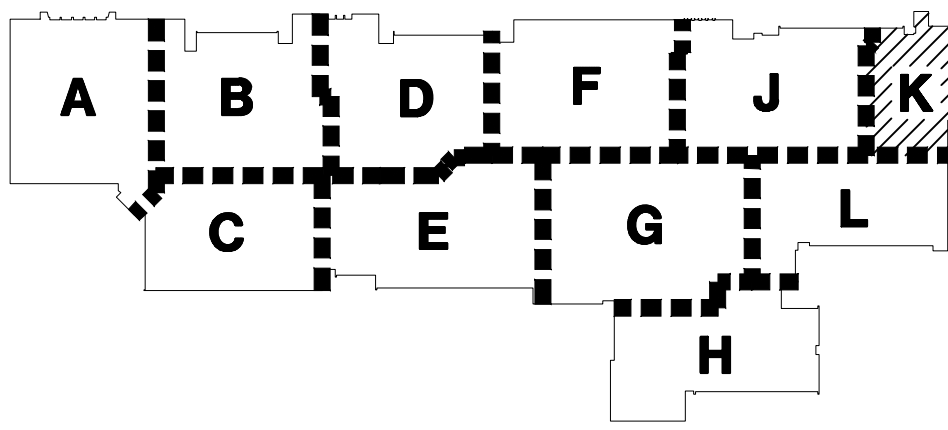
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- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
- ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE FLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

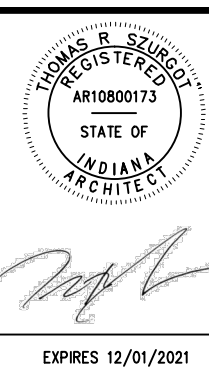
EXISTING PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

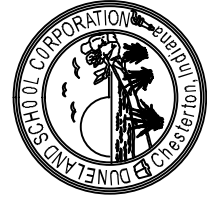
- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED.
- EXISTING DOOR, FRAME, HARDWARE AND ASSOCIATED EQUIPMENT TO BE REMOVED.
- EXISTING FRAME TO REMAIN. EXISTING DOORS, HARDWARE AND ALL SIDE-LITE GLASS TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.
- EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
- EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
- EXISTING MECHANICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING STEEL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING CONCRETE SLOOP AND DOOR EQUIPMENT TO BE REMOVED IN ITS ENTIRETY.
- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE MODIFIED AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO A2.00 AND A2.01.
- EXISTING LIGHT SWITCH TO BE REMOVED BY OWNER.
- EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED. DOOR MAGNETS TO BE SALVAGED AND REINSTALLED.
- EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.
- EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



KEYPLAN
NOT TO SCALE

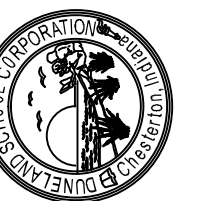


DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER:	20-04
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	01/05/2020
EXISTING FIRST FLOOR PLAN - MODULE K	

A0.10K



PROJECT NUMBER: 18-004	REVISED:
PROJECT MANAGER: HZ	
DRAWN BY: K7/ET	
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE L	

A0.10L

LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- EXISTING CONCRETE WALKWAY/SLOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT RELOCATION NOTES

- OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

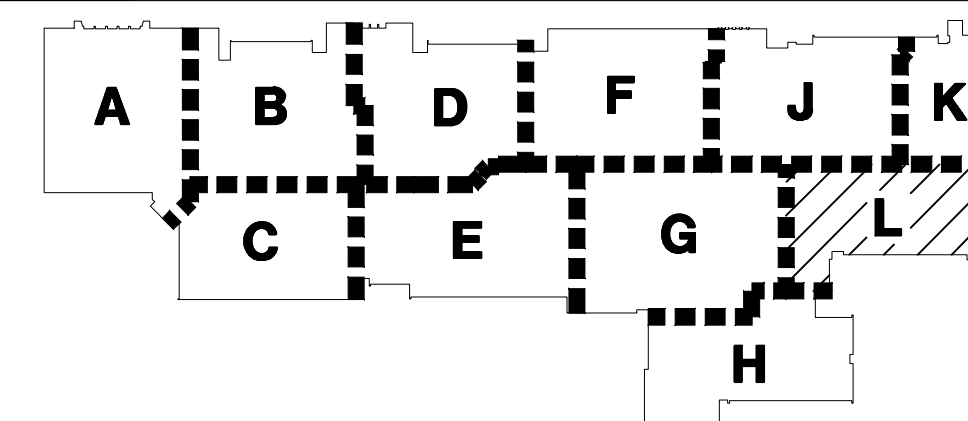
EXISTING PLAN GENERAL NOTES

- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL. CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL. CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING - MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
- ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE PLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

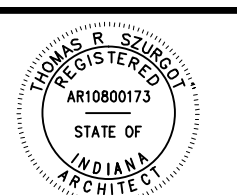
EXISTING PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

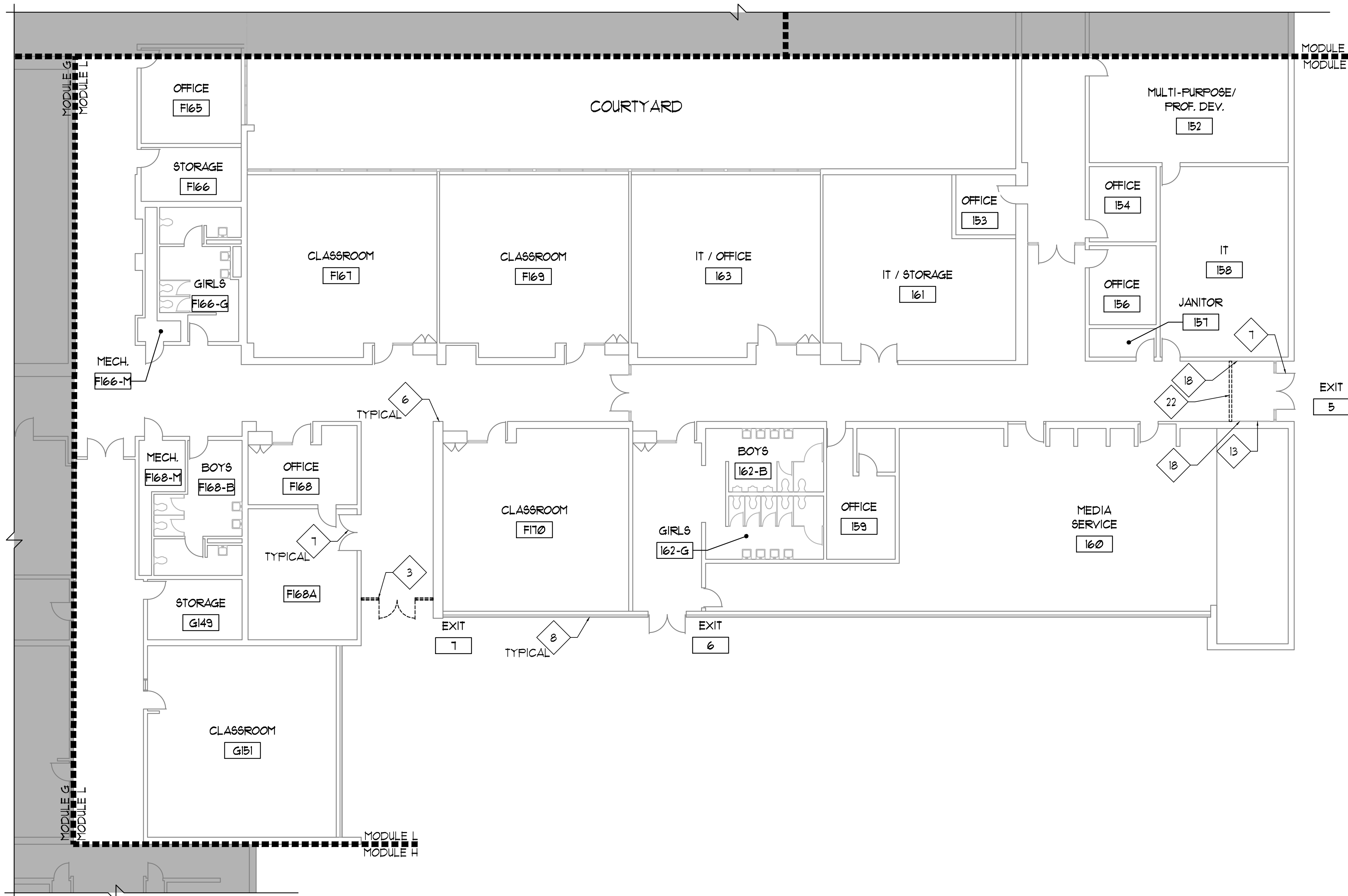
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- EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
- EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
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- EXISTING LIGHT SWITCH TO BE REMOVED BY OWNER.
- EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED. DOOR MAGNETS TO BE SALVAGED AND REINSTALLED.
- EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.
- EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.



KEYPLAN
NOT TO SCALE

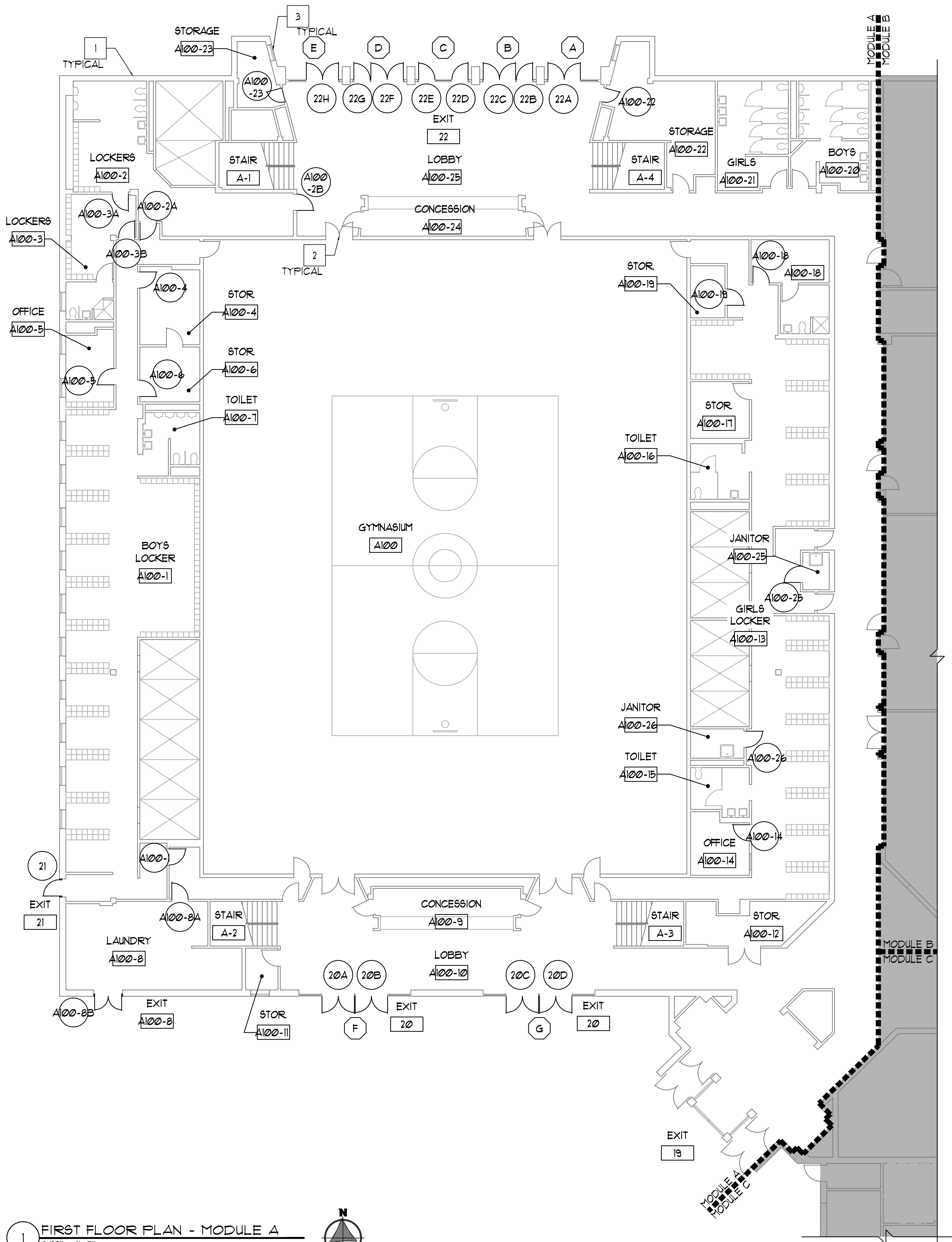


EXPIRES 12/01/2021



1 EXISTING FIRST FLOOR PLAN - MODULE L
3/32" = 1'-0"





FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

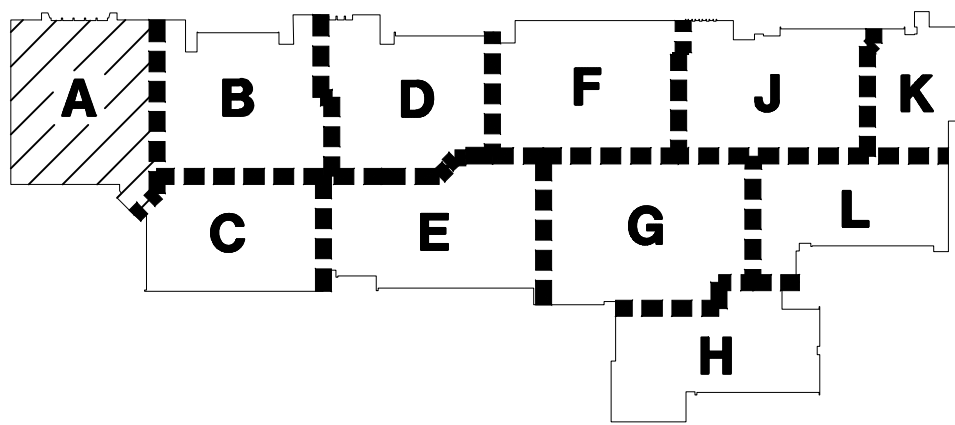
FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING WALL CONSTRUCTION.
2. EXISTING DOOR AND FRAME.
3. EXISTING FRAME AND GLAZING SYSTEM.
4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
13. PATCH AND REPAIR CEILING AT WORK INDICATED.
14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH



KEYPLAN
NOT TO SCALE



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



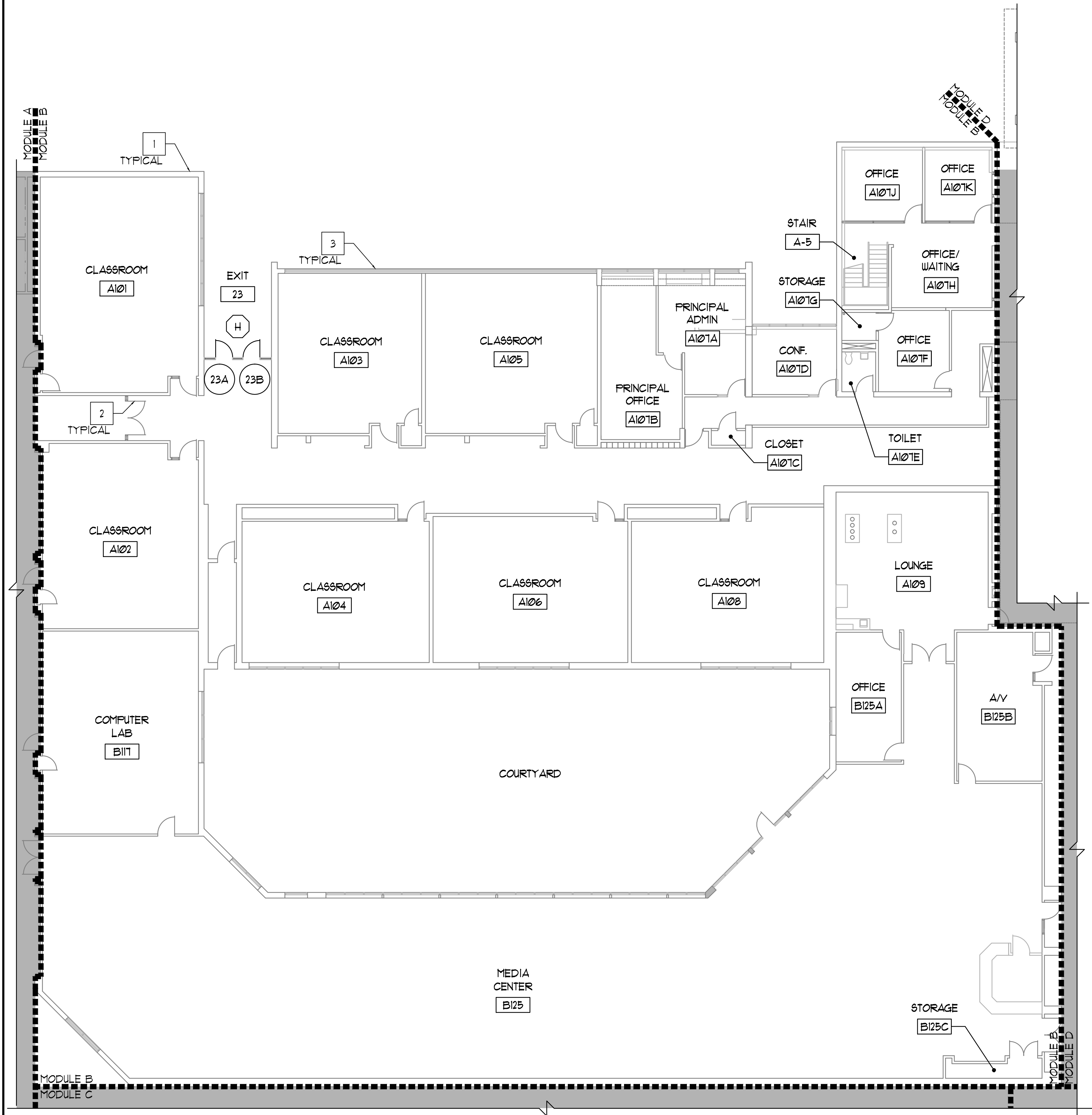
PROJECT NUMBER: 20-04	REVISIONS:
PROJECT MANAGER: MS	
DRAWN BY: KT/ET	
ISSUED FOR BIDDING: 07/05/2020	
FIRST FLOOR PLAN - MODULE A	



EXPIRES 12/01/2021

A1.10A

SET 1 OF 2



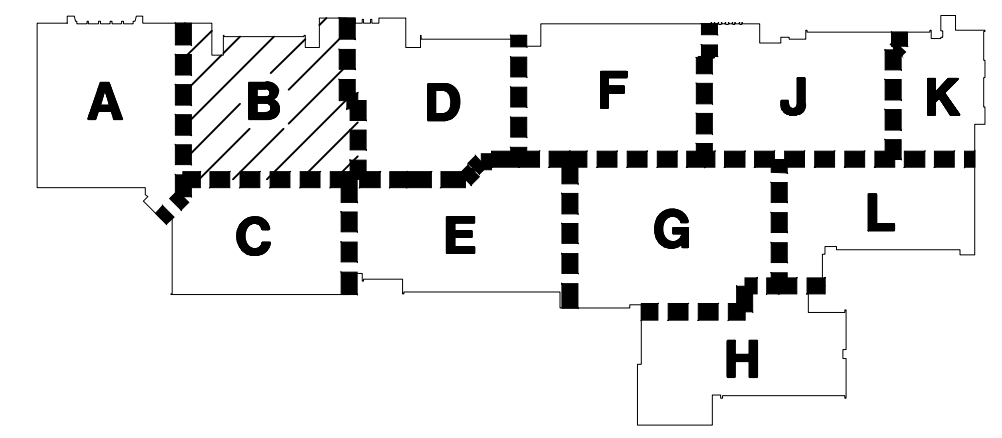
1 FIRST FLOOR PLAN - MODULE B
3/32" = 1'-0"

- ### FLOOR PLAN GENERAL NOTES
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
 2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
 3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
 4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
 5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
 6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
 7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
 8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

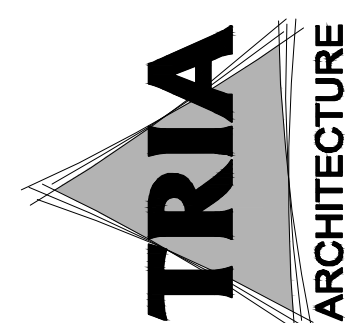
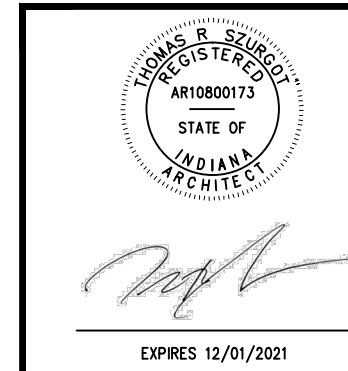
- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING WALL CONSTRUCTION.
 2. EXISTING DOOR AND FRAME.
 3. EXISTING FRAME AND GLAZING SYSTEM.
 4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
 5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
 6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
 7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
 8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
 10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
 11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
 13. PATCH AND REPAIR CEILING AT WORK INDICATED.
 14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
 15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

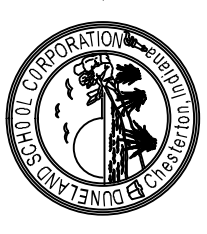
	EXISTING CONSTRUCTION
	HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
	CONCRETE SLAB
	GRADE AND MULCH



KEYPLAN
NOT TO SCALE

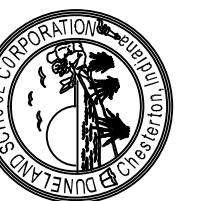


DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER: 18-044	REVISIONS:
PROJECT MANAGER: HZ	1
DRAWN BY: K7/ET	2
ISSUED FOR BID: 07/05/2020	3
FIRST FLOOR PLAN - MODULE B	

A1.10B
SET 1 OF 2



PROJECT NUMBER:	20-04
PROJECT MANAGER:	KS
DRAWN BY:	K7/ET
ISSUED FOR BIDDING:	07/05/2020
FIRST FLOOR PLAN - MODULE C	

FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

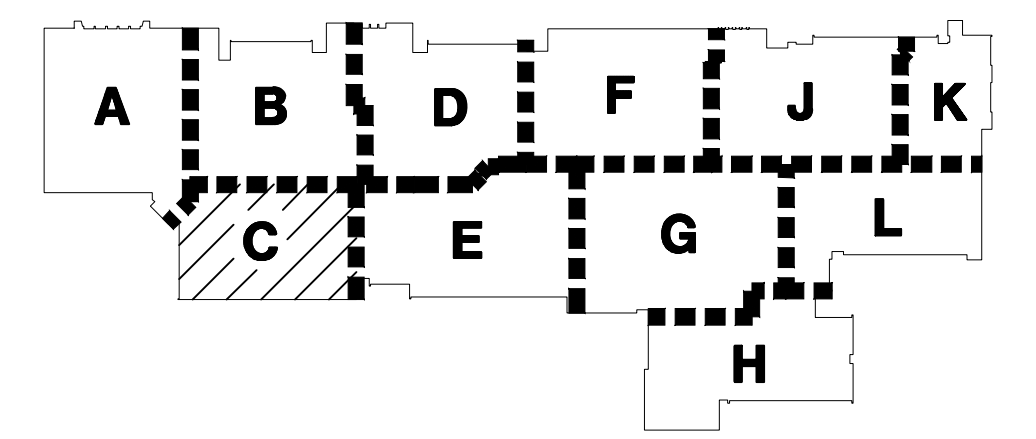
FLOOR PLAN REFERENCED NOTES

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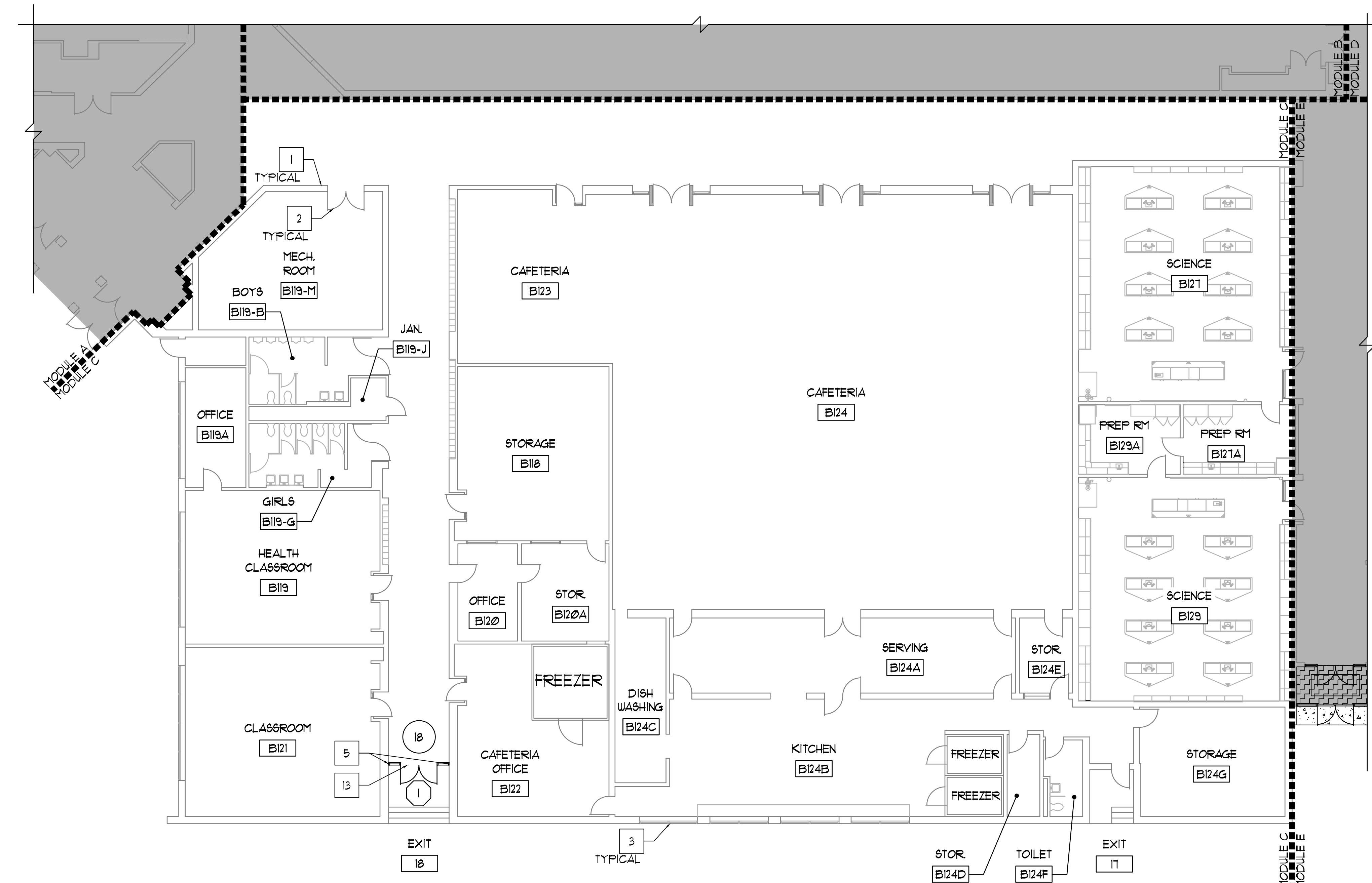
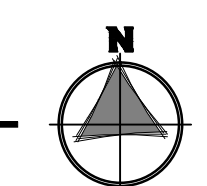
1. EXISTING WALL CONSTRUCTION.
2. EXISTING DOOR AND FRAME.
3. EXISTING FRAME AND GLAZING SYSTEM.
4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
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9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
13. PATCH AND REPAIR CEILING AT WORK INDICATED.
14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

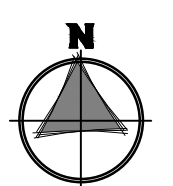
- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH

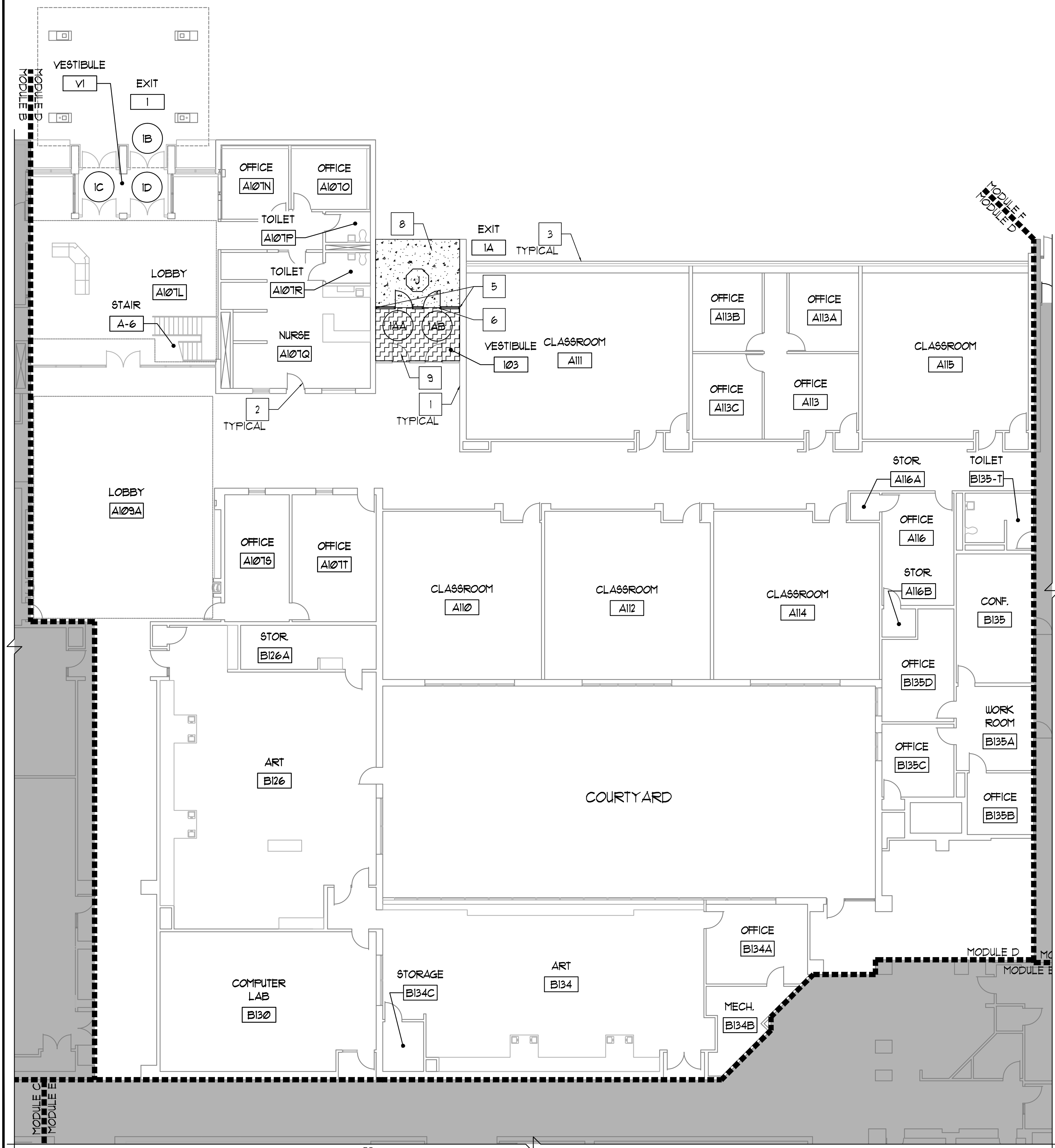


KEYPLAN
NOT TO SCALE



1 FIRST FLOOR PLAN - MODULE C
3/32" = 1'-0"





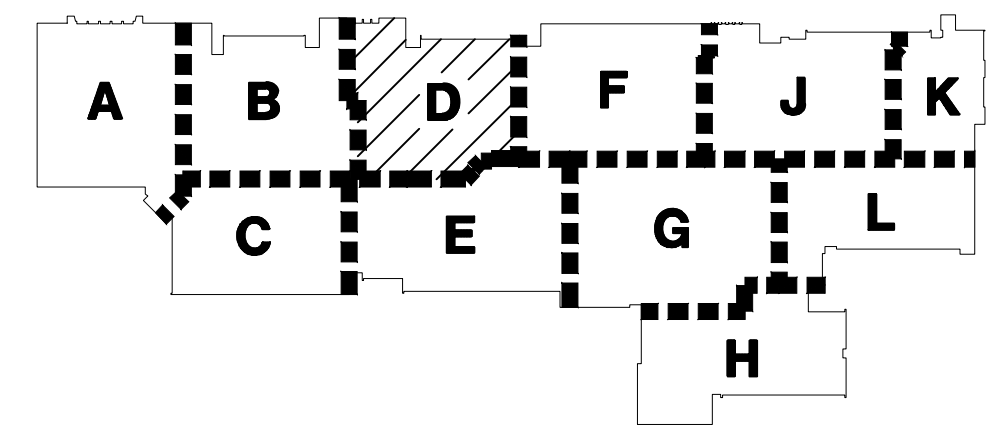
1 FIRST FLOOR PLAN - MODULE D
3/32" = 1'-0"

- ### FLOOR PLAN GENERAL NOTES
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
 2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
 3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
 4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
 5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
 6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
 7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
 8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

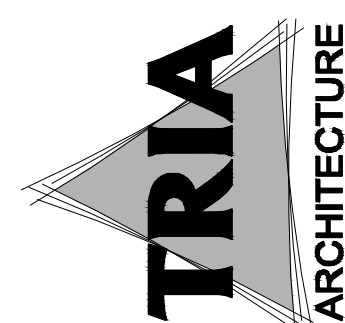
- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING WALL CONSTRUCTION.
 2. EXISTING DOOR AND FRAME.
 3. EXISTING FRAME AND GLAZING SYSTEM.
 4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
 5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
 6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
 7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
 8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
 10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
 11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
 13. PATCH AND REPAIR CEILING AT WORK INDICATED.
 14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
 15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

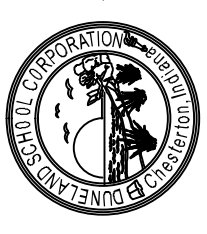
	EXISTING CONSTRUCTION
	HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
	CONCRETE SLAB
	GRADE AND MULCH



KEYPLAN
NOT TO SCALE

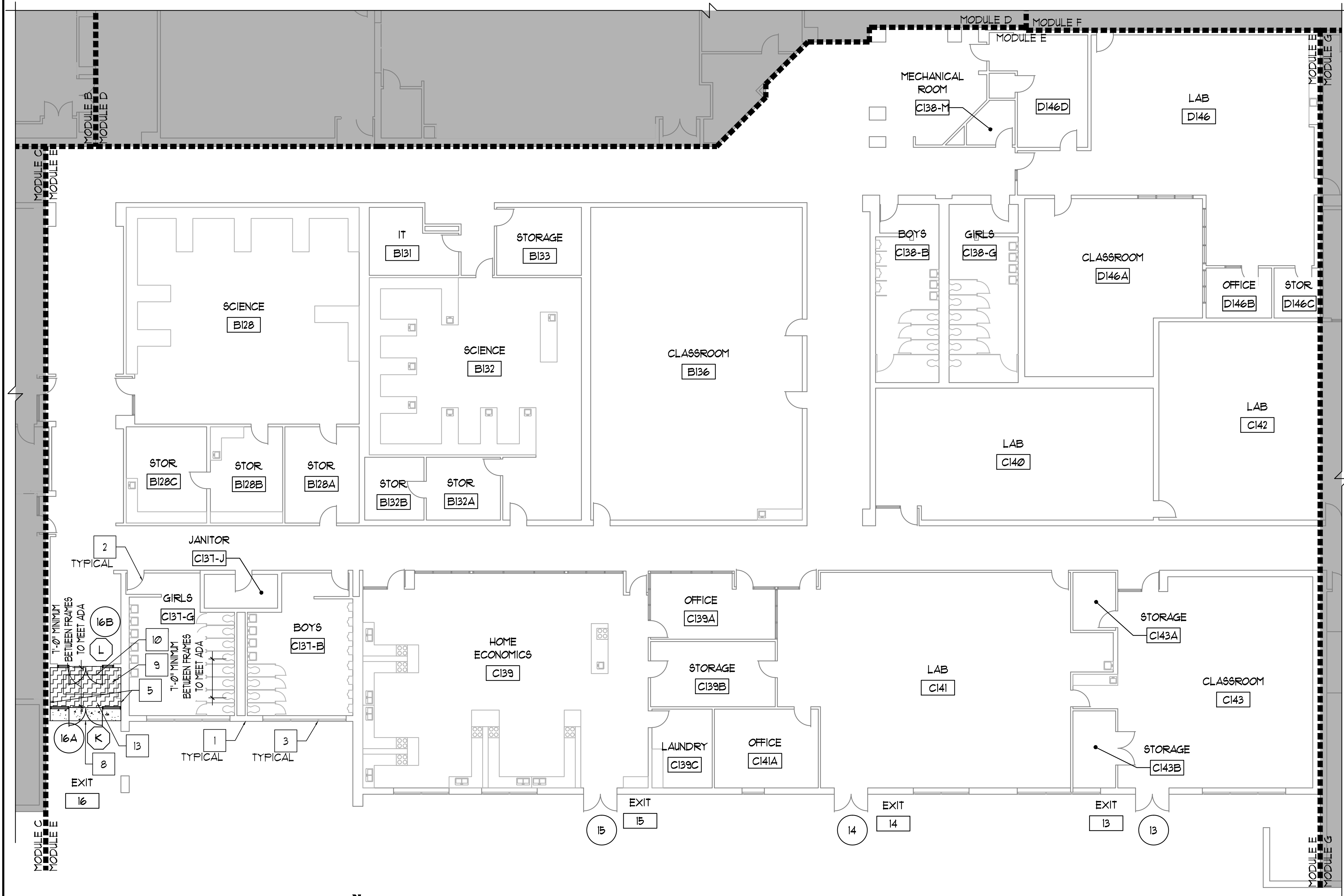


DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER:	18-044
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	07/05/2020
FIRST FLOOR PLAN - MODULE D	

A1.10D
SET 1 OF 2



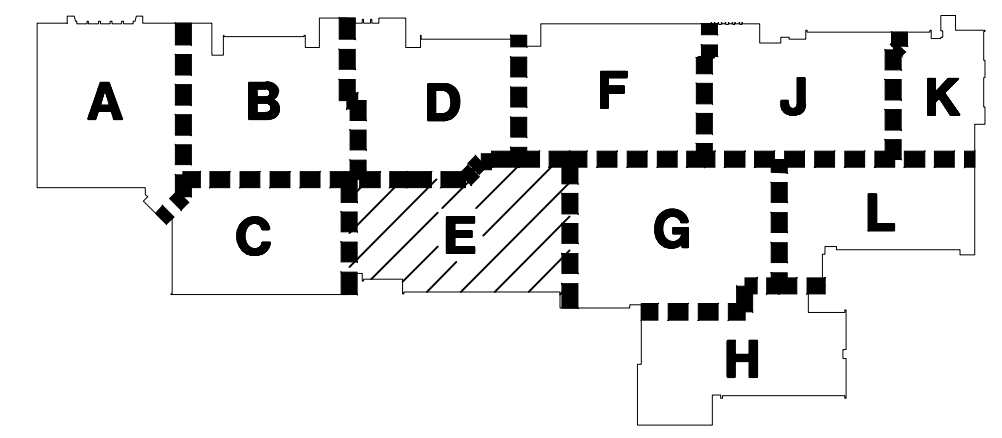
1 FIRST FLOOR PLAN - MODULE E
3/32" = 1'-0"

- ### FLOOR PLAN GENERAL NOTES
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
 2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
 3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
 4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
 5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
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 7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
 8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

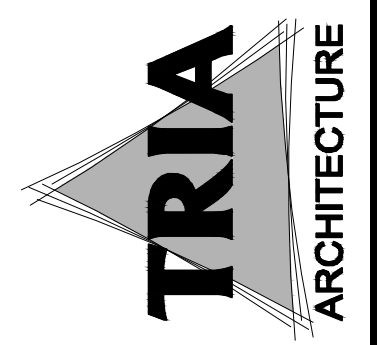
- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING WALL CONSTRUCTION.
 2. EXISTING DOOR AND FRAME.
 3. EXISTING FRAME AND GLAZING SYSTEM.
 4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
 5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
 6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
 7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
 8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
 10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
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 12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
 13. PATCH AND REPAIR CEILING AT WORK INDICATED
 14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER
 15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

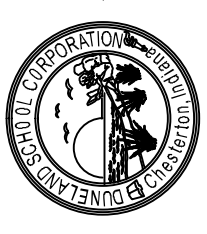
	EXISTING CONSTRUCTION
	HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
	CONCRETE SLAB
	GRADE AND MULCH



KEYPLAN
NOT TO SCALE



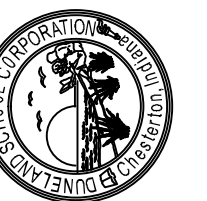
DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER:	18-044
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	07/05/2020
FIRST FLOOR PLAN - MODULE E	

INDIANA PROFESSIONAL ARCHITECT
ART0000173
STATE OF INDIANA
ARCHITECT

EXPIRES 12/01/2021



PROJECT NO:	18-044
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	07/05/2020
FIRST FLOOR PLAN - MODULE F	

A1.10F

SET 1 OF 2

FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
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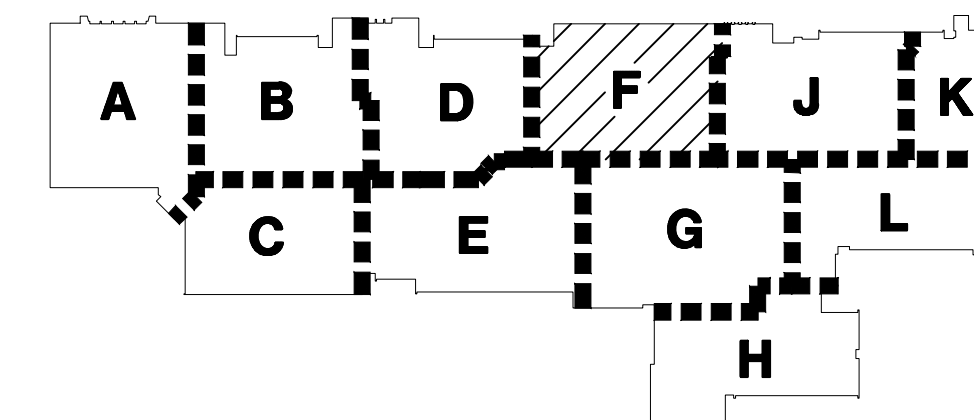
FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

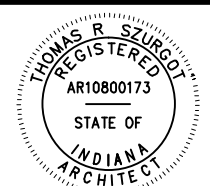
1. EXISTING WALL CONSTRUCTION.
2. EXISTING DOOR AND FRAME.
3. EXISTING FRAME AND GLAZING SYSTEM.
4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
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LEGEND

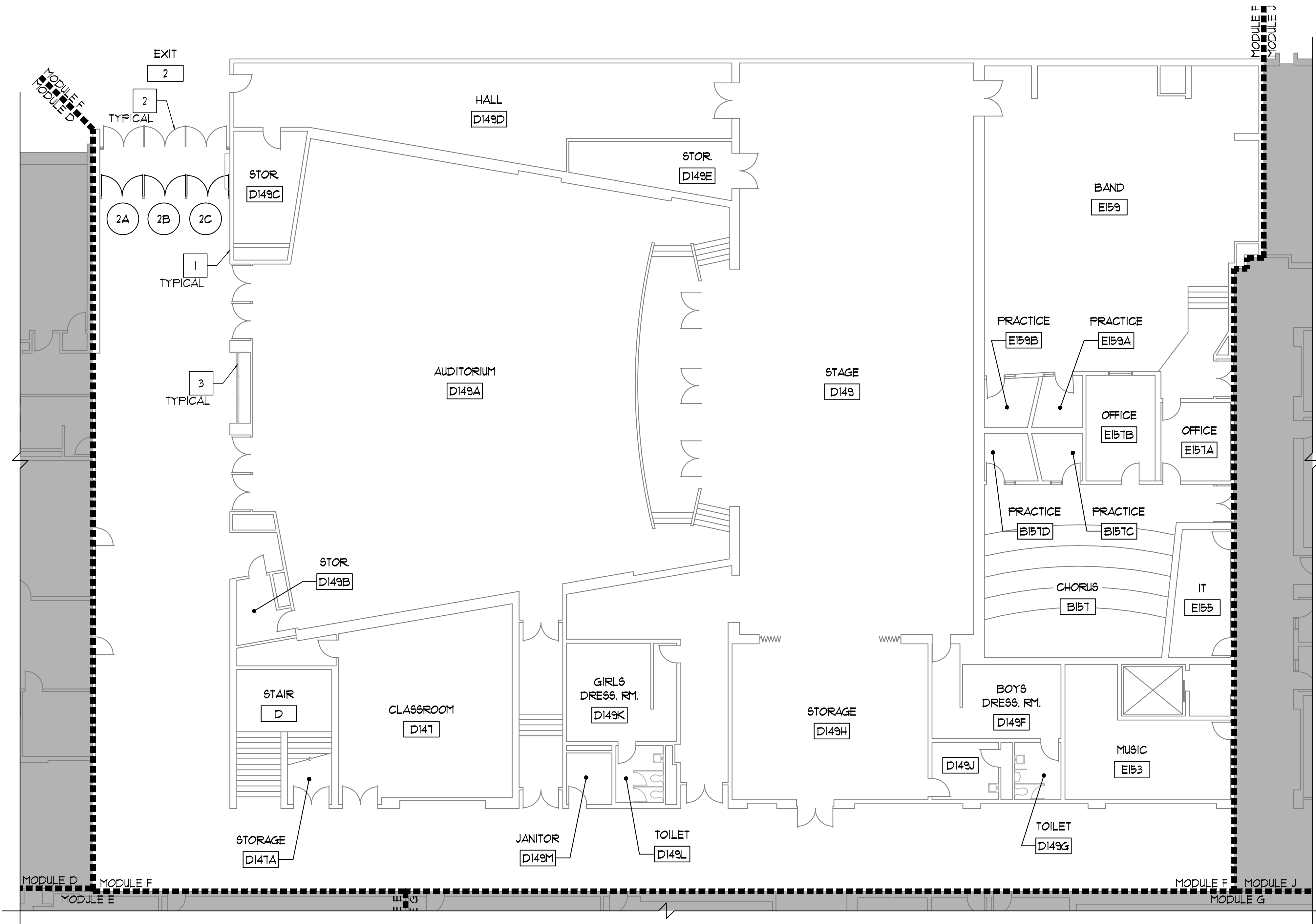
- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH



KEYPLAN
NOT TO SCALE

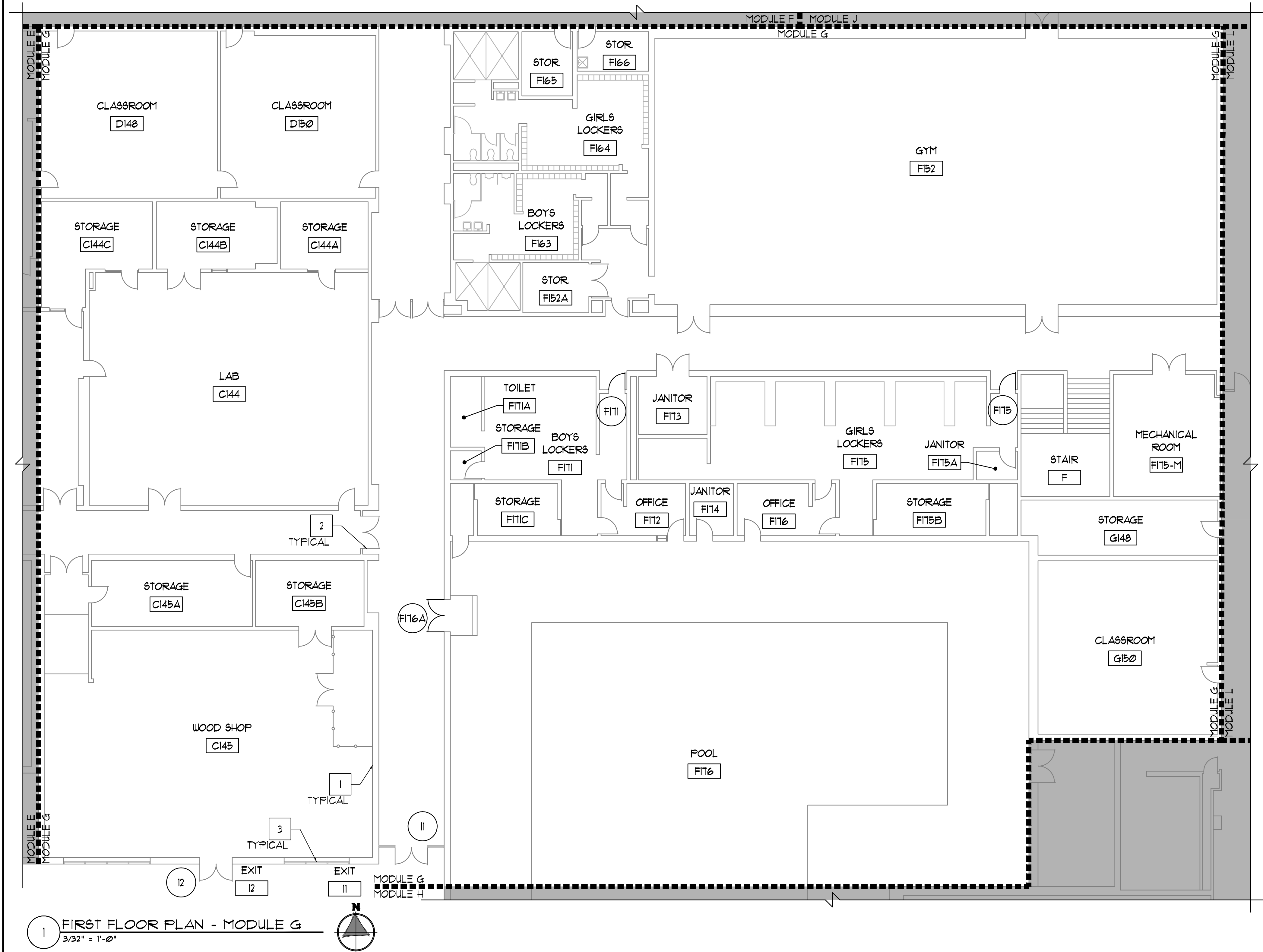


EXPIRES 12/01/2021



1 FIRST FLOOR PLAN - MODULE F
3/32" = 1'-0"





1 FIRST FLOOR PLAN - MODULE G
3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
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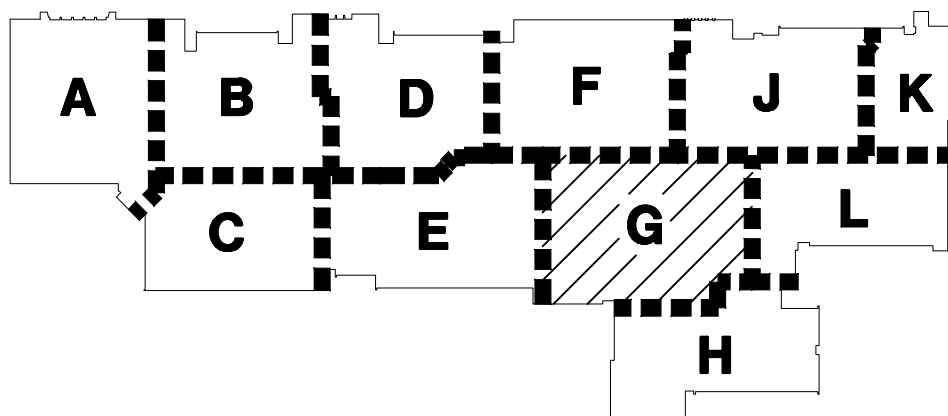
FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING WALL CONSTRUCTION.
2. EXISTING DOOR AND FRAME.
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15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH



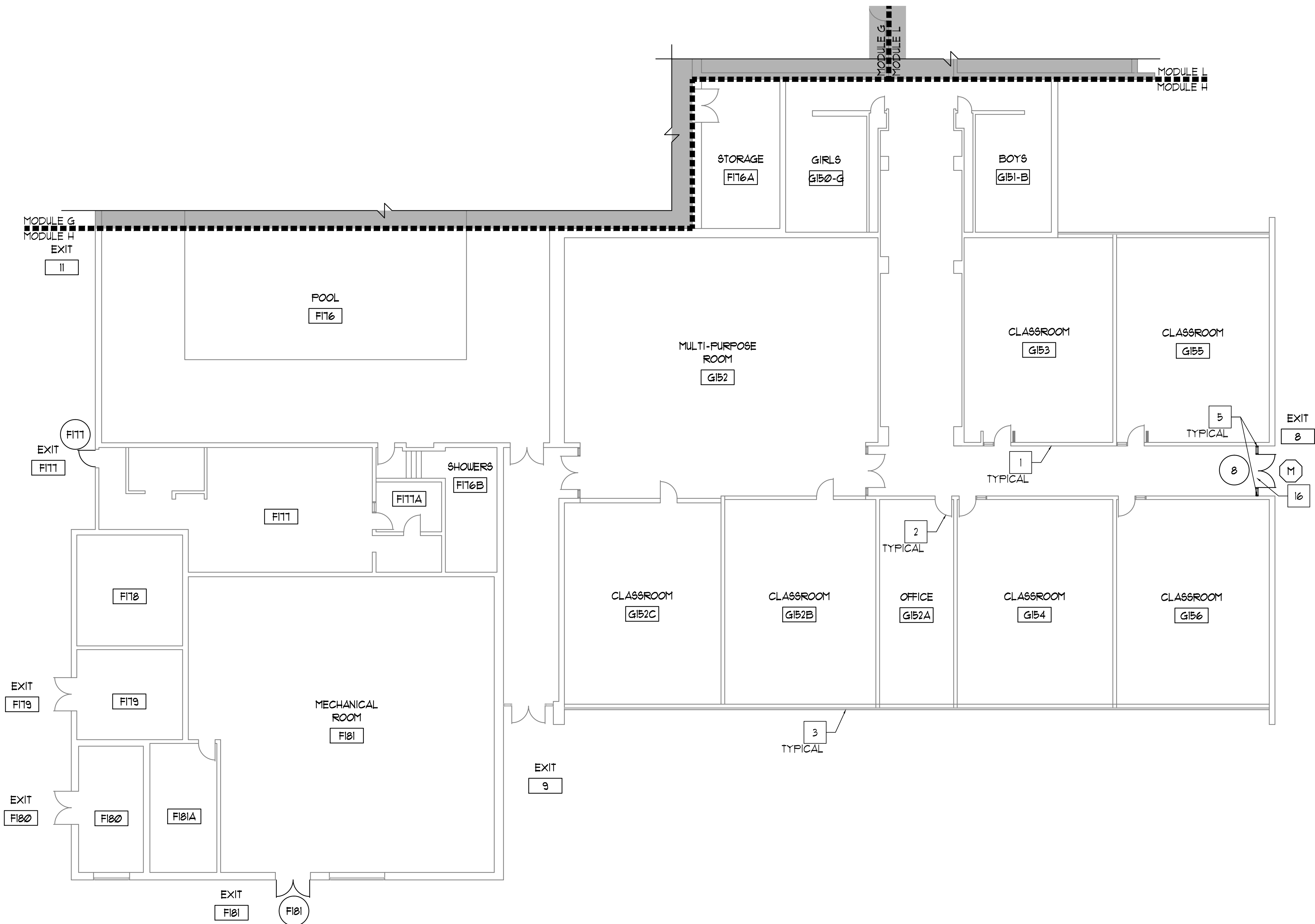
KEYPLAN
NOT TO SCALE



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

PROJECT NUMBER:	18-044
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	01/05/2020
FIRST FLOOR PLAN - MODULE G	

A1.10G

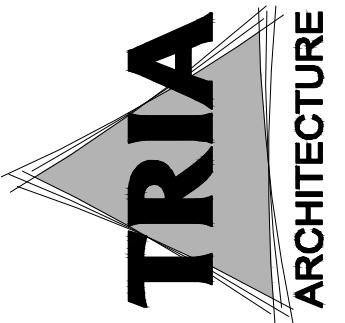
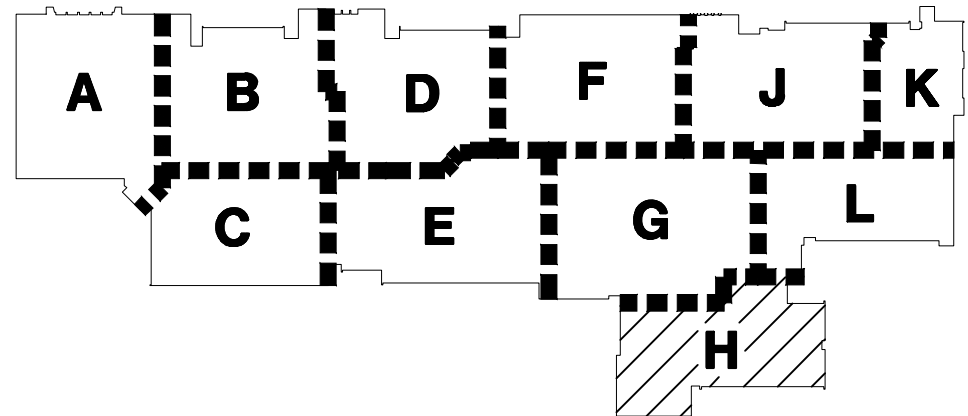


- ### FLOOR PLAN GENERAL NOTES
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- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
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LEGEND

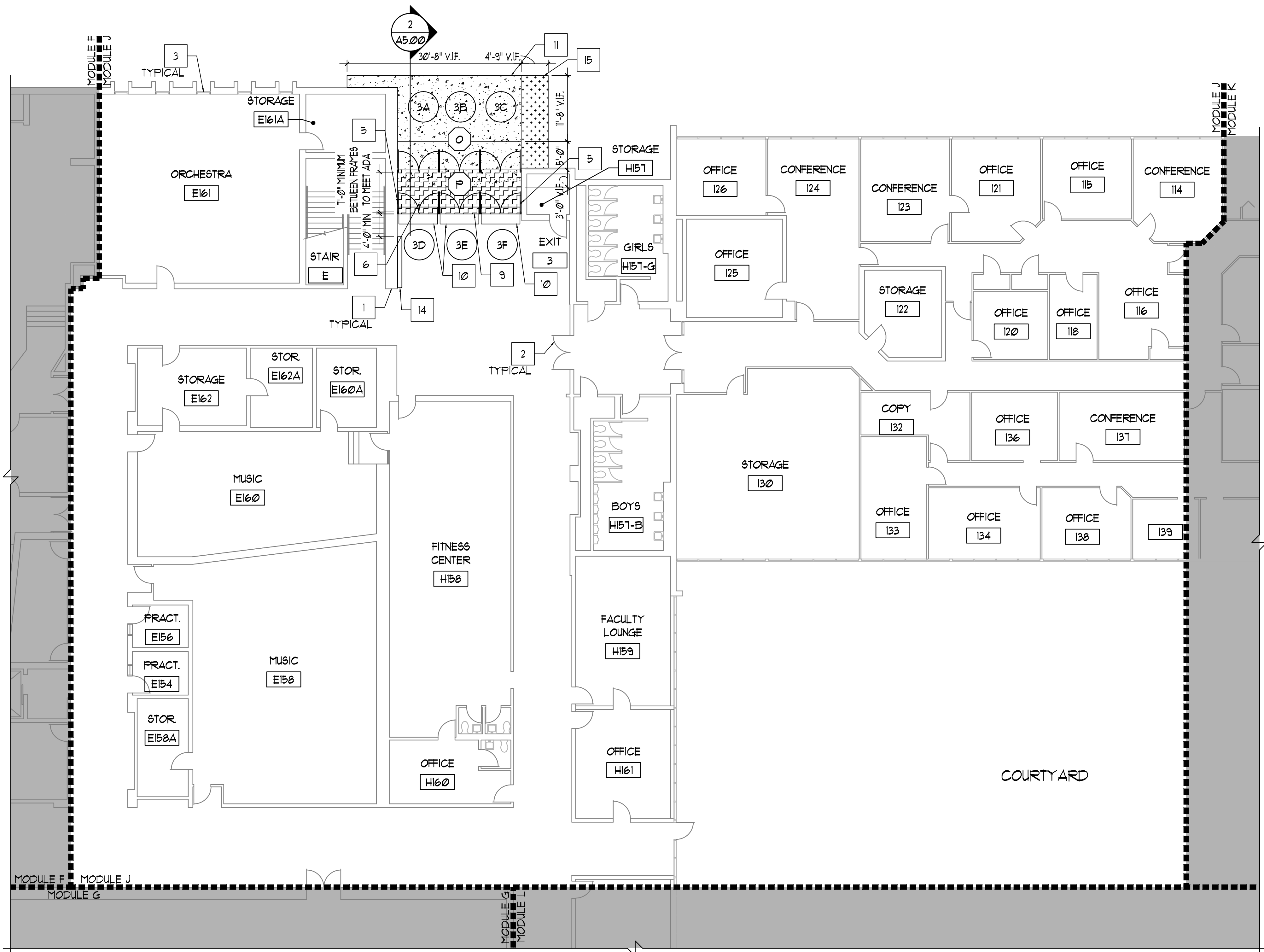
	EXISTING CONSTRUCTION
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	CONCRETE SLAB
	GRADE AND MULCH



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

PROJECT NUMBER: 18-044	REVISIONS:
PROJECT MANAGER: MS	1
DRAWN BY: K7/ET	2
ISSUED FOR BIDDING: 07/05/2020	3
FIRST FLOOR PLAN - MODULE H	

A1.10H
SET 1 OF 2



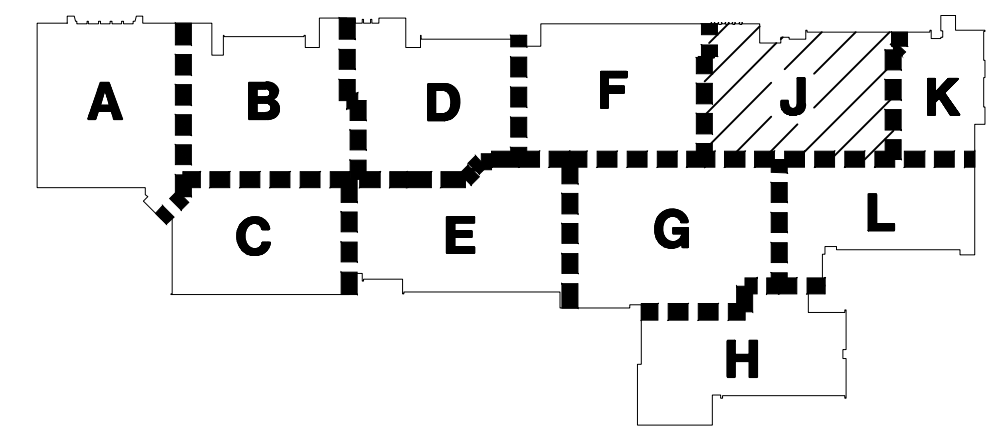
1 FIRST FLOOR PLAN - MODULE J
3/32" = 1'-0"

- ### FLOOR PLAN GENERAL NOTES
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 5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
 6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
 7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
 8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

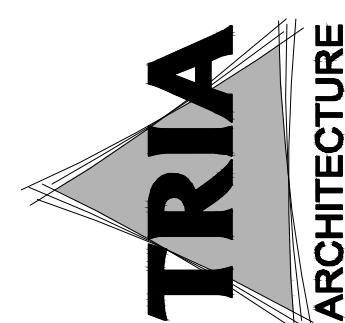
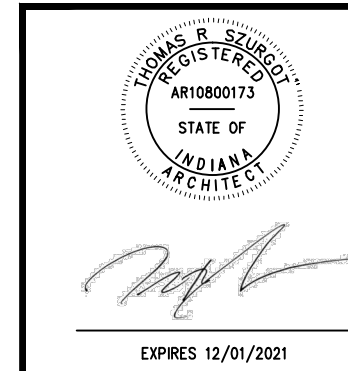
- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING WALL CONSTRUCTION.
 2. EXISTING DOOR AND FRAME.
 3. EXISTING FRAME AND GLAZING SYSTEM.
 4. 5" CONCRETE SLAB/SLOOP OVER COMPACTED GRANULAR FILL.
 5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
 6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
 7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
 8. CONCRETE SIDEWALK/SLOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
 10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
 11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
 12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
 13. PATCH AND REPAIR CEILING AT WORK INDICATED
 14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER
 15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH



KEYPLAN
NOT TO SCALE

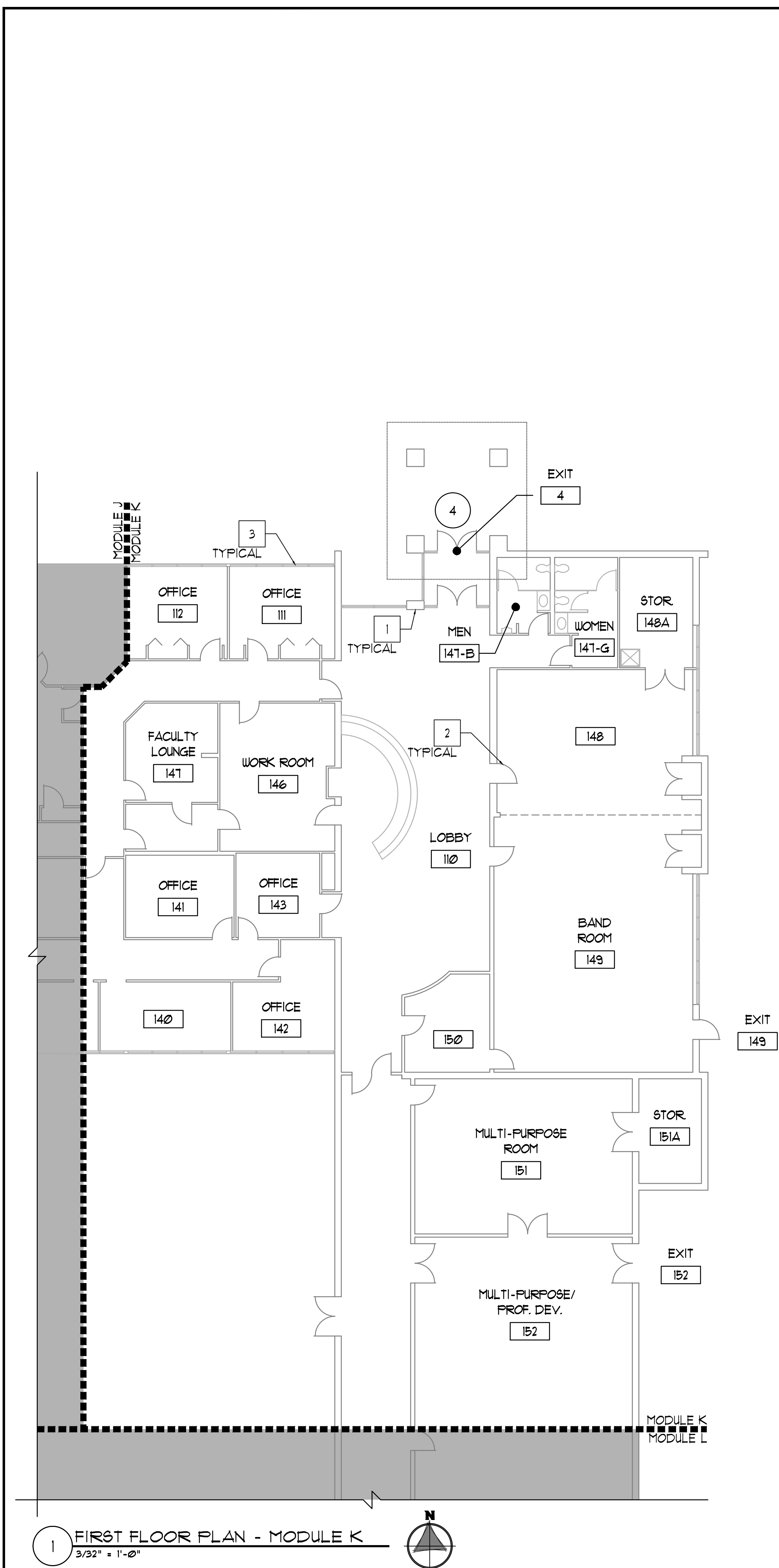


DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER:	18-044
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	01/05/2020
FIRST FLOOR PLAN - MODULE J	

A1.10J
SET 1 OF 2



FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

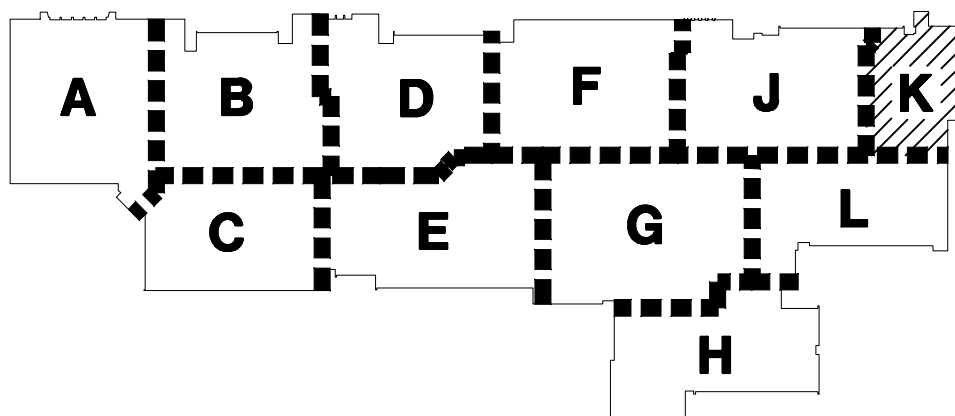
FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING WALL CONSTRUCTION.
2. EXISTING DOOR AND FRAME.
3. EXISTING FRAME AND GLAZING SYSTEM.
4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
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13. PATCH AND REPAIR CEILING AT WORK INDICATED.
14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH



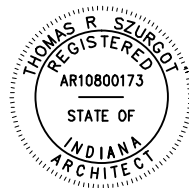
KEYPLAN
NOT TO SCALE



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER: 20-04
PROJECT MANAGER: MS
DRAWN BY: KJ/ET
ISSUED FOR BIDDING: 01/05/2020
FIRST FLOOR PLAN - MODULE K



EXPIRES 12/01/2021

A1.10K

SET 1 OF 2



PROJECT NUMBER:	20-04
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BIDDING:	01/05/2020
FIRST FLOOR PLAN - MODULE L	

A1.10L

SET 1 OF 2

FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
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8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

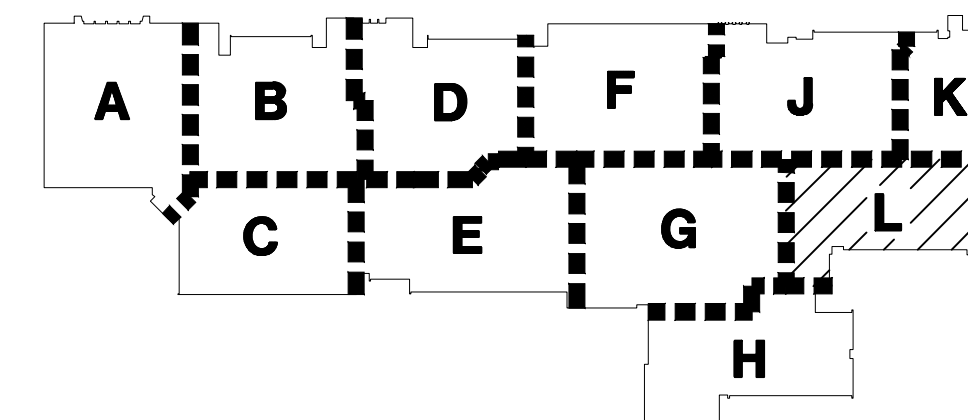
FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

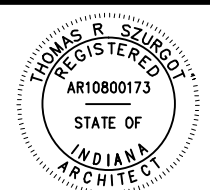
1. EXISTING WALL CONSTRUCTION.
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3. EXISTING FRAME AND GLAZING SYSTEM.
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14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

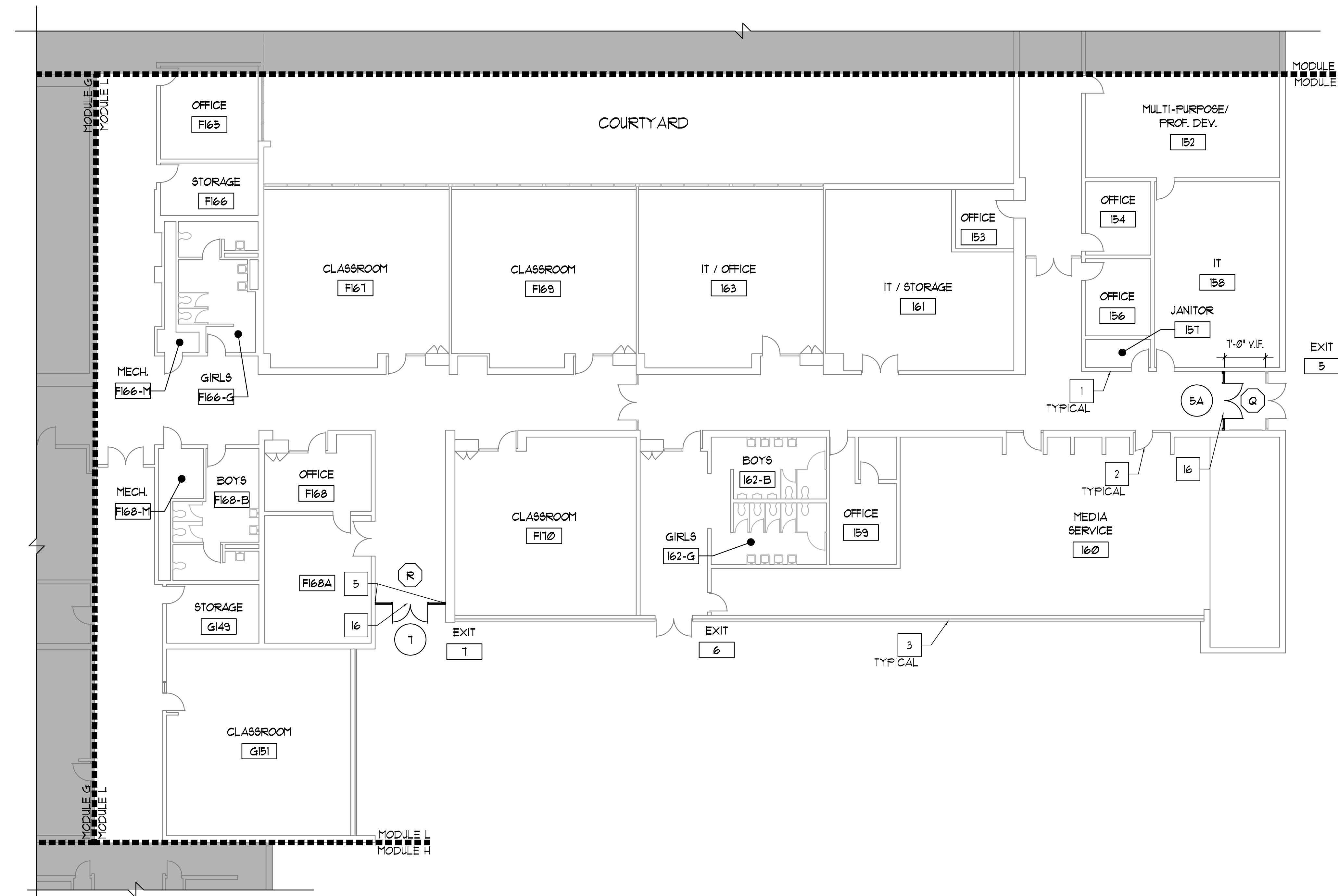
- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH



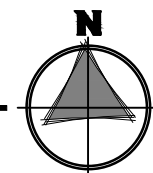
KEYPLAN
NOT TO SCALE



EXPIRES 12/01/2021



1 FIRST FLOOR PLAN - MODULE L
3/32" = 1'-0"



DOOR AND FRAME SCHEDULE

OFN'G NO.	DOOR						FRAME						FRAME DETAILS				COMMENTS
	SIZE		TYPE	MAT'L	HDWR SET	PROT. RATING HOURS	SIZE		TYPE	MAT'L	PROT. RATING HOURS	REF. NOTES	HEAD	JAMB	JAMB	SILL	ROOM TYPE
	WIDTH	HEIGHT					WIDTH	HEIGHT									
FIRST FLOOR - EXTERIOR																	
20A	PAIR (3'-0")	7'-0"	A	AL	02	-	EX	EX	F	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
20B	PAIR (3'-0")	7'-0"	A	AL	02	-	EX	EX	F	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
20C	PAIR (3'-0")	7'-0"	A	AL	02	-	EX	EX	G	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
20D	PAIR (3'-0")	7'-0"	A	AL	04	-	EX	EX	G	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
A100-8B	PAIR (3'-0")	7'-0"	B	FRP	14	-	6'-4"	7'-2"	A	AL	-	5, 10	1/A2.10 SIM.	4/A2.10	4/A2.10	7/A2.10	EXTERIOR DOOR
21	3'-0"	7'-0"	B	FRP	12	-	EX	EX	EX	EX	-	8	-	-	-	-	EXTERIOR DOOR
22A	PAIR (3'-0")	7'-0"	A	AL	02	-	EX	EX	A	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22B	3'-0"	7'-0"	A	AL	26	-	EX	EX	B	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22C	PAIR (3'-0")	7'-0"	A	AL	01	-	EX	EX	B	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22D	3'-0"	7'-0"	A	AL	26	-	EX	EX	C	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22E	3'-0"	7'-0"	A	AL	26	-	EX	EX	C	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22F	PAIR (3'-0")	7'-0"	A	AL	01	-	EX	EX	D	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22G	3'-0"	7'-0"	A	AL	26	-	EX	EX	D	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
22H	PAIR (3'-0")	7'-0"	A	AL	06	-	EX	EX	E	EX	-	1, 7, 8	-	-	-	-	EXTERIOR DOOR
FIRST FLOOR - INTERIOR																	
A100-1	3'-0"	7'-2"	B	WD	24	-	EX	EX	EX	EX	-	8	-	-	-	-	BOY'S LOCKER RM
A100-2A	3'-0"	7'-0"	C	WD	24	-	EX	EX	EX	EX	-	8, 9	-	-	-	-	BOYS LOCKER
A100-2B	3'-0"	7'-2"	B	WD	24	-	EX	EX	EX	EX	-	8	-	-	-	-	BOY'S LOCKER
A100-3A	3'-0"	6'-10"	B	WD	25	-	EX	EX	EX	EX	-	8	-	-	-	-	BOY'S LOCKER
A100-3B	3'-0"	6'-6"	B	WD	24	-	EX	EX	EX	EX	-	8	-	-	-	-	BOY'S LOCKER
A100-4	3'-0"	6'-6"	B	WD	17	-	EX	EX	EX	EX	-	8	-	-	-	-	STORAGE
A100-5	3'-0"	6'-6"	B	WD	17	-	EX	EX	EX	EX	-	8	-	-	-	-	OFFICE
A100-6	3'-0"	7'-0"	B	WD	18	-	EX	EX	EX	EX	-	8	-	-	-	-	STORAGE
A100-8A	3'-0"	7'-2"	B	WD	21	-	EX	EX	EX	EX	-	8	-	-	-	-	LAUNDRY
A100-14	3'-0"	7'-0"	B	WD	18	-	EX	EX	EX	EX	-	8	-	-	-	-	OFFICE
A100-18	3'-0"	6'-8"	B	WD	24	-	EX	EX	EX	EX	-	8	-	-	-	-	-
A100-19	3'-0"	7'-0"	B	WD	20	-	EX	EX	EX	EX	-	8	-	-	-	-	STORAGE
A100-22	2'-8"	6'-8"	B	WD	19	-	EX	EX	EX	EX	-	8	-	-	-	-	STORAGE
A100-23	2'-8"	6'-8"	B	WD	19	-	EX	EX	EX	EX	-	8	-	-	-	-	STORAGE
A100-25	3'-0"	7'-0"	B	WD	22	-	EX	EX	EX	EX	-	8	-	-	-	-	JANITOR
A100-26	3'-0"	7'-0"	B	WD	23	-	EX	EX	EX	EX	-	8	-	-	-	-	JANITOR

DOOR AND FRAME GENERAL NOTES

1. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL ROUGH OPENINGS IN FIELD.
2. REFER TO FRAME TYPES AND FRAME DETAILS FOR MORE INFORMATION.
3. REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.
4. GROUT JAMBS SOLID AT ALL HOLLOW METAL FRAMES INSTALLED IN MASONRY OPENINGS.
5. ALL EXPOSED ANCHORS ON HOLLOW METAL FRAMES ARE TO BE COUNTERSUNK INTO FRAMES, COVERED IN BONDO, SANDED SMOOTH, AND PAINTED TO MATCH FRAME.
6. VERIFY DIMENSIONS OF ALL DOORS AND FRAMES TO BE INSTALLED IN EXISTING WALL OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS.
7. HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.
8. DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
9. DOOR OPERATING FORCE SHALL NOT EXCEED: EXTERIOR HINGED DOORS: 8.5 LB
INTERIOR HINGED DOORS: 5 LB
10. ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.
AT ALL OPENINGS SCHEDULED TO RECEIVE WORK - BOND AND PAINT ALL FRAMES (NEW AND EXISTING).
11. ALL EXISTING FIRE RATED OPENINGS ARE TO BE MAINTAINED.

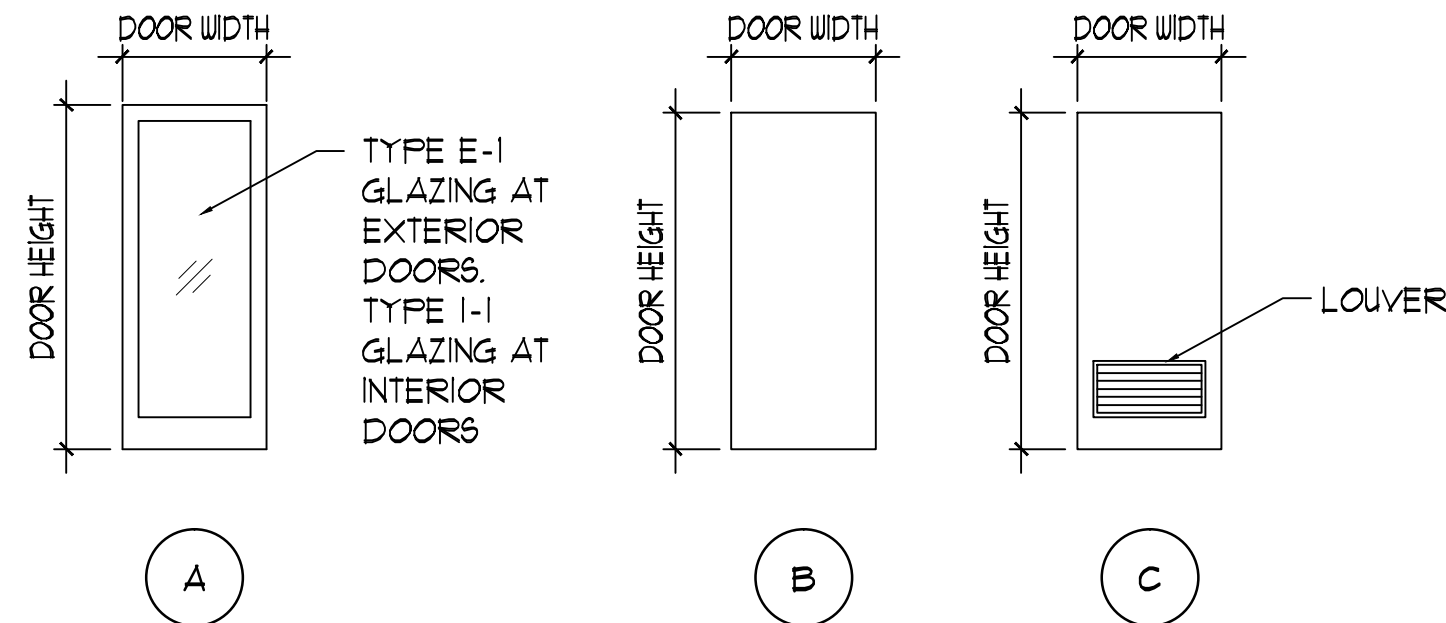
DOOR AND FRAME ABBREVIATIONS

ALUM	ALUMINUM	SIM	SIMILAR
EX	EXISTING	SS	STAINLESS STEEL
FRP	FIBERGLASS REINFORCED	TYP	TYPICAL
	POLYESTER	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	WD	WOOD
ME	MATCH EXISTING		

DOOR AND FRAME REFERENCED NOTES

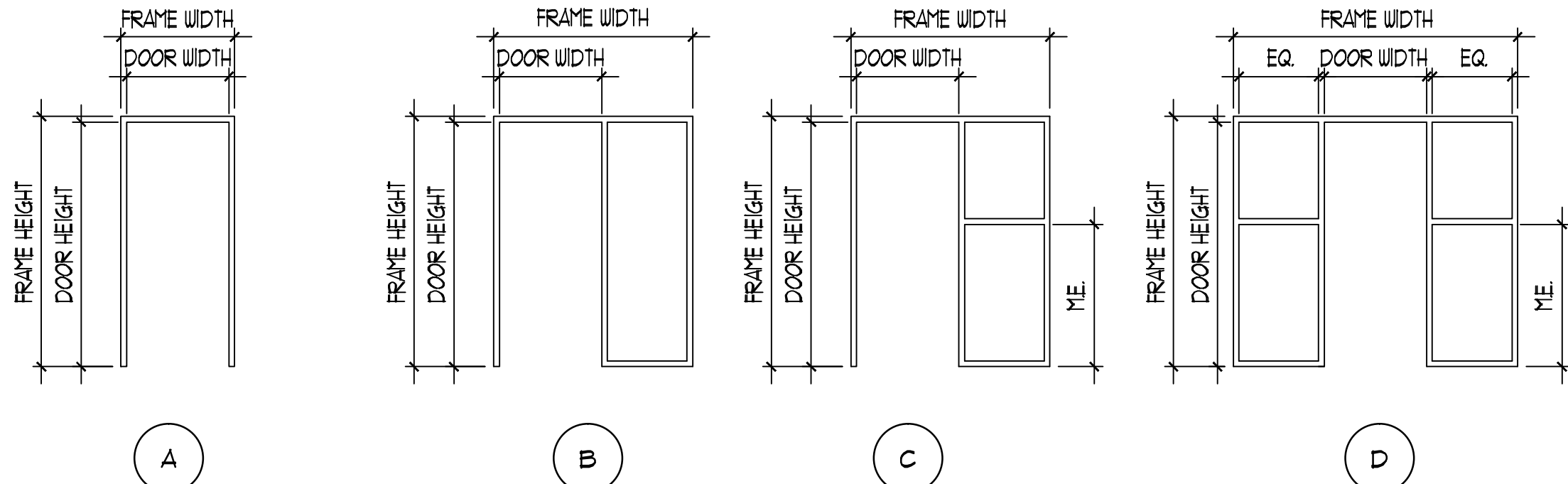
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. REFER TO ALUMINUM STOREFRONT TYPES FOR FRAME INFORMATION.
2. CREDENTIAL READER AND POWER SUPPLY TO BE INSTALLED BY OWNER - REFER TO SPECIFICATIONS - COORDINATE FRAME INSTALLATION WITH OWNER.
3. OWNER TO PROVIDE POWER, CONTRACTOR TO INSTALL ADA COMPLIANT PUSH BUTTON AND ASSOCIATED DOOR HARDWARE.
4. REINSTALL SALVAGED DOOR MAGNETS.
5. NEW DOOR AND FRAME IN EXISTING OPENING. VERIFY ALL DIMENSIONS IN FIELD.
6. PROVIDE AN ALUMINUM STOREFRONT SYSTEM AT OPENING.
7. PROVIDE NEW GLAZING IN EXISTING FRAME. VERIFY DIMENSIONS IN FIELD.
8. NEW DOOR AND HARDWARE IN AN EXISTING FRAME. VERIFY DIMENSIONS IN FIELD.
9. PROVIDE x'-x" METAL LOUVER IN DOOR. MATCH EXISTING.
10. REMOVE AND REPLACE STEEL LINTEL AT EXISTING OPENING.
11. NEW HARDWARE ON EXISTING DOOR AND FRAME.



DOOR TYPES

NOT TO SCALE



FRAME TYPES

NOT TO SCALE

DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304



PROJECT NUMBER: 18-004

PROJECT MANAGER: HN

DRAWN BY: GBT

ISSUED FOR BIDDING: 01/05/2020
DOOR AND FRAME SCHEDULES TYPES
AND NOTES

EXPIRES 12/01/2021

A2.00

SET 1 OF 2

DOOR AND FRAME SCHEDULE																		
OPN'G NO.	DOOR						FRAME						FRAME DETAILS				COMMENTS	
	SIZE		TYPE	MAT'L	HDWR SET	PROT. RATING HOURS	SIZE		TYPE	MAT'L	PROT. RATING HOURS	REF. NOTES	HEAD	JAMB	JAMB	SILL	ROOM TYPE	
	WIDTH	HEIGHT					WIDTH	HEIGHT										
MODULE E	FIRST FLOOR - EXTERIOR																	
	13	EX	EX	EX	EX	13	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	14	EX	EX	EX	EX	13	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	15	EX	EX	EX	EX	13	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	16A	PAIR (3'-0")	1'-0"	A	AL	05	-	-	-	K	AL	-	1,	-	-	-	-	EXTERIOR DOOR
16B	PAIR (3'-0")	1'-0"	A	AL	05	-	-	-	L	AL	-	1,	-	-	-	-	-	EXTERIOR DOOR
MODULE F	FIRST FLOOR - EXTERIOR																	
	2A	PAIR (3'-6")	1'-0"	A	AL	03	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	2B	PAIR (3'-6")	1'-0"	A	AL	06	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	2C	PAIR (3'-6")	1'-0"	A	AL	03	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
MODULE G	FIRST FLOOR - EXTERIOR																	
	11	EX	EX	EX	EX	01	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	12	EX	EX	EX	EX	21	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
	FIRST FLOOR - INTERIOR																	
	F11	3'-0"	1'-0"	C	AL	24	-	EX	EX	EX	EX	-	#	-	-	-	-	POOL
	F115	3'-0"	1'-0"	C	AL	24	-	EX	EX	EX	EX	-	#	-	-	-	-	BOY'S LOCKER RM
F116-A	PAIR (3'-0")	1'-0"	C	AL	16	-	EX	EX	EX	EX	-	#	-	-	-	-	GIRL'S LOCKER RM	
MODULE H	FIRST FLOOR - EXTERIOR																	
	8	PAIR (3'-0")	1'-0"	A	AL	05	-	-	-	M	AL	-	1,	-	-	-	-	EXTERIOR DOOR
	F111	3'-0"	1'-0"	A	FRP	10	-	3'-4"	1'-2"	A	AL	-	#	1/A2.10	4/A2.10	4/A2.10	1/A2.10	EXTERIOR DOOR
	F101	PAIR (3'-0")	8'-4"	A	FRP	15	-	6'-4"	8'-6"	A	AL	-	#	1/A2.10	4/A2.10	4/A2.10	1/A2.10	EXTERIOR DOOR
MODULE J	FIRST FLOOR - EXTERIOR																	
	3A	PAIR (3'-6")	1'-0"	A	AL	02	-	-	-	O	AL	-	1,	-	-	-	-	EXTERIOR DOOR
	3B	PAIR (3'-6")	1'-0"	A	AL	05	-	-	-	O	AL	-	1,	-	-	-	-	EXTERIOR DOOR
	3C	PAIR (3'-6")	1'-0"	A	AL	02	-	-	-	O	AL	-	1,	-	-	-	-	EXTERIOR DOOR
	FIRST FLOOR - INTERIOR																	
	3D	PAIR (3'-6")	1'-0"	A	AL	03	-	-	-	P	AL	-	1,	-	-	-	-	INTERIOR DOOR
	3E	PAIR (3'-6")	1'-0"	A	AL	03	-	-	-	P	AL	-	1,	-	-	-	-	INTERIOR DOOR
3F	PAIR (3'-6")	1'-0"	A	AL	03	-	-	-	P	AL	-	1,	-	-	-	-	INTERIOR DOOR	
MODULE K	FIRST FLOOR - EXTERIOR																	
	4	EX	EX	EX	EX	01	-	EX	EX	EX	EX	-	#	-	-	-	-	EXTERIOR DOOR
MODULE L	FIRST FLOOR - EXTERIOR																	
	5A	PAIR (3'-0")	1'-0"	A	AL	X	-	-	-	Q	AL	-	1,	-	-	-	-	EXTERIOR DOOR
	1	PAIR (3'-0")	1'-0"	A	AL	05	-	-	-	R	AL	-	1,	-	-	-	-	EXTERIOR DOOR

DOOR AND FRAME GENERAL NOTES																	
1.	CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL ROUGH OPENINGS IN FIELD.																
2.	REFER TO FRAME TYPES AND FRAME DETAILS FOR MORE INFORMATION.																
3.	REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.																
4.	GROUT JAMBS SOLID AT ALL HOLLOW METAL FRAMES INSTALLED IN MASONRY OPENINGS.																
5.	ALL EXPOSED ANCHORS ON HOLLOW METAL FRAMES ARE TO BE COUNTERSUNK INTO FRAMES, COVERED IN BONDO, SANDED SMOOTH, AND PAINTED TO MATCH FRAME.																
6.	VERIFY DIMENSIONS OF ALL DOORS AND FRAMES TO BE INSTALLED IN EXISTING WALL OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS.																
7.	HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.																
8.	DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.																
9.	DOOR OPERATING FORCE SHALL NOT EXCEED: EXTERIOR HINGED DOORS: 85 LB																
10.	INTERIOR HINGED DOORS: 5 LB																
11.	ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.																
12.	AT ALL OPENINGS SCHEDULED TO RECEIVE WORK - BOND AND PAINT ALL FRAMES (NEW AND EXISTING).																
13.	ALL EXISTING FIRE RATED OPENINGS ARE TO BE MAINTAINED.																

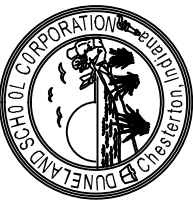
DOOR AND FRAME ABBREVIATIONS			
ALUM	ALUMINUM	SIM	SIMILAR
EX	EXISTING	SS	STAINLESS STEEL
FRP	FIBERGLASS REINFORCED	TYP	TYPICAL
	POLYESTER	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	WD	WOOD
ME	MATCH EXISTING		

DOOR AND FRAME REFERENCED NOTES	
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)	
1.	REFER TO ALUMINUM STOREFRONT TYPES FOR FRAME INFORMATION.
2.	CREDENTIAL READER AND POWER SUPPLY TO BE INSTALLED BY OWNER - REFER TO SPECIFICATIONS - COORDINATE FRAME INSTALLATION WITH OWNER.
3.	OWNER TO PROVIDE POWER, CONTRACTOR TO INSTALL ADA COMPLIANT PUSH BUTTON AND ASSOCIATED DOOR HARDWARE.
4.	REINSTALL SALVAGED DOOR MAGNETS.
5.	NEW DOOR AND FRAME IN EXISTING OPENING. VERIFY ALL DIMENSIONS IN FIELD.
6.	PROVIDE AN ALUMINUM STOREFRONT SYSTEM AT OPENING.
7.	PROVIDE NEW GLAZING IN EXISTING FRAME. VERIFY DIMENSIONS IN FIELD.
8.	NEW DOOR AND HARDWARE IN AN EXISTING FRAME. VERIFY DIMENSIONS IN FIELD.
9.	PROVIDE x'-x" METAL LOUVER IN DOOR. MATCH EXISTING.
10.	REMOVE AND REPLACE STEEL LINTEL AT EXISTING OPENING.
11.	NEW HARDWARE ON EXISTING DOOR AND FRAME.



DUNELAND SCHOOL CORPORATION
2020 DOOR RENOVATION AT:
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

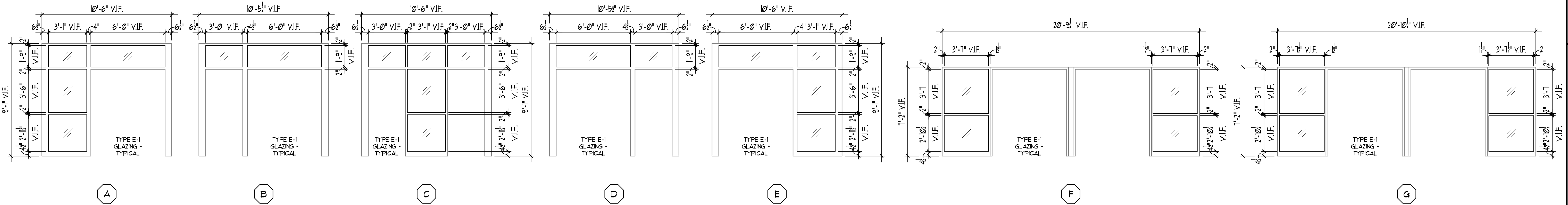
BALLY ELEMENTARY SCHOOL
800 S. 6TH STREET
CHESTERTON, INDIANA 46304



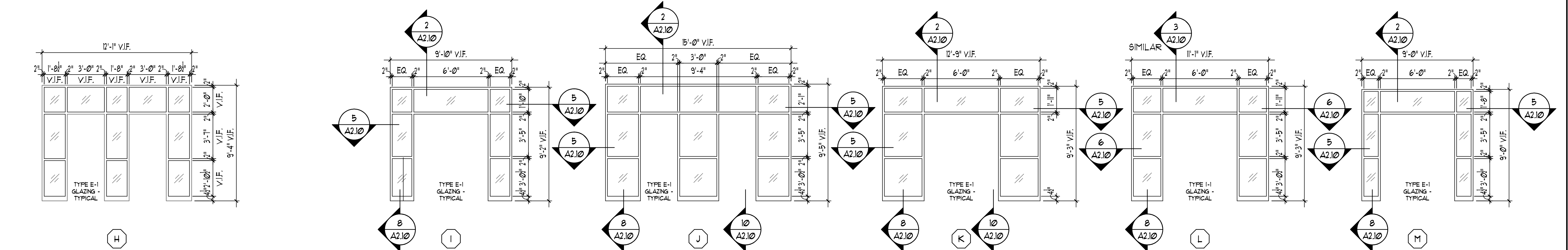
PROJECT NUMBER: 18-04	REVISIONS:
PROJECT MANAGER: HN	1
DRAWN BY: GT	2
	3
	4
ISSUED FOR BID: 01/05/2020	5
DOOR AND FRAME SCHEDULES TYPES AND NOTES	



A2.01

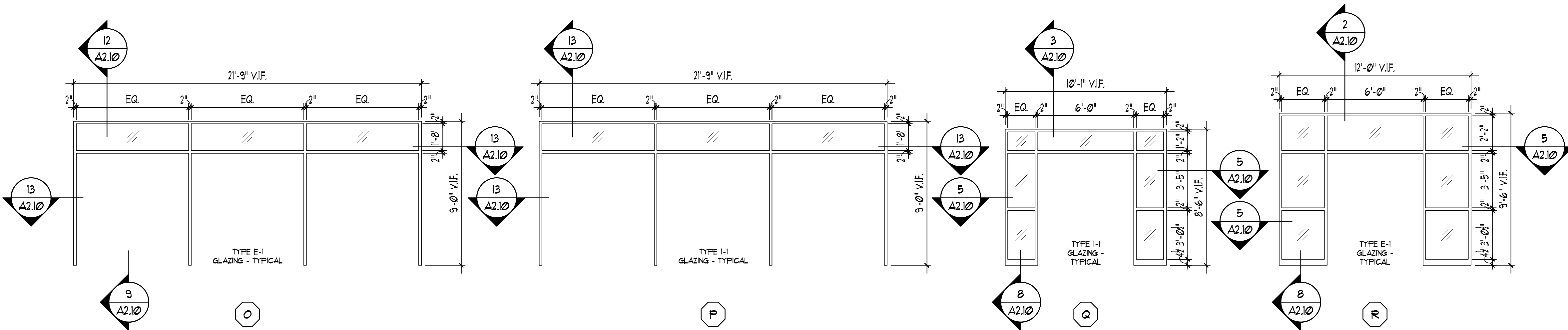


EXISTING ALUMINUM STOREFRONT FRAMES
NOT TO SCALE



EXISTING ALUMINUM STOREFRONT FRAMES
NOT TO SCALE

ALUMINUM STOREFRONT FRAMES
NOT TO SCALE



ALUMINUM STOREFRONT FRAMES
NOT TO SCALE

NOTE: ALL EXISTING FRAME MULLION DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO GLASS INSTALLATION.

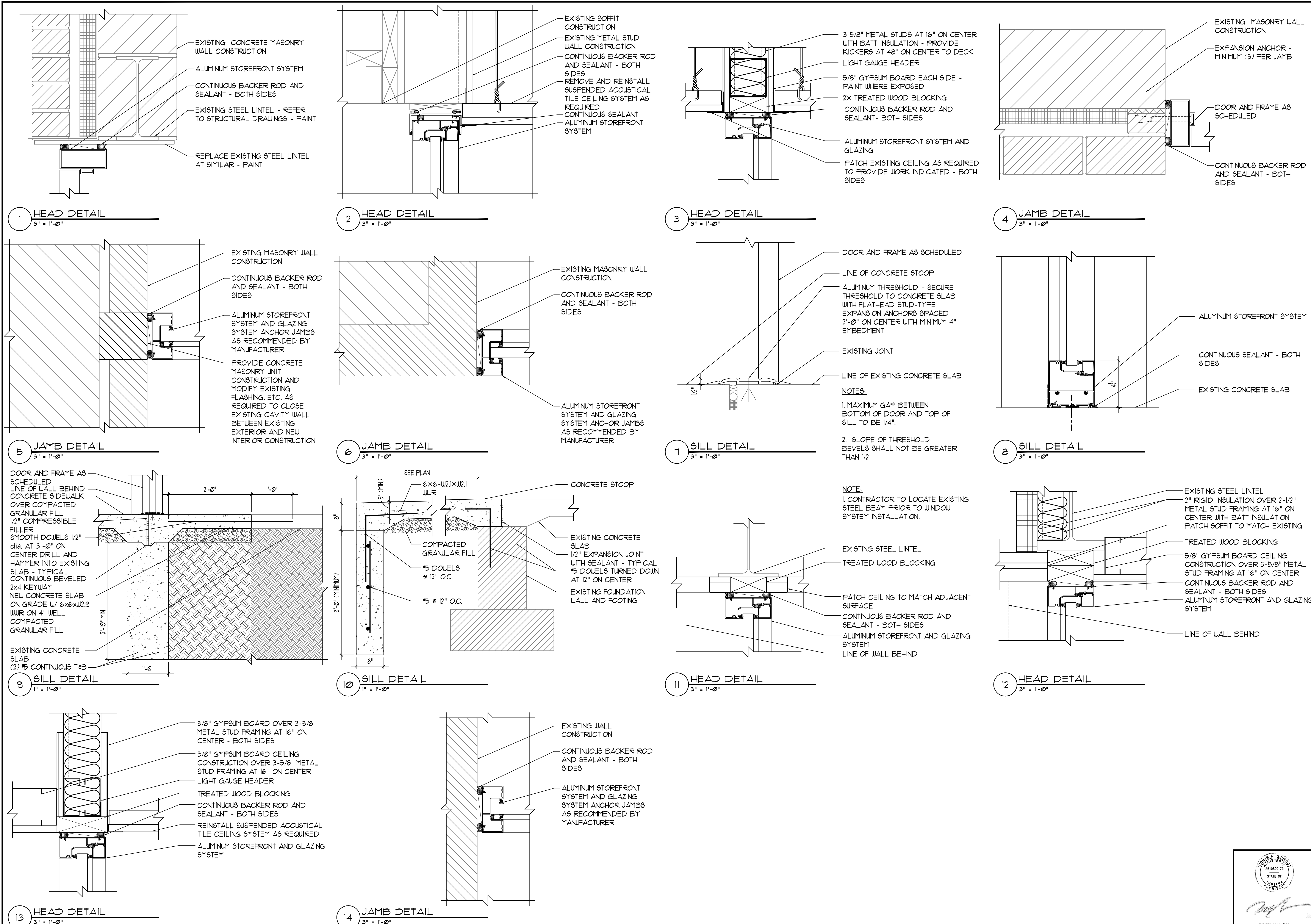
NOTE: ALL NEW ALUMINUM FRAMES DESIGN INTENT IS TO ALIGN CENTER LINE OF MULLION WITH CENTER LINE OF PANIC HARDWARE. REFER TO SPECIFICATIONS. VERIFY PRIOR TO FABRICATION.

NOTE: ALL E-1 GLASS TO BE E-2 GLASS UNDER ALTERNATE BID.



PROJECT NUMBER: 18-04	REVISION:
PROJECT MANAGER: NG	
DRAWN BY: GT	
USED FOR BID: 00/00/00	
ALUMINUM FRAME TYPES	





DUNELAND SCHOOL CORPORATION

2020 DOOR RENOVATION AT:

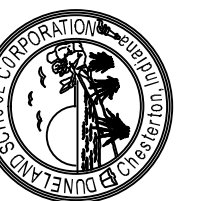
CHESTERTON MIDDLE SCHOOL
651 W. MORGAN AVENUE
CHESTERTON, INDIANA 46304

BALLY ELEMENTARY SCHOOL
900 S. 6TH STREET
CHESTERTON, INDIANA 46304

PROJECT NUMBER: 18-044	DATE: 12/01/2021
PROJECT MANAGER: HQ	PROJECT: 18-044
DRAWN BY: GT	DATE: 12/01/2021
ISSUED FOR BIDDING: 01/05/2020	PROJECT: 18-044
FRAME DETAILS	

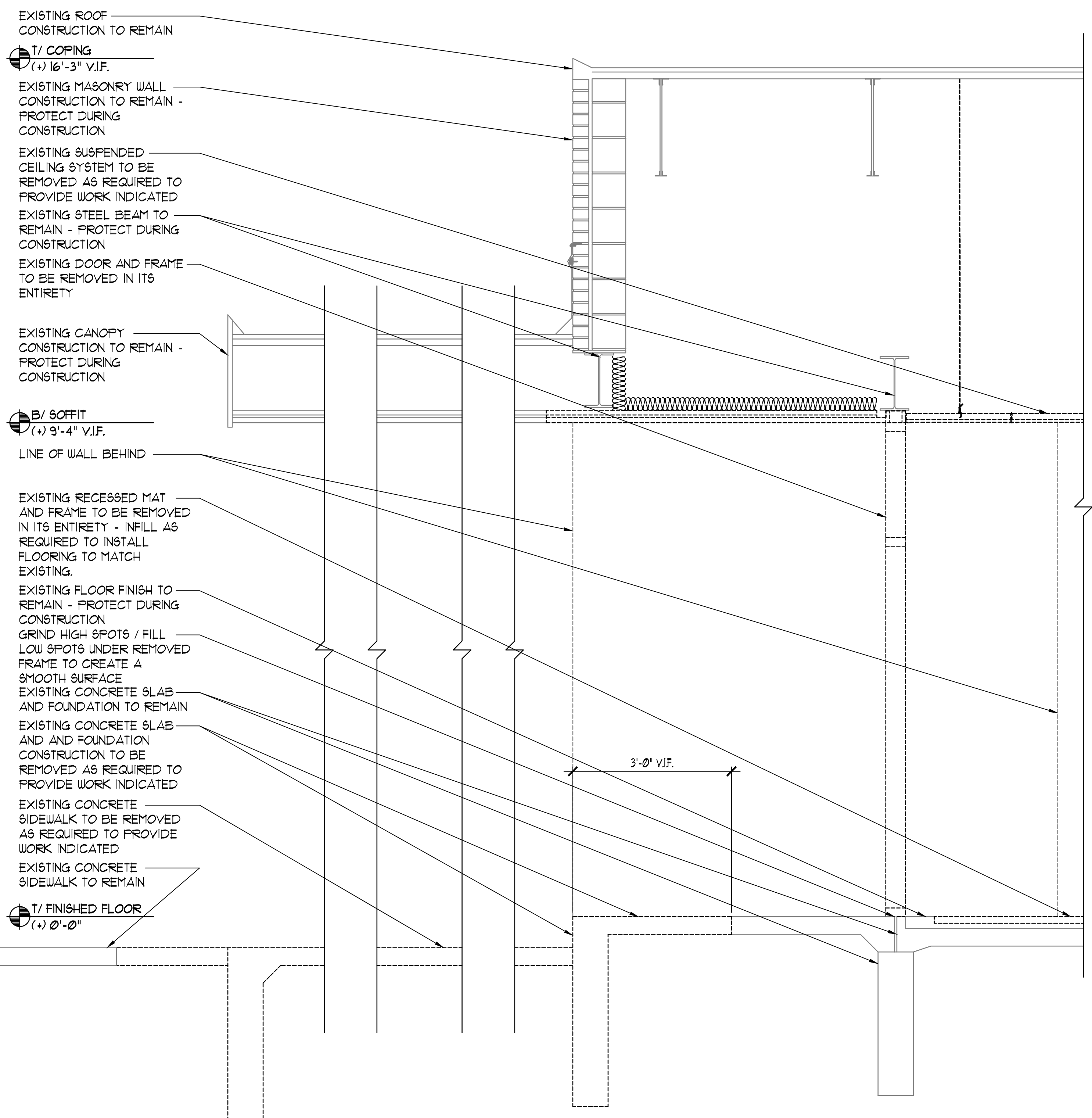
A2.10

SET 1 OF 2

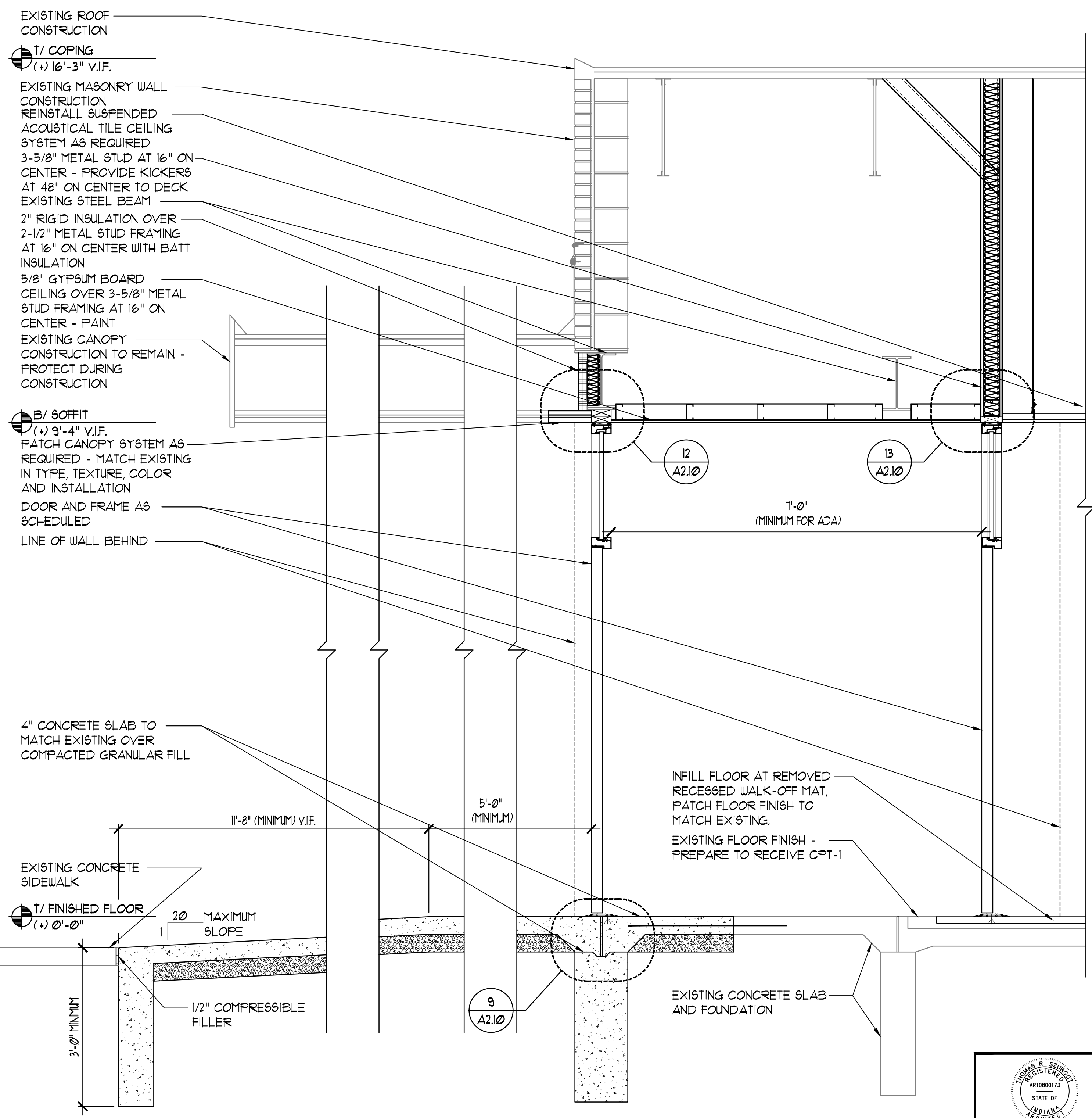


PROJECT NUMBER: 18-04	DATE: 12/01/2021
PROJECT MANAGER: M	PROJECT MANAGER: M
DRAWN BY: G	DRAWN BY: G
USED FOR BID: 01/05/2020	USED FOR BID: 01/05/2020
WALL SECTIONS	

A5.00



1 EXISTING WALL SECTION
3/4" = 1'-0"



1 EXISTING WALL SECTION
3/4" = 1'-0"

NOTE: COORDINATE GYPSUM BOARD CEILING WORK WITH OWNER PROVIDED WORK

