

# DUNELAND SCHOOL CORPORATION

## 2020 DOOR RENOVATION AT: BAILLY ELEMENTARY SCHOOL

800 SOUTH 5TH STREET, CHESTERTON, INDIANA 46304  
TRIA PROJECT#: 19-064

ARCHITECT:

**TRIA ARCHITECTURE, INC.**

West Suburban Office: 901 McClintock Drive, Suite 100  
Burr Ridge, Illinois 60521

South Suburban Office: 1820 Ridge Road, Suite 209  
Homewood, Illinois 60430

Indiana Office: 436 Sand Creek Drive N, Suite 105  
Chesterton, Indiana 46304

Company Main: 630.455.4500 Fax: 630.455.4040  
www.TriaArchitecture.com

### GENERAL BUILDING CODE REQUIREMENTS

**BUILDING CODES REFERENCED:**

2012 INTERNATIONAL BUILDING CODE WITH 2014 INDIANA AMENDMENTS

2006 INTERNATIONAL PLUMBING CODE 2ND EDITION AMENDED INDIANA 2012

2008 NATIONAL ELECTRICAL CODE WITH 2009 INDIANA AMENDMENTS

2012 INTERNATIONAL MECHANICAL CODE WITH 2014 INDIANA AMENDMENTS

INDIANA ENERGY CONSERVATION CODE 2010

2012 INTERNATIONAL FIRE CODE WITH 2014 INDIANA AMENDMENTS

2012 INTERNATIONAL FUEL GAS CODE 2ND EDITION WITH 2014 INDIANA AMENDMENTS

**OCCUPANCY CLASSIFICATION:**

EDUCATIONAL GROUP E

**DESIGN FIRM REGISTRATION:**

THOMAS R. SZURGOT

INDIANA LICENSE NUMBER: #A108800173

### DRAWING INDEX

(SET 2 OF 2)

T1.00 TITLE SHEET, SITE LOCATION MAP, INDEX, AND GENERAL  
BUILDING CODE REQUIREMENTS

**ARCHITECTURAL:**

A0.01 FIRST FLOOR SAFETY REFERENCE PLAN  
A0.10A EXISTING FIRST FLOOR PLAN - MODULE A  
A0.10B EXISTING FIRST FLOOR PLAN - MODULE B  
A0.10C EXISTING FIRST FLOOR PLAN - MODULE C

A1.10A FIRST FLOOR PLAN - MODULE A  
A1.10B FIRST FLOOR PLAN - MODULE B  
A1.10C FIRST FLOOR PLAN - MODULE C

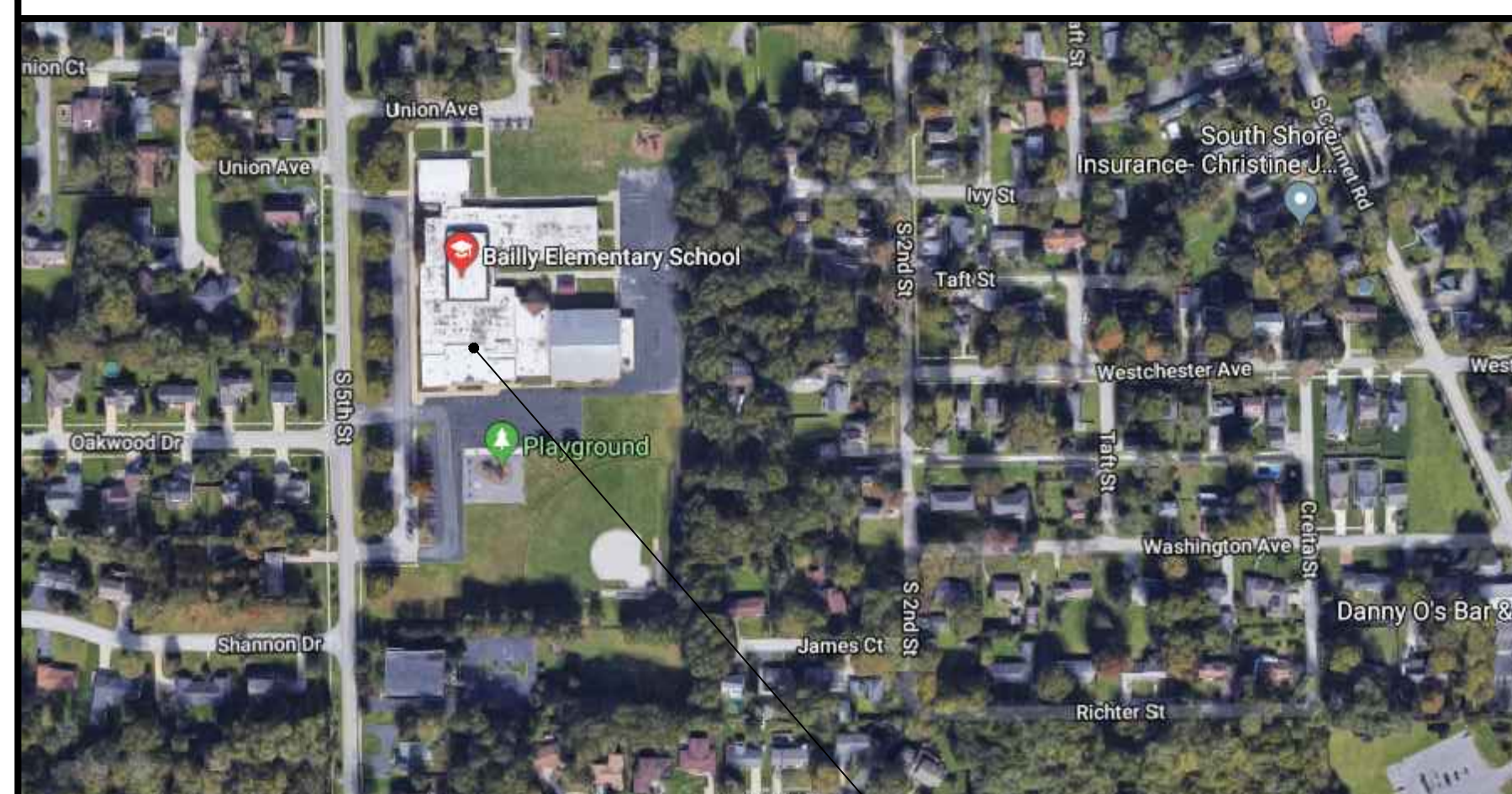
A2.00 DOOR AND FRAME SCHEDULE, TYPES, INTERIOR ELEVATIONS  
AND NOTES

A2.10 FRAME DETAILS

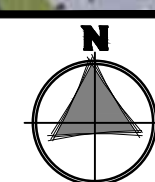
### SCHOOL BOARD

BOARD PRESIDENT	BRANDON KROFT
BOARD VICE PRESIDENT	KRISTIN KROEGER
BOARD SECRETARY	RONALD STONE
BOARD MEMBER	JOHN MARSHALL
BOARD MEMBER	ALAYNA LIGHTFOOT POL
SUPERINTENDENT	DR. CHIP PETTIT

### SITE LOCATION MAP



BAILLY ELEMENTARY  
SCHOOL

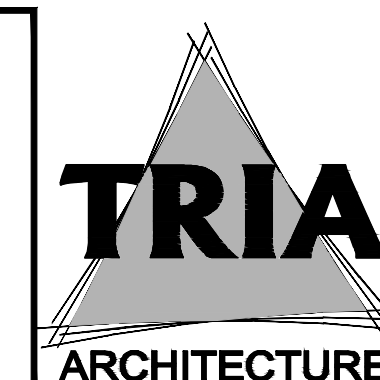
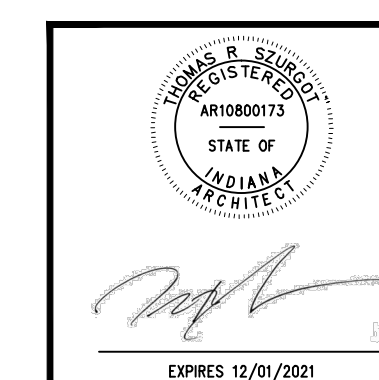


**NOTE: ALL WORK IN THIS SET IS  
ALTERNATE BID  
REFER TO SET 1 OF 2 FOR  
BASE BID WORK  
ISSUED FOR BID:**

02/05/2020

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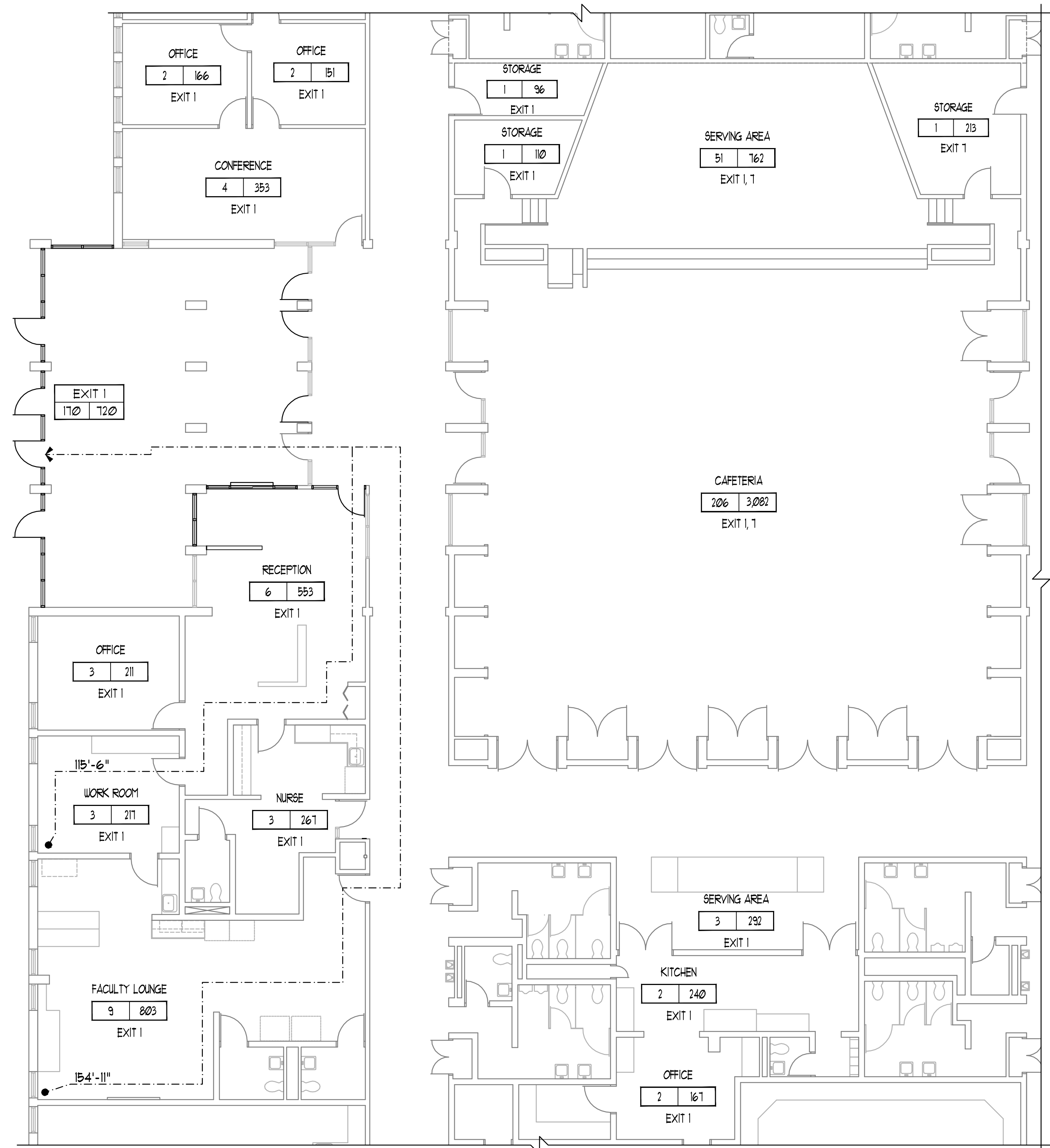
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REVISIONS:

T1.00





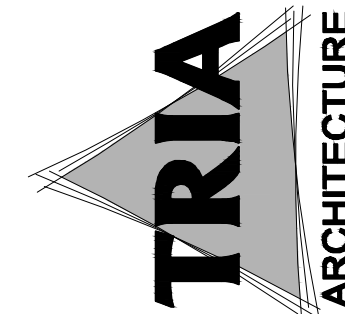
1 PARTIAL FIRST FLOOR SAFETY REFERENCE PLAN  
1/8" = 1'-0"



OCCUPANCY	
OCCUPANT LOAD CALCULATED PER TABLE 1004.1.2 OF THE 2012 INTERNATIONAL BUILDING CODE	
ASSEMBLY (UNCONCENTRATED):	206
BUSINESS:	37
KITCHEN:	2
STAGE:	51
STORAGE:	3
TOTAL OCCUPANCY (AFFECTED AREAS):	293

SAFETY REFERENCE LEGEND	
OCCUPANCY EXIT(S) USED EXIT NUMBER EGRESS CAPACITY USED X X EXIT X EXIT # OCC. CAP. MAXIMUM EGRESS CAPACITY	ROOM OCCUPANCY AND EXIT INFORMATION EXIT EGRESS
■■■■■■■	1 HOUR FIRE RATED WALL CONSTRUCTION
■■■■■■■■■	2 HOUR FIRE RATED WALL CONSTRUCTION
■■■■■■■■■■	4 HOUR FIRE RATED WALL CONSTRUCTION
XX'----->	SAFETY REFERENCE EGRESS PATH AND DISTANCE
EGRESS	
EXIT ACCESS TRAVEL DISTANCE CALCULATED PER TABLE 1017.2 OF THE 2012 INTERNATIONAL BUILDING CODE	
ALL EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET.	

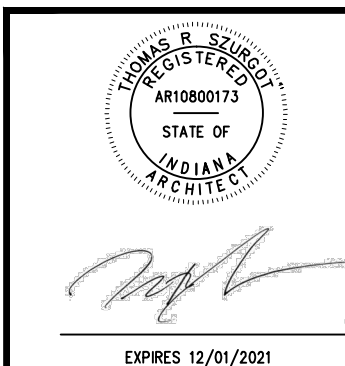
NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID



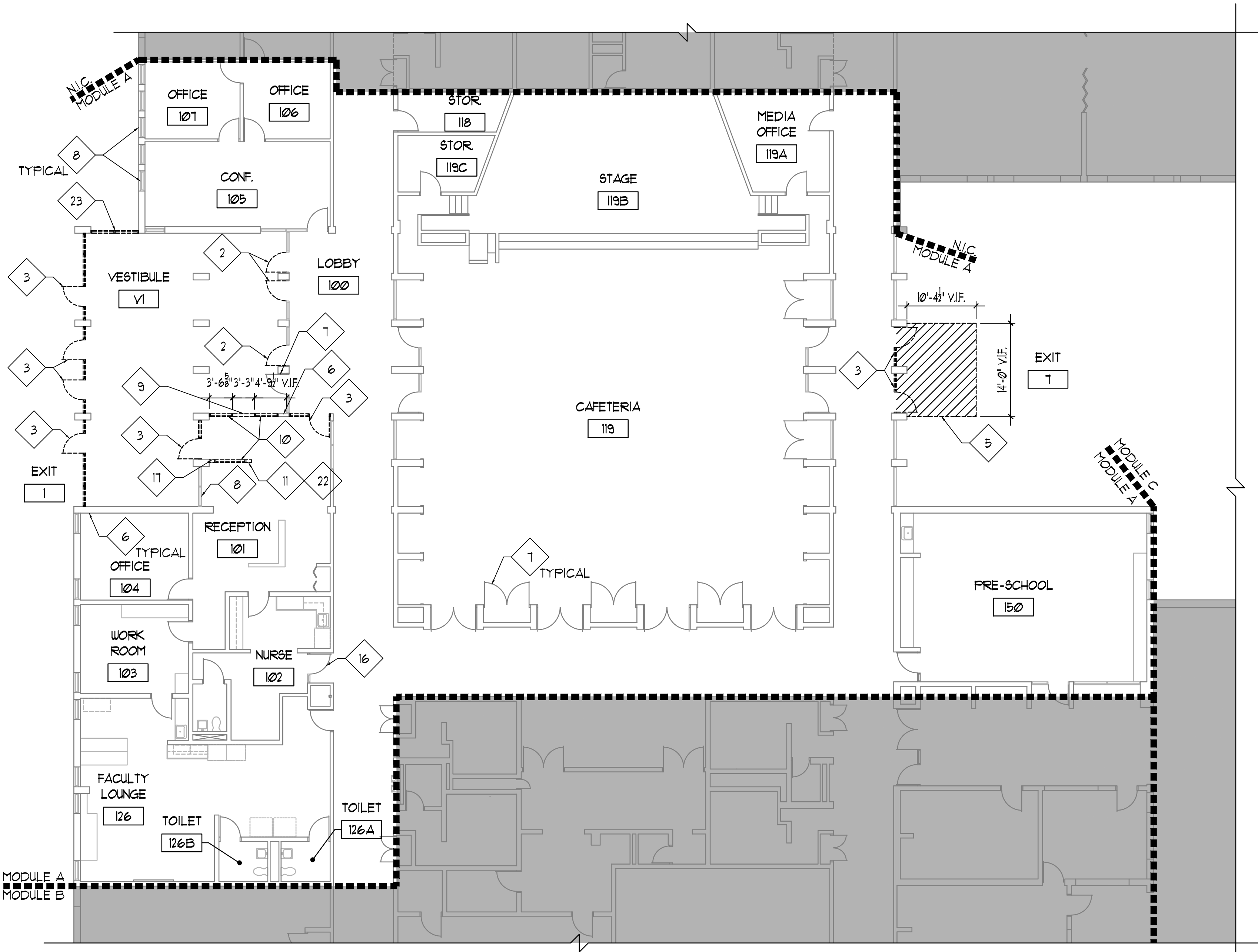
DUNELAND SCHOOL CORPORATION  
2020 DOOR RENOVATION AT:  
CHESTERTON MIDDLE SCHOOL | BALLY ELEMENTARY SCHOOL  
651 W. MORGAN AVENUE | 800 S. 5TH STREET  
CHESTERTON, INDIANA 46304 | CHESTERTON, INDIANA 46304



PROJECT NUMBER: 18-04	REVISIONS:
PROJECT MANAGER: HN	1
DRAWN BY: GT	2
ISSUED FOR BID: 01/05/2020	3
FIRST FLOOR SAFETY REFERENCE PLAN	
ALTERNATE BID	



A0.01



1 EXISTING FIRST FLOOR PLAN - MODULE A  
3/32" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- EXISTING CONCRETE WALKWAY/SWOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT  
RELOCATION NOTES

- OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

EXISTING PLAN GENERAL NOTES

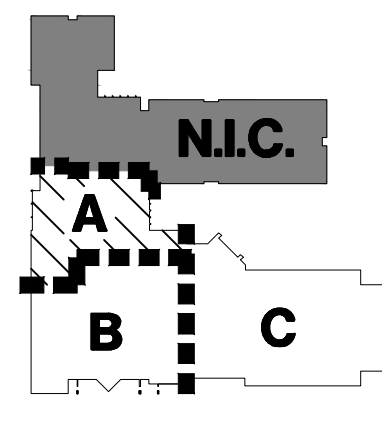
- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
- ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE FLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

EXISTING PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED.
- EXISTING DOOR, FRAME, HARDWARE AND ASSOCIATED EQUIPMENT TO BE REMOVED.
- EXISTING FRAME TO REMAIN. EXISTING DOORS, HARDWARE AND ALL SIDE-LITE GLASS TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.
- EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
- EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
- EXISTING MECHANICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING STEEL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING CONCRETE SWOOP AND DOOR EQUIPMENT TO BE REMOVED IN ITS ENTIRETY.
- EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE MODIFIED AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO A2.00 AND A2.01.
- EXISTING LIGHT SWITCH TO BE REMOVED BY OWNER.
- EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.
- EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED. DOOR MAGNETS TO BE SALVAGED AND REINSTALLED.
- EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.
- EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
- SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.

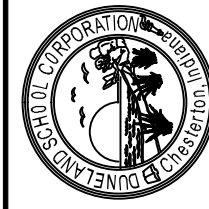
NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID



KEYPLAN  
NOT TO SCALE

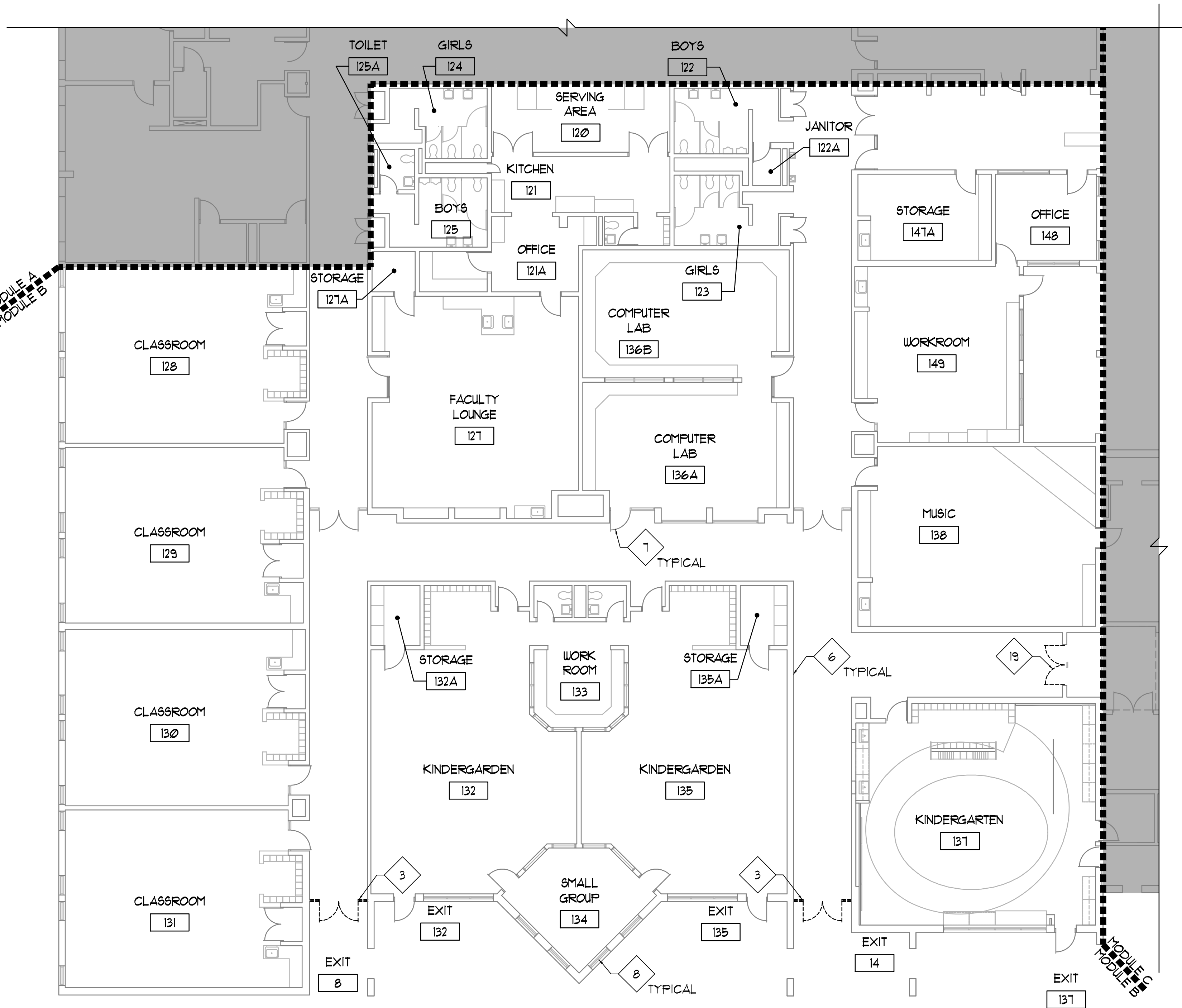


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2020 DOOR RENOVATION AT:  
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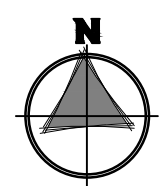


PROJECT NUMBER: 20-04	REVISED:
PROJECT MANAGER: MS	
DRAWN BY: KTG	
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE A	
ALTERNATE BID	

A0.10A



1 EXISTING FIRST FLOOR PLAN - MODULE B  
3/32" = 1'-0"



LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- EXISTING CONCRETE WALKWAY/SLOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

FURNITURE / EQUIPMENT  
RELOCATION NOTES

- OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

EXISTING PLAN GENERAL NOTES

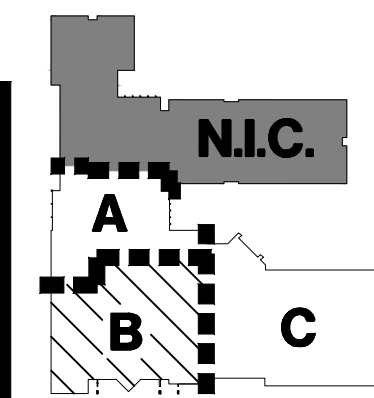
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- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
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- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
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EXISTING PLAN REFERENCED NOTES

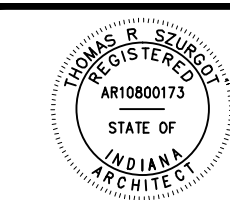
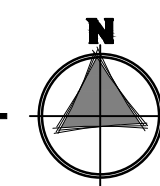
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- SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.

NOTE: ALL  
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SHEET IS  
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KEYPLAN  
NOT TO SCALE



EXPIRES 12/01/2021

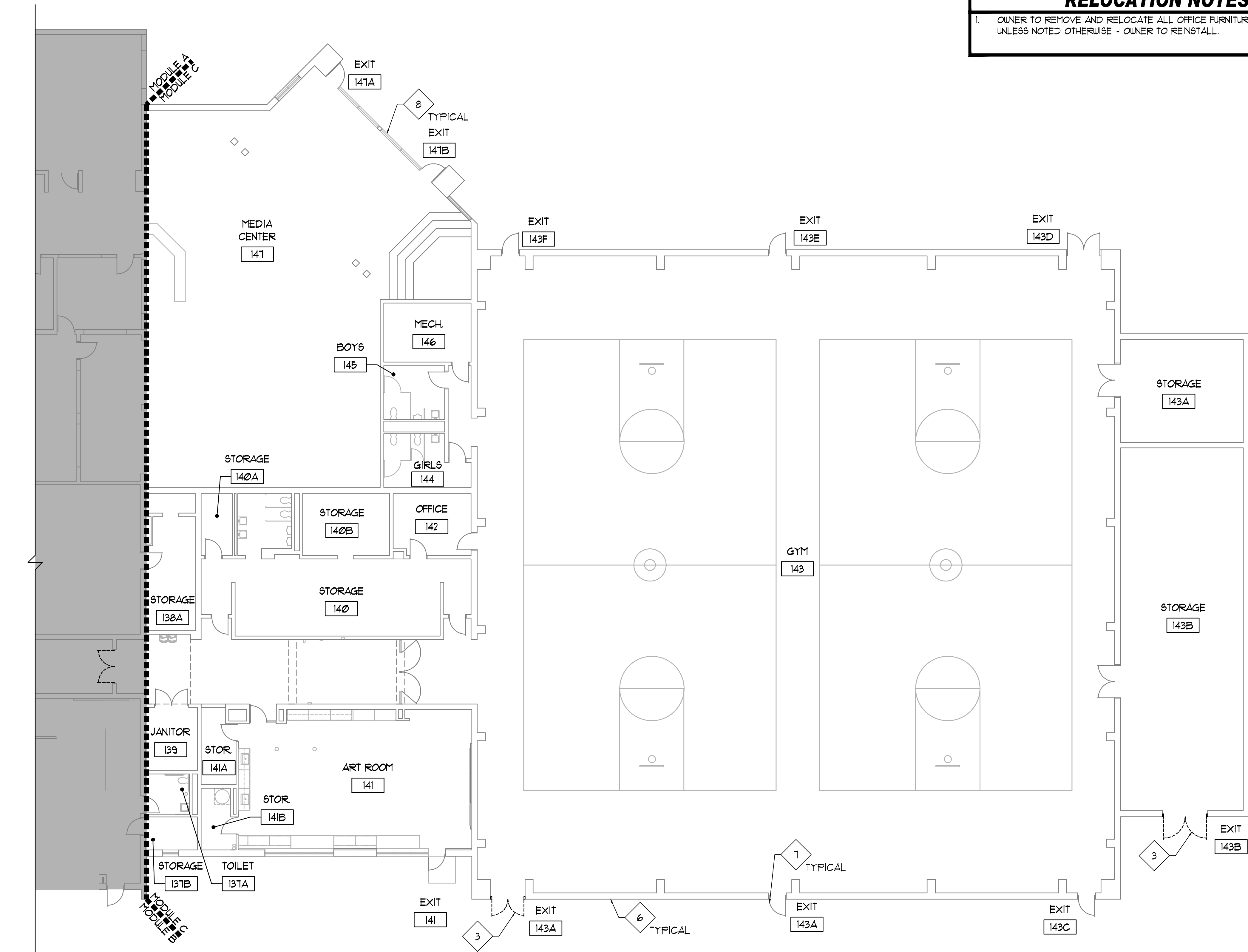
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PROJECT NUMBER: 20-04	REVISED:
PROJECT MANAGER: MS	DATE: 12/01/2020
DRAWN BY: KTG	DATE: 12/01/2020
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE B	
ALTERNATE BID	

A0.10B





1 EXISTING FIRST FLOOR PLAN - MODULE C  
3/32" = 1'-0"

### LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- ▨ EXISTING CONCRETE WALKWAY/SLOOP/FROST WALLS TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED

### FURNITURE / EQUIPMENT RELOCATION NOTES

1. OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL.

### EXISTING PLAN GENERAL NOTES

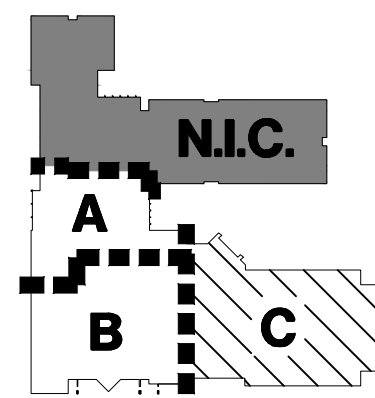
1. REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
2. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
3. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
5. REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
6. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
7. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
8. WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
9. AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
10. REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
11. GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
12. PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.
13. ALL EXISTING FLOOR FINISH SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - CONTRACTOR TO PROVIDE PLYWOOD, MDF AND/OR PLASTIC AS REQUIRED TO PROTECT FLOORING FROM DAMAGE DURING CONSTRUCTION - ANY DAMAGE WILL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO COORDINATE SCOPE OF WORK PER PHASE SUCH THAT EQUIPMENT, MATERIALS AND SURFACES TO REMAIN IN USE DURING SUBSEQUENT PHASES ARE NOT REMOVED PREMATURELY.

### EXISTING PLAN REFERENCED NOTES

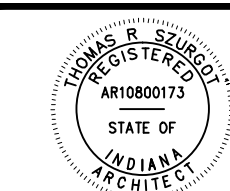
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE REMOVED.
2. EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED.
3. EXISTING DOOR, FRAME, HARDWARE AND ASSOCIATED EQUIPMENT TO BE REMOVED.
4. EXISTING FRAME TO REMAIN. EXISTING DOORS, HARDWARE AND ALL SIDE-LITE GLASS TO BE REMOVED.
5. EXISTING CONCRETE TO BE REMOVED TO NEAREST CONTINUOUS JOINT.
6. EXISTING WALL CONSTRUCTION TO REMAIN - PROTECT DURING CONSTRUCTION.
7. EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
8. EXISTING FRAME AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
9. EXISTING WALL CONSTRUCTION TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
10. EXISTING GLAZING AND FRAMING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
11. FLOOR AREA AT REMOVED CONSTRUCTION TO BE PREPARED FOR NEW FLOORING - MATCH ADJACENT EXISTING.
12. EXISTING RECESSED WALK OFF MAT AND FRAME TO BE REMOVED IN ITS ENTIRETY. INFILL AS REQUIRED TO INSTALL FLOORING TO MATCH EXISTING.
13. EXISTING MECHANICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION.
14. EXISTING STEEL COLUMN TO REMAIN - PROTECT DURING CONSTRUCTION.
15. EXISTING CONCRETE SLOOP AND DOOR EQUIPMENT TO BE REMOVED IN ITS ENTIRETY.
16. EXISTING DOOR AND FRAME TO REMAIN. EXISTING HARDWARE TO BE MODIFIED AS REQUIRED TO PROVIDE WORK INDICATED - REFER TO A2.00 AND A2.01.
17. EXISTING LIGHT SWITCH TO BE REMOVED BY OWNER.
18. EXISTING EQUIPMENT TO BE MODIFIED BY OWNER.
19. EXISTING FRAME TO REMAIN. EXISTING DOOR AND HARDWARE TO BE REMOVED. DOOR MAGNETS TO BE SALVAGED AND REINSTALLED.
20. EXISTING LINTEL ABOVE DOOR TO BE REMOVED IN ITS ENTIRETY - REMOVE MASONRY WALL CONSTRUCTION AS NEEDED - CLEAN AND STORE FACE BRICK FOR REUSE.
21. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED AND REINSTALLED BY OWNER.
22. EXISTING CEILING TO BE REMOVED AS REQUIRED TO PROVIDE WORK INDICATED.
23. EXISTING FRAME AND GLAZING SYSTEM TO BE REMOVED IN ITS ENTIRETY.
24. SAW CUT EXISTING SLAB EDGE AS REQUIRED TO PROVIDE WORK INDICATED.

**NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID**



KEYPLAN  
NOT TO SCALE



EXPIRES 12/01/2021

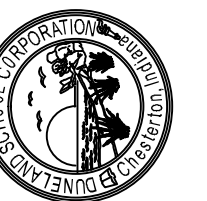
**DUNELAND SCHOOL CORPORATION**  
**2020 DOOR RENOVATION AT:**  
CHESTERTON MIDDLE SCHOOL  
651 W. MORGAN AVENUE  
CHESTERTON, INDIANA 46304



PROJECT NUMBER: 20-04	REVISIONS:
PROJECT MANAGER: HZ	
DRAWN BY: K7/ET	
ISSUED FOR BID: 01/05/2020	
EXISTING FIRST FLOOR PLAN - MODULE C	
ALTERNATE BID	

**A0.10C**

SET 2 OF 2



PROJECT NUMBER: 18-044	REVISIONS:
PROJECT MANAGER: MS	1
DRAWN BY: K7/ET	2
ISSUED FOR BIDDING: 01/05/2020	3
FIRST FLOOR PLAN - MODULE A	
ALTERNATE BID	

**A1.10A**

## FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

## FLOOR PLAN REFERENCED NOTES

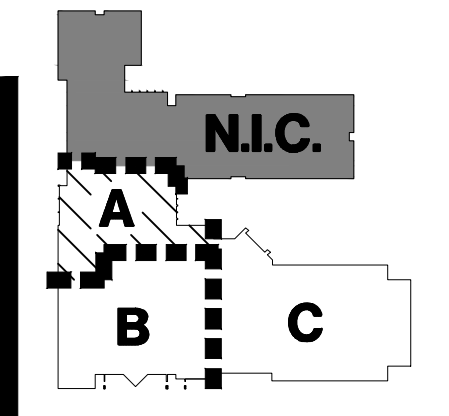
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING WALL CONSTRUCTION.
2. EXISTING DOOR AND FRAME.
3. EXISTING FRAME AND GLAZING SYSTEM.
4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
13. PATCH AND REPAIR CEILING AT WORK INDICATED.
14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER.
15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

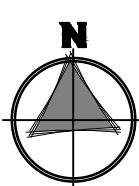
## LEGEND

- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH

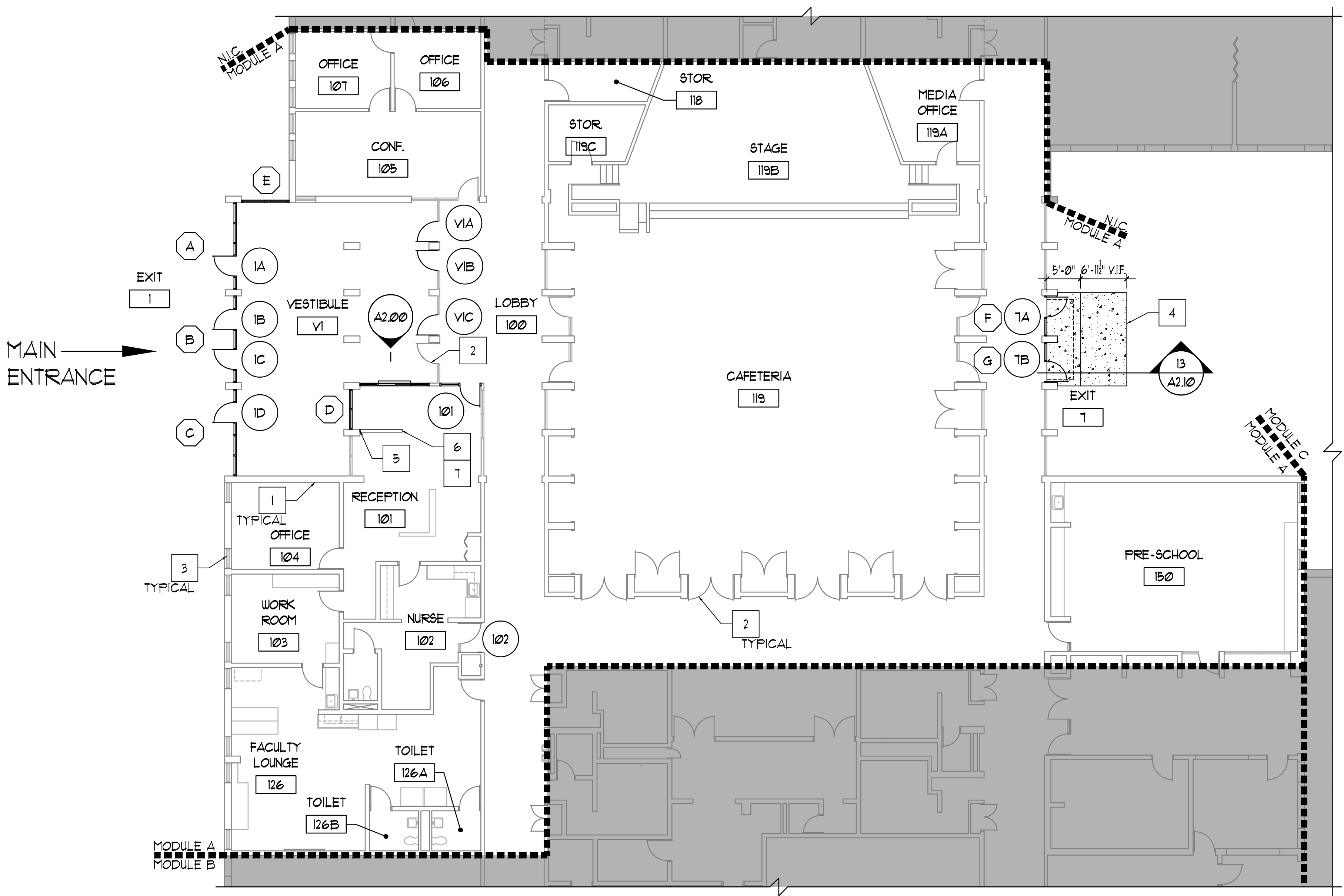
**NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID**



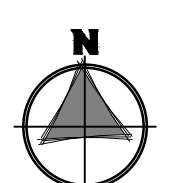
KEYPLAN  
NOT TO SCALE

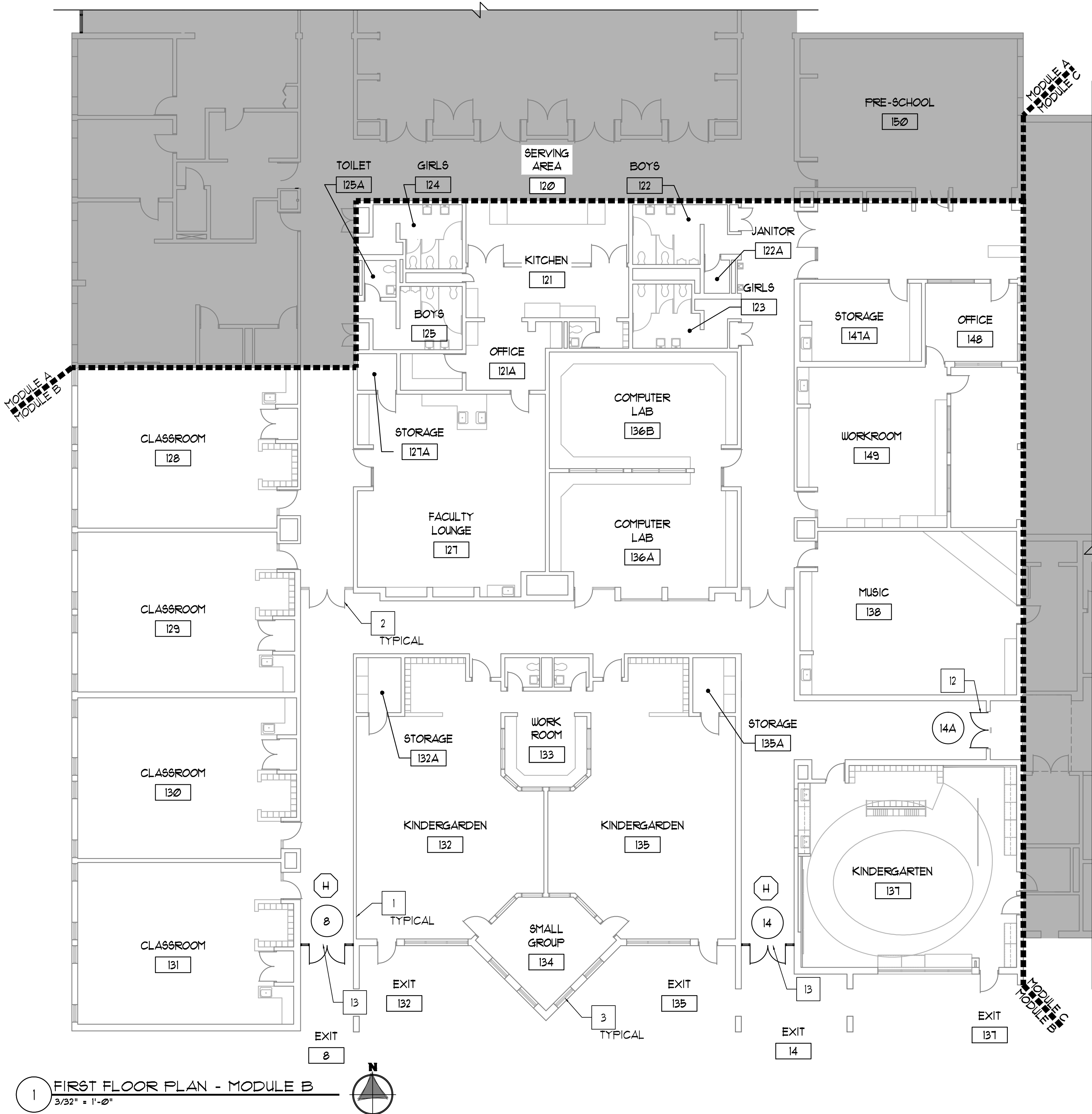


EXPIRES 12/01/2021



**1 FIRST FLOOR PLAN - MODULE A**  
3/32" = 1'-0"





FLOOR PLAN GENERAL NOTES

- 1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
- 2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
- 3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
- 4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
- 5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
- 6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
- 7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
- 8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

FLOOR PLAN REFERENCED NOTES

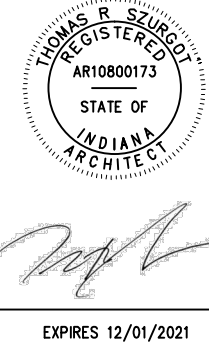
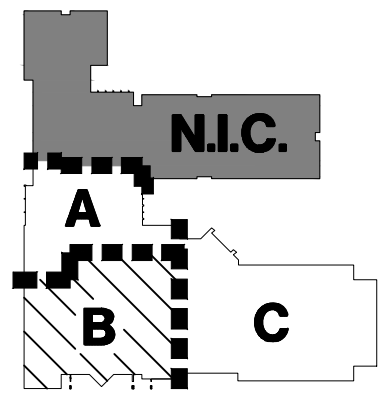
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- 1. EXISTING WALL CONSTRUCTION.
- 2. EXISTING DOOR AND FRAME.
- 3. EXISTING FRAME AND GLAZING SYSTEM.
- 4. 5" CONCRETE SLAB/STOOP OVER COMPACTED GRANULAR FILL.
- 5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
- 6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
- 7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
- 8. CONCRETE SIDEWALK/STOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
- 9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
- 10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
- 11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
- 12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
- 13. PATCH AND REPAIR CEILING AT WORK INDICATED
- 14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER
- 15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

LEGEND

- EXISTING CONSTRUCTION
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- CONCRETE SLAB
- GRADE AND MULCH

NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID

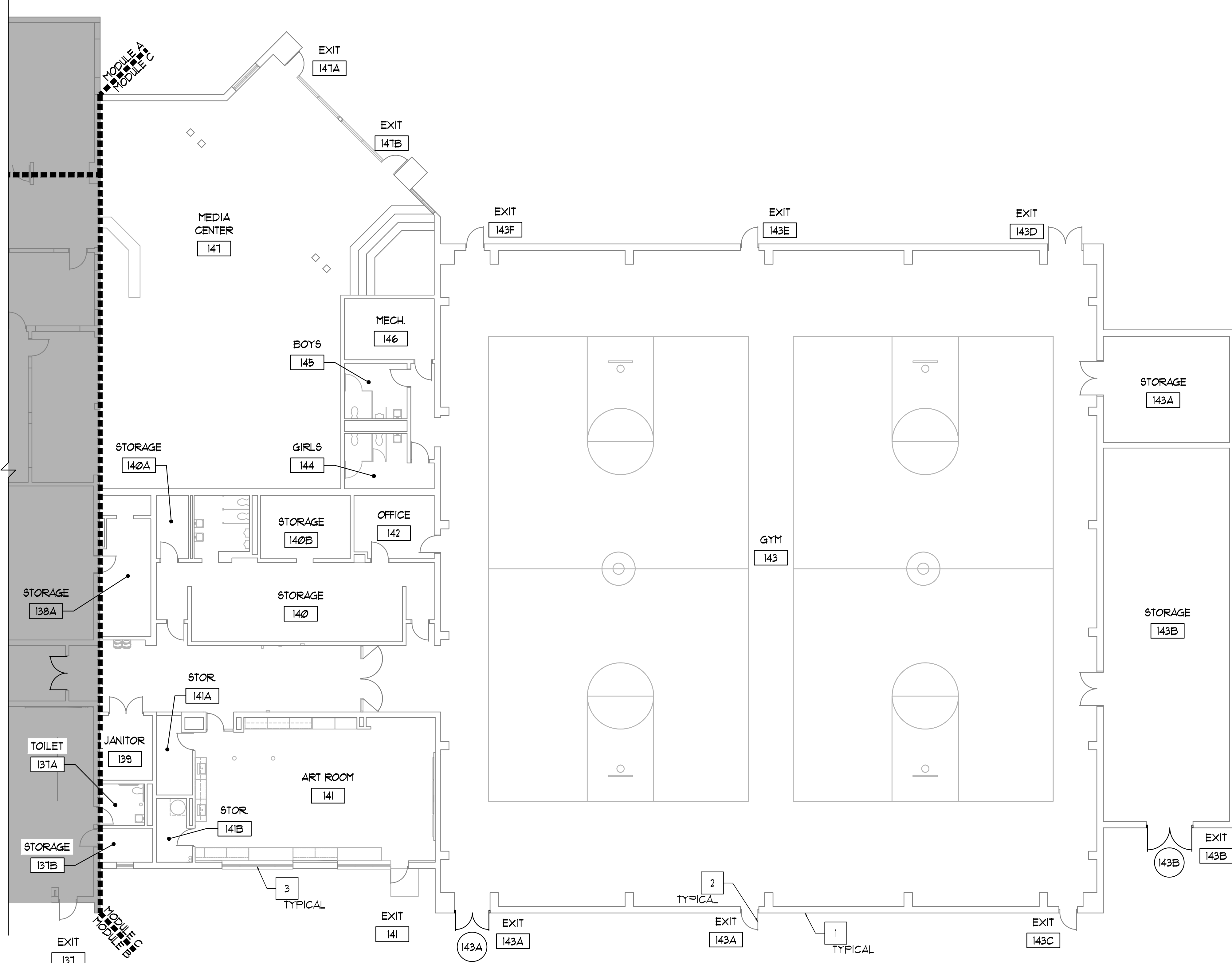


DUNELAND SCHOOL CORPORATION  
2020 DOOR RENOVATION AT:  
CHESTERTON MIDDLE SCHOOL | BALLY ELEMENTARY SCHOOL  
651 W. MORGAN AVENUE  
CHESTERTON, INDIANA 46304

PROJECT NUMBER	20-04
PROJECT MANAGER	MS
DRAWN BY	KT/ET
ISSUED FOR BID	01/05/2020
FIRST FLOOR PLAN - MODULE B	
ALTERNATE BID	

A1.10B





1 FIRST FLOOR PLAN - MODULE C  
3/32" = 1'-0"

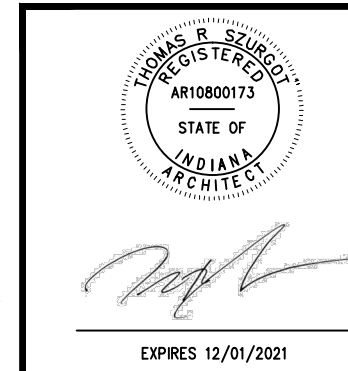
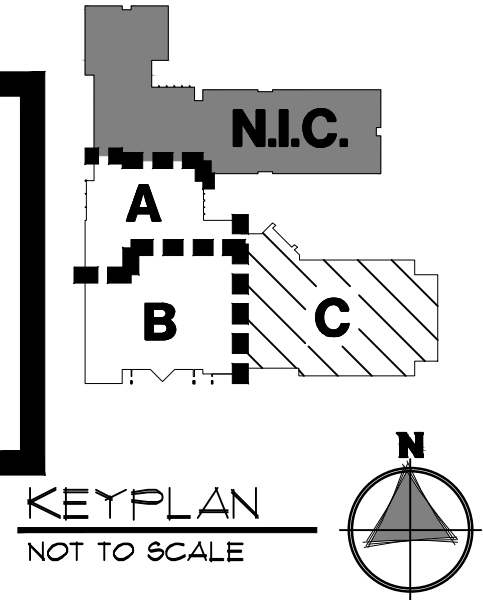
- ### FLOOR PLAN GENERAL NOTES
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
  2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
  3. ALL HOLLOW FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
  4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
  5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
  6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
  7. PATCH AND SMOOTH EXISTING FLOOR TO MATCH ADJACENT SURFACES AS REQUIRED TO INSTALL NEW FLOOR FINISH.
  8. AT ALL FLOOR SLABS TO RECEIVE FLOOR FINISH, CONTRACTOR SHALL GRIND HIGH SPOTS, FILL DEPRESSIONS AND INFILL ANY UNUSED PENETRATIONS IN THE FLOOR SLAB WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER. ALL CRACKS LARGER THAN 1/8" ARE TO BE GROUND OUT AND FILLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING WALL CONSTRUCTION.
  2. EXISTING DOOR AND FRAME.
  3. EXISTING FRAME AND GLAZING SYSTEM.
  4. 5" CONCRETE SLAB/SLOOP OVER COMPACTED GRANULAR FILL.
  5. PATCH EXISTING WALL AT REMOVED CONSTRUCTION TO CREATE A CONTINUOUS FINISHED LOOK - MATCH ADJACENT EXISTING MATERIAL.
  6. REPAIR CEILINGS AT REMOVED CONSTRUCTION - MATCH EXISTING.
  7. PATCH FLOORING AT REMOVED CONSTRUCTION - MATCH EXISTING ADJACENT.
  8. CONCRETE SIDEWALK/SLOOP TO MATCH ADJACENT EXISTING IN DEPTH OVER COMPACTED GRANULAR FILL - MATCH SLOPE OF REMOVED CONCRETE - INSTALL 1/2" COMPRESSIBLE FILLER AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
  9. CPT-1 AND 4" VINYL BASE TO BE INSTALLED - REFER TO SPECIFICATIONS.
  10. INFILL FLOOR AT REMOVED RECESSED WALK-OFF MAT. FLOOR INFILL TO BE MATERIAL SUITABLE FOR THICKNESS AND NEW FLOORING MATERIAL.
  11. CONCRETE SIDEWALK SHALL SLOPE NO MORE THAN 1:20 IN THE DIRECTION OF TRAVEL AND 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UP TO EXISTING CONCRETE STEP - 1/2" COMPRESSIBLE FILLER TO BE INSTALLED AT ALL LOCATIONS ABUTTING MASONRY WALL CONSTRUCTION.
  12. SALVAGED DOOR MAGNETS TO BE REINSTALLED.
  13. PATCH AND REPAIR CEILING AT WORK INDICATED
  14. EXISTING RELOCATED MECHANICAL EQUIPMENT TO BE INSTALLED BY OWNER
  15. BACKFILL EXISTING GRADE WHERE CONCRETE WAS REMOVED AND REPAIR AREA WITH MULCH TO MATCH EXISTING.

### LEGEND

	EXISTING CONSTRUCTION
	HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
	CONCRETE SLAB
	GRADE AND MULCH

**NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID**



**DUNELAND SCHOOL CORPORATION**  
**2020 DOOR RENOVATION AT:**  
CHESTERTON MIDDLE SCHOOL  
800 S. 6TH STREET  
CHESTERTON, INDIANA 46304

PROJECT NUMBER:	18-004
PROJECT MANAGER:	MS
DRAWN BY:	KT/ET
ISSUED FOR BID:	01/05/2020
FIRST FLOOR PLAN - MODULE C	
ALTERNATE BID	



DOOR AND FRAME SCHEDULE																		
OFNG NO.	DOOR						FRAME						FRAME DETAILS				COMMENTS	
	SIZE		TYPE	MAT'L	HDWR SET	PROT. RATING HOURS	SIZE		TYPE	MAT'L	PROT. RATING HOURS	REF. NOTES	HEAD	JAMB	JAMB	SILL	ROOM TYPE	
	WIDTH	HEIGHT					WIDTH	HEIGHT										
MODULE A	1A	3'-0"	1'-0"	A	AL	Ø1	-	-	-	A	AL	-	1	-	-	-	6/A2.1Ø	MAIN ENTRANCE
	1B	3'-0"	1'-0"	A	AL	Ø5	-	-	-	B	AL	-	1, 2	-	-	-	6/A2.1Ø	MAIN ENTRANCE
	1C	3'-0"	1'-0"	A	AL	Ø4	-	-	-	B	AL	-	1, 2	-	-	-	6/A2.1Ø	MAIN ENTRANCE
	1D	3'-0"	1'-0"	A	AL	Ø1	-	-	-	C	AL	-	1	-	-	-	6/A2.1Ø	MAIN ENTRANCE
	1A	3'-0"	1'-0"	A	AL	Ø8	-	EX	EX	EX	EX	-	8	-	-	-	6/A2.1Ø	ENTRANCE VESTIBULE
	1B	3'-0"	1'-0"	A	AL	Ø8	-	EX	EX	EX	EX	-	8	-	-	-	6/A2.1Ø	ENTRANCE VESTIBULE
	1C	3'-0"	1'-0"	A	AL	Ø8	-	EX	EX	EX	EX	-	8	-	-	-	6/A2.1Ø	ENTRANCE VESTIBULE
	1A	3'-0"	1'-0"	A	AL	Ø4	-	-	-	F	AL	-	1, 2, 6	-	-	-	6/A2.1Ø	EXIT 1
	1B	3'-0"	1'-0"	A	AL	Ø6	-	-	-	G	AL	-	1, 6	-	-	-	6/A2.1Ø	EXIT 1
	1Ø1	3'-0"	1'-0"	A	AL	12	-	6'-2" VIF	1'-2" VIF	C	AL	-	2, 6	8/A2.1Ø	11/A2.1Ø	11/A2.1Ø	6/A2.1Ø	RECEPTION
1Ø2	EX	EX	EX	EX	1Ø	-	EX	EX	EX	EX	-	3	-	-	-	-	NURSE	
MODULE B	8	PAIR (3'-Ø")	1'-0"	A	AL	Ø3	-	-	-	H	AL	-	1, 6	-	-	-	6/A2.1Ø	EXIT 8
	14	PAIR (3'-Ø")	1'-0"	A	AL	Ø3	-	-	-	H	AL	-	1, 6	-	-	-	6/A2.1Ø	EXIT 14
	14A	PAIR (3'-Ø")	1'-0"	D	WD	Ø2	-	EX	EX	EX	EX	-	4, 6	-	-	-	6/A2.1Ø	HALLWAY
MODULE C	143A	PAIR (3'-Ø")	1'-0"	B	FRP	Ø1	-	6'-4"	1'-4"	B	AL	-	6	3/A2.1Ø	5/A2.1Ø	5/A2.1Ø	6/A2.1Ø	EXIT 143A
	143B	PAIR (3'-Ø")	1'-0"	B	FRP	Ø3	-	6'-4"	1'-4"	B	AL	-	6	3/A2.1Ø	5/A2.1Ø	5/A2.1Ø	6/A2.1Ø	EXIT 143B

## **DOOR AND FRAME GENERAL NOTES**

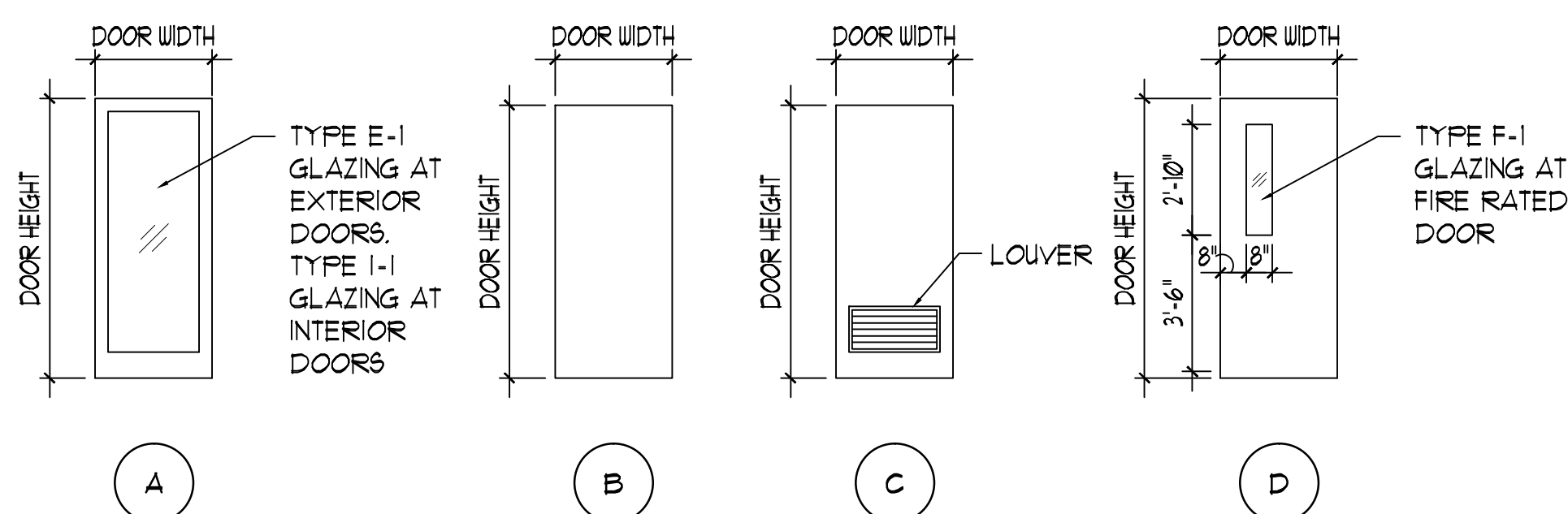
1. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL ROUGH OPENINGS IN FIELD.
2. REFER TO FRAME TYPES AND FRAME DETAILS FOR MORE INFORMATION.
3. REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.
4. GROUT JAMBS SOLID AT ALL HOLLOW METAL FRAMES INSTALLED IN MASONRY OPENINGS.
5. ALL EXPOSED ANCHORS ON HOLLOW METAL FRAMES ARE TO BE COUNTERSUNK INTO FRAMES, COVERED IN BONDO, SANDED SMOOTH, AND PAINTED TO MATCH FRAME.
6. VERIFY DIMENSIONS OF ALL DOORS AND FRAMES TO BE INSTALLED IN EXISTING WALL OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS.
7. HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.
8. DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
9. DOOR OPERATING FORCE SHALL NOT EXCEED: EXTERIOR HINGED DOORS: 25 LB  
INTERIOR HINGED DOORS: 5 LB
10. ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.
11. AT ALL OPENINGS SCHEDULED TO RECEIVE WORK - BOND AND PAINT ALL FRAMES (NEW AND EXISTING).
12. ALL EXISTING FIRE RATED OPENINGS ARE TO BE MAINTAINED.

<b>DOOR AND FRAME ABBREVIATIONS</b>			
ALUM	ALUMINUM	SIM	SIMILAR
EX	EXISTING	SS	STAINLESS STEEL
FRP	FIBERGLASS REINFORCED	TYP	TYPICAL
	POLYESTER	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	WD	WOOD
ME	MATCH EXISTING		

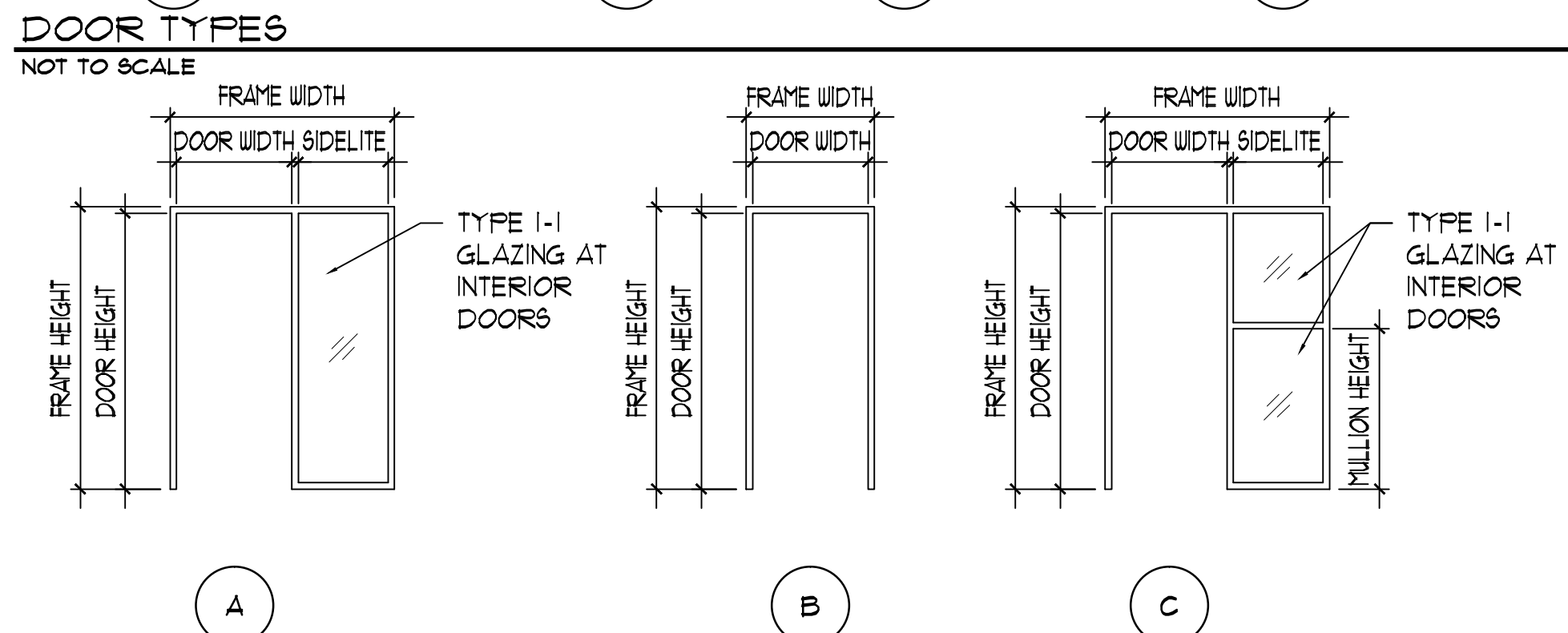
## **DOOR AND FRAME REFERENCED NOTES**

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

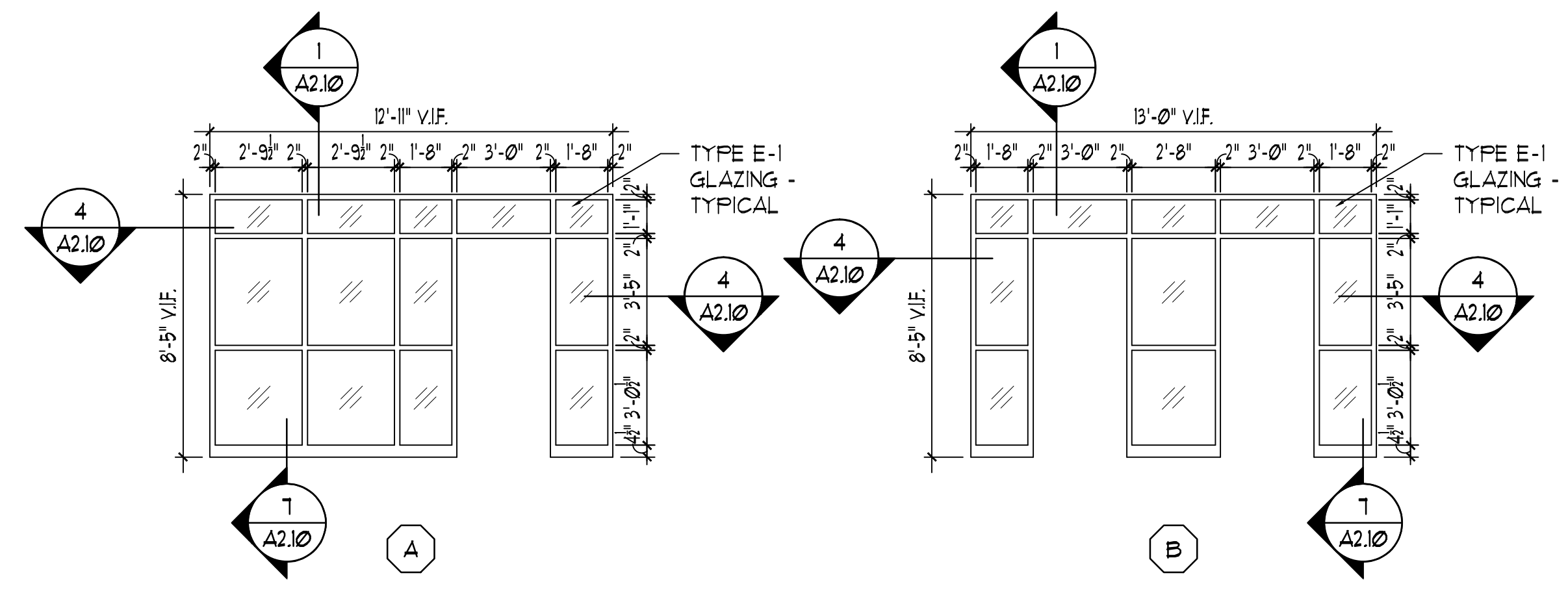
1. REFER TO ALUMINUM STOREFRONT TYPES FOR FRAME INFORMATION.
2. CREDENTIAL READER AND POWER SUPPLY TO BE INSTALLED BY OWNER - REFER TO SPECIFICATIONS - COORDINATE FRAME INSTALLATION WITH OWNER.
3. OWNER TO PROVIDE POWER, CONTRACTOR TO INSTALL ADA COMPLIANT PUSH BUTTON AND ASSOCIATED DOOR HARDWARE.
4. REINSTALL SALYAGED DOOR MAGNETS.
5. NEW DOOR AND FRAME IN EXISTING OPENING. VERIFY ALL DIMENSIONS IN FIELD.
6. PROVIDE AN ALUMINUM STOREFRONT SYSTEM AT OPENING.
7. PROVIDE NEW GLAZING IN EXISTING FRAME. VERIFY DIMENSIONS IN FIELD.
8. NEW DOOR AND HARDWARE IN AN EXISTING FRAME. VERIFY DIMENSIONS IN FIELD.
9. PROVIDE x"-x" METAL LOUVER IN DOOR MATCH EXISTING.
10. REMOVE AND REPLACE STEEL LINTEL AT EXISTING OPENING.
11. NEW HARDWARE ON EXISTING DOOR AND FRAME.



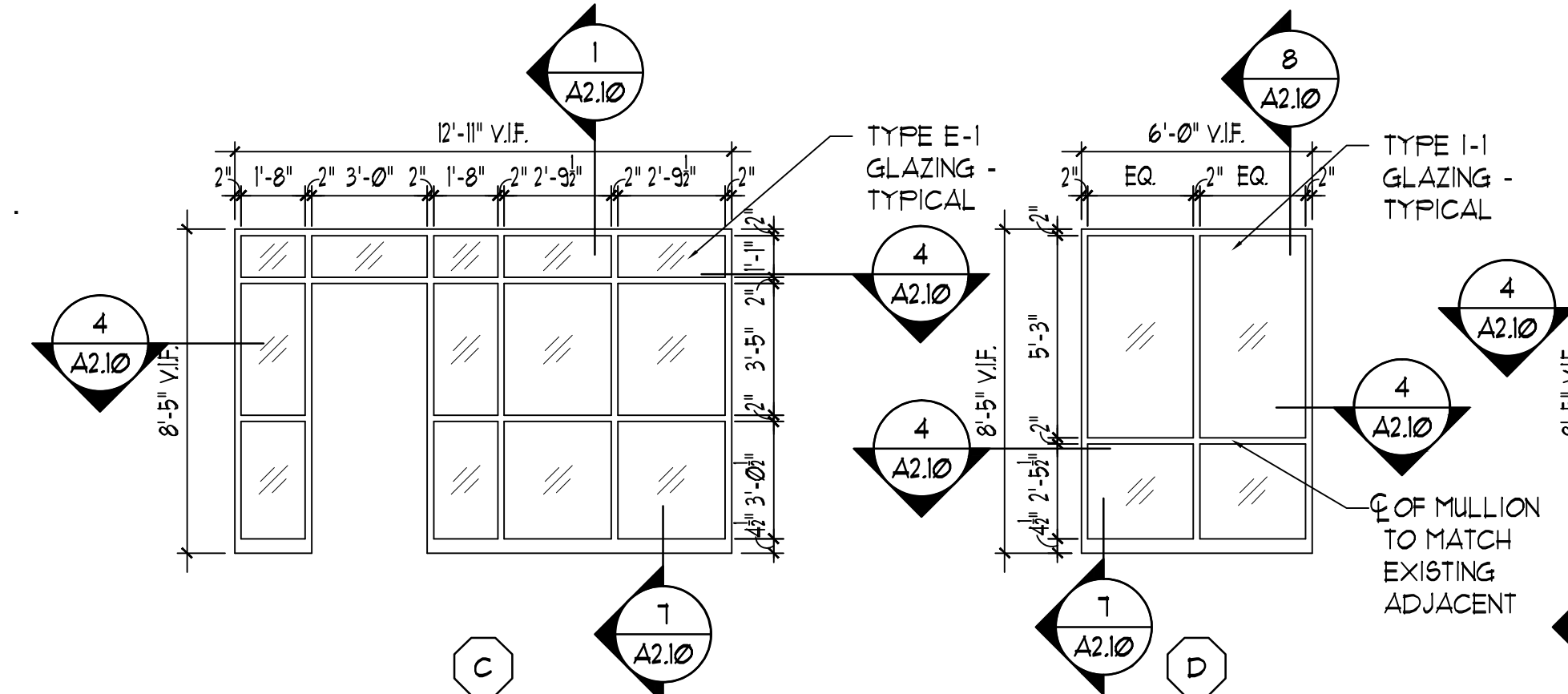
NOTE: PROVIDE SLIDING DOOR FRAME MOUNTED PLUNGER STYLE  
LOCK WITH (4) KEYS.




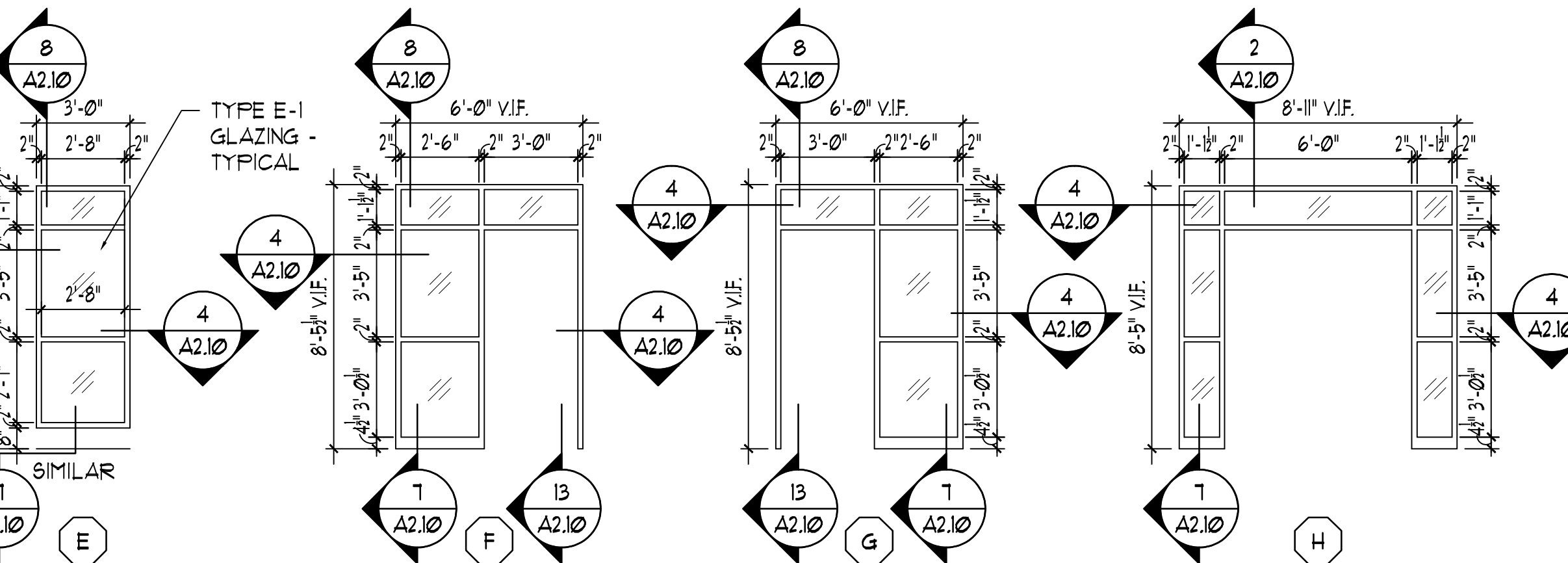
FRAME TYPES  
NOT TO SCALE



## ALUMINUM STOREFRONT FRAME TYPES



ALUMINUM STOREFRONT FRAME TYPES  
NOT TO SCALE



THOMAS R. SZURCZI  
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AR10800173  
STATE OF INDIANA  
ARCHITECT

*Thomas R. Szurczi*

EXPIRES 12/01/2021

**DUNELAND SCHOOL CORPORATION**

**2020 DOOR RENOVATION AT:**

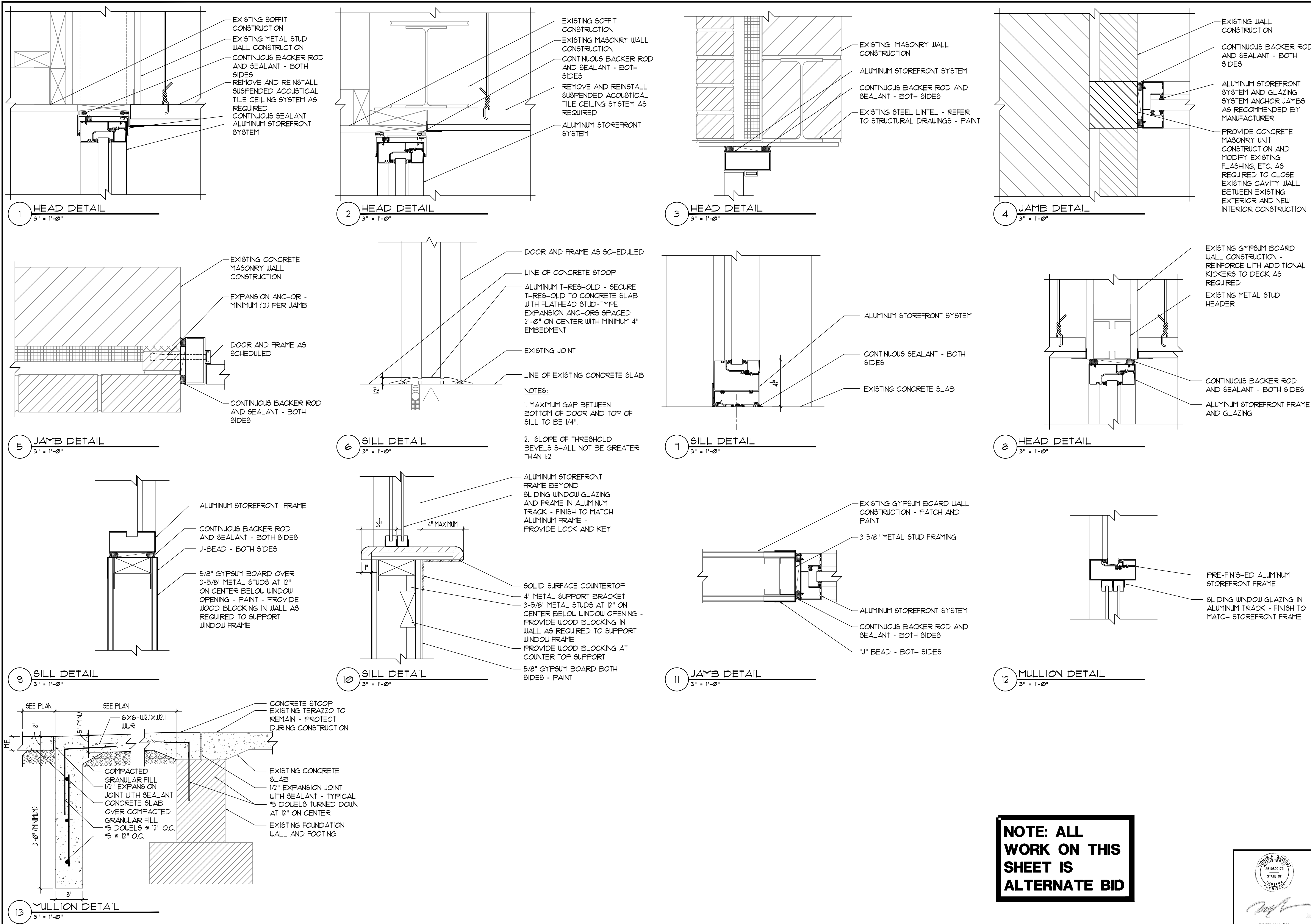
CHESTERSTON MIDDLE SCHOOL	BALLY ELEMENTARY SCHOOL
651 W. MORGAN AVENUE	800 S. 5TH STREET
CHESTERSTON, INDIANA 46304	CHESTERSTON, INDIANA 46304

PROJECT NUMBER:	19-0064
PROJECT MANAGER:	MG
DRUMIN BY:	GM
ISSUED FOR BID:	07/05/2010

DOOR AND FRAME SCHEDULE, TYPES,  
INTERIOR ELEVATIONS AND NOTES

## A2.00

SET 2 OF 2



**NOTE: ALL  
WORK ON THIS  
SHEET IS  
ALTERNATE BID**

**2020 DOOR RENOVATION AT:**  
CHESTERTON MIDDLE SCHOOL | BALLY ELEMENTARY SCHOOL  
651 W. MORGAN AVENUE | 800 S. 5TH STREET  
CHESTERTON, INDIANA 46304 | CHESTERTON, INDIANA 46304

PROJECT NUMBER: 18-004  
PROJECT MANAGER: HQ  
DRAWN BY: GT  
ISSUED FOR BID: 01/05/2020  
FRAME DETAILS  
ALTERNATE BID

**A2.10**  
SET 2 OF 2