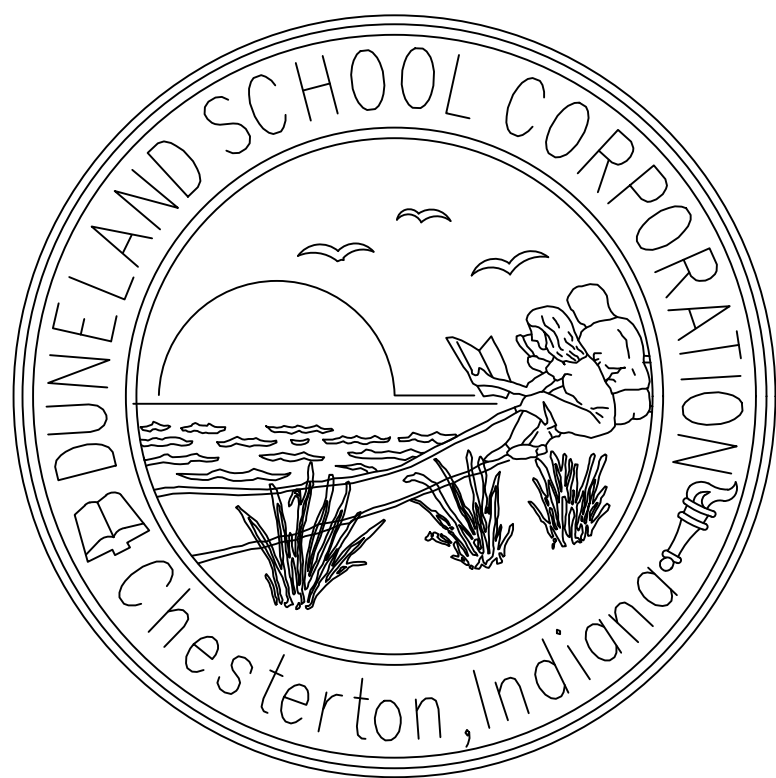




DUNELAND SCHOOL CORPORATION

2019 MECHANICAL RENOVATIONS AT: JACKSON ELEMENTARY SCHOOL

811 N. 400 E., VALPARAISO, INDIANA 46383
TRIA PROJECT#: 18-060

ARCHITECT:

TRIA ARCHITECTURE, INC.

West Suburban Office: 901 McClintock Drive, Suite 100
Burr Ridge, Illinois 60521

South Suburban Office: 1820 Ridge Road, Suite 209
Homewood, Illinois 60430

Indiana Office: 436 Sand Creek Drive N, Suite 105
Chesterton, Indiana 46304

Company Main: 630.455.4500 Fax: 630.455.4040
www.TriaArchitecture.com

M.E.P. CONSULTANT:

OAS, LLC.

769 Heartland Dr., Unit A
Sugar Grove, Illinois 60554

Phone: 630.538.1996
www.oasllc.net

GENERAL BUILDING CODE REQUIREMENTS

BUILDING CODES REFERENCED:
2012 INTERNATIONAL BUILDING CODE WITH 2014 INDIANA AMENDMENTS
2006 INTERNATIONAL PLUMBING CODE 2ND EDITION AMENDED INDIANA 2012
2008 NATIONAL ELECTRICAL CODE WITH 2009 INDIANA AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE WITH 2014 INDIANA AMENDMENTS
INDIANA ENERGY CONSERVATION CODE 2010
2012 INTERNATIONAL FIRE CODE WITH 2014 INDIANA AMENDMENTS
2012 INTERNATIONAL FUEL GAS CODE 2ND EDITION WITH 2014 INDIANA AMENDMENTS

OCCUPANCY CLASSIFICATION:
EDUCATIONAL GROUP E

DESIGN FIRM REGISTRATION:
THOMAS R. SZURGOT
INDIANA LICENSE NUMBER: *A10000113

DRAWING INDEX

T1.00 TITLE SHEET, SITE LOCATION MAP, INDEX, AND
GENERAL BUILDING CODE REQUIREMENTS

ARCHITECTURAL:
AG3.10 OVERALL FIRST FLOOR AND SECOND FLOOR MECHANICAL PENTHOUSE
PLAN
A0.11A FIRST FLOOR EXISTING REFLECTED CEILING PLAN - MODULE A
A0.11B FIRST FLOOR EXISTING REFLECTED CEILING PLAN - MODULE B
A1.10A FIRST FLOOR PLAN - MODULE A
A1.10B FIRST FLOOR PLAN - MODULE B
A5.00 BUILDING SECTIONS
A7.10A FIRST FLOOR REFLECTED CEILING PLAN - MODULE A
A7.10B FIRST FLOOR REFLECTED CEILING PLAN - MODULE B
A7.11 ENLARGED CEILING PLAN - ALTERNATE BID

MECHANICAL:
M0.10A FIRST FLOOR EXISTING PLAN - MODULE A - MECHANICAL
M0.10B FIRST FLOOR EXISTING PLAN - MODULE B - MECHANICAL
M0.20 LARGE SCALE EXISTING PLANS - MECHANICAL
M1.10A FIRST FLOOR NEW WORK PLAN - MODULE A - MECHANICAL
M1.10B FIRST FLOOR NEW WORK PLAN - MODULE B - MECHANICAL
M1.20 LARGE SCALE NEW WORK PLANS - MECHANICAL
M2.00 LARGE SCALE NEW WORK SECTIONS - MECHANICAL
M3.00 DETAILS - MECHANICAL
M4.00 SYMBOLS, NOTES, ABBREVIATIONS AND SCHEDULE - MECHANICAL

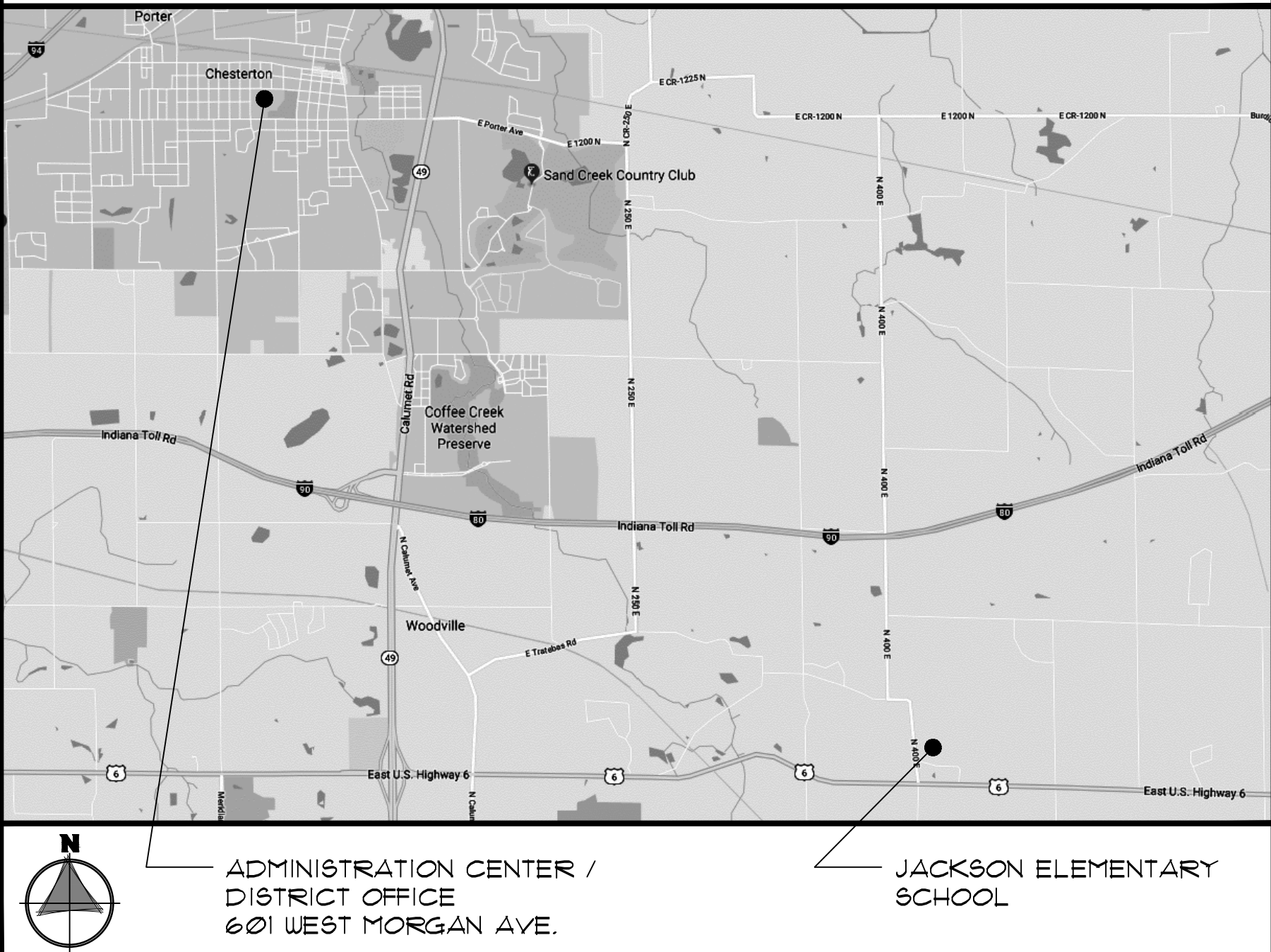
FIRE PROTECTION:
FF0.10A FIRST FLOOR EXISTING PLAN - MODULE A - FIRE PROTECTION
FF0.10B FIRST FLOOR EXISTING PLAN - MODULE B - FIRE PROTECTION
FF1.10A FIRST FLOOR PLAN - MODULE A - FIRE PROTECTION
FF1.10B FIRST FLOOR PLAN - MODULE B - FIRE PROTECTION
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ELECTRICAL:
E0.10A FIRST FLOOR EXISTING PLAN - MODULE A AND MECHANICAL ROOM PLAN
- ELECTRICAL
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E1.10B FIRST FLOOR NEW WORK PLAN - MODULE B - ELECTRICAL
E4.00 SCHEDULE AND NOTES - ELECTRICAL

SCHOOL BOARD

BOARD PRESIDENT	BRANDON KROFT
BOARD VICE PRESIDENT	KRISTIN KROEGER
BOARD SECRETARY	RONALD STONE
BOARD MEMBER	ALATNA LIGHTFOOT POL
BOARD MEMBER	JOHN MARSHALL
INTERIM SUPERINTENDENT	JUDITH MALASTO

SITE LOCATION MAP

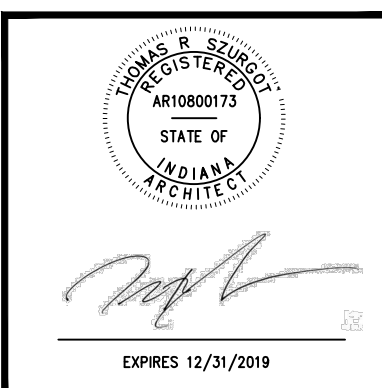


ISSUED FOR BID:

03/05/2019

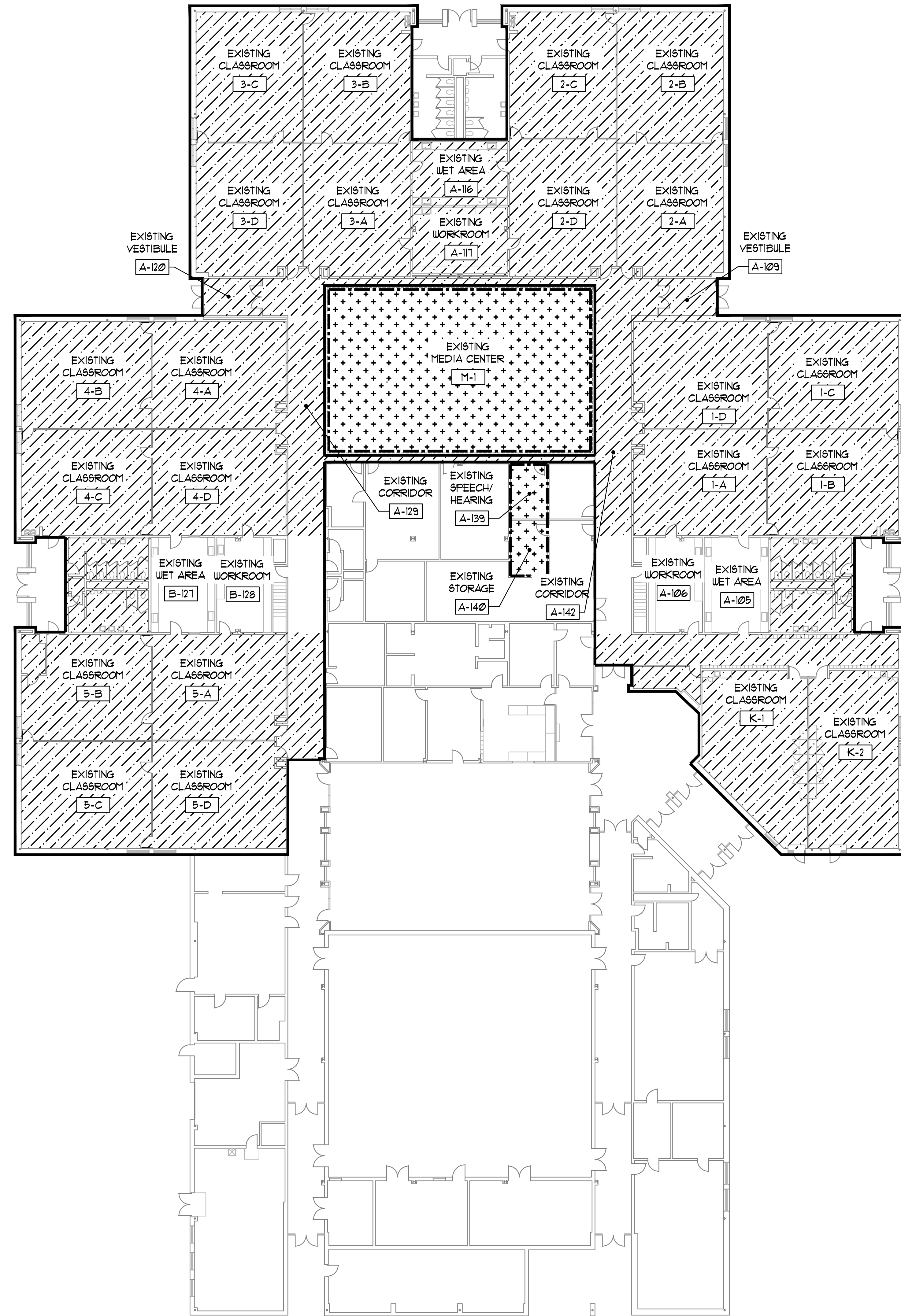
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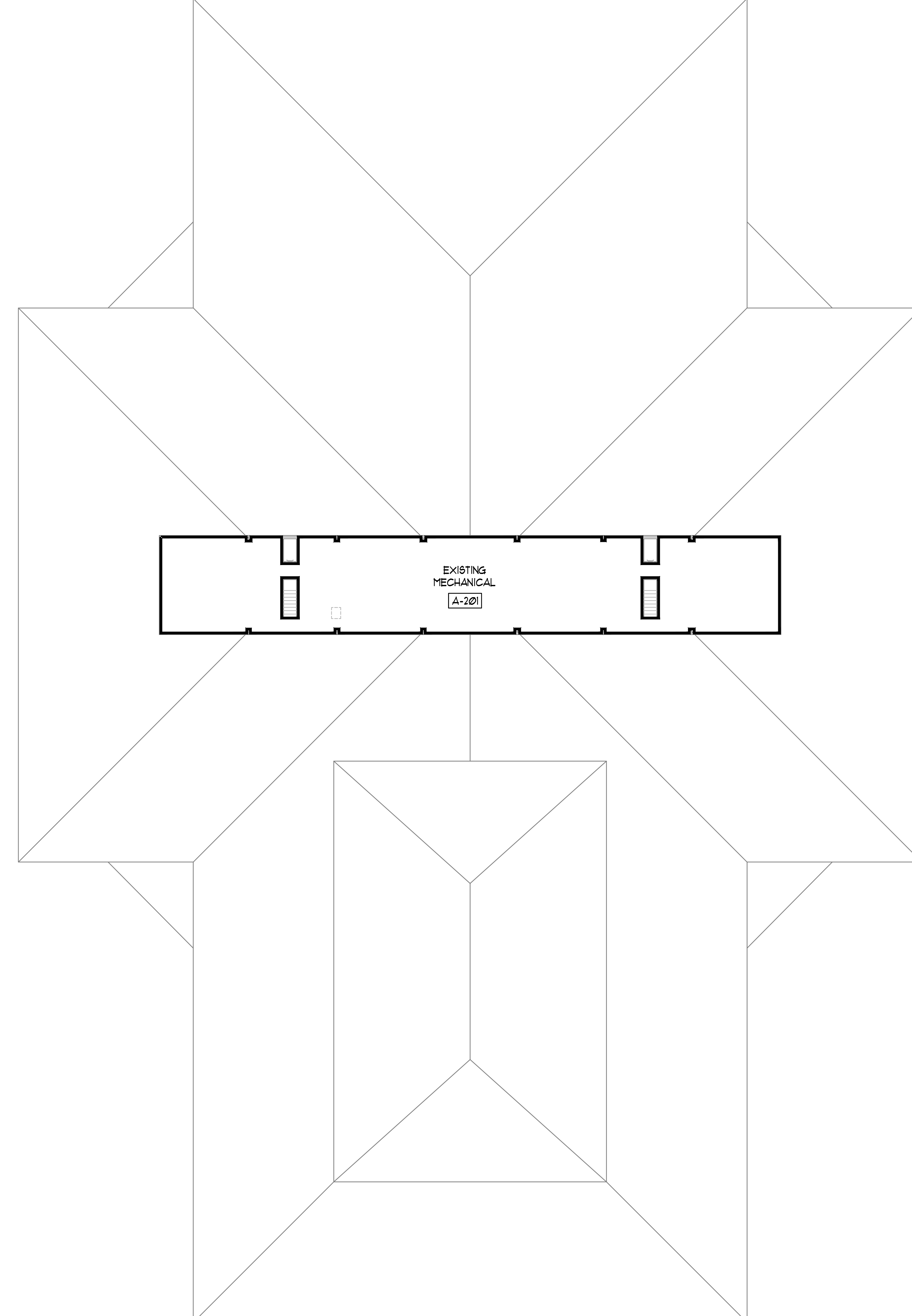


REVISIONS:

T1.00



1 OVERALL FIRST FLOOR PLAN
1/16" = 1'-0"



2 SECOND FLOOR MECHANICAL PENTHOUSE
1/16" = 1'-0"

GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
2. REFER TO ELECTRICAL, MECHANICAL, AND FIRE PROTECTION DRAWINGS FOR MORE INFORMATION.

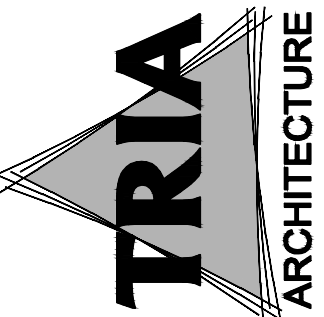
LEGEND

— BASE BID

--- ALTERNATE BID (EXISTING MEDIA CENTER AND SPEECH/HEARING A-139, STORAGE A-140 AND MECHANICAL A-201)

AREA TO RECEIVE VAPOR BARRIER ABOVE CEILING UNDER BASE BID

AREA TO RECEIVE VAPOR BARRIER ABOVE CEILING UNDER ALTERNATE BID

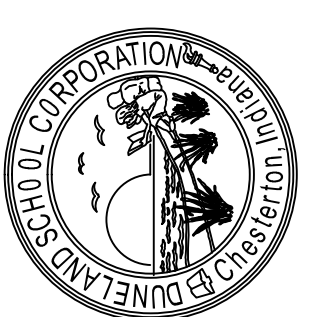


TRIA
ARCHITECTURE

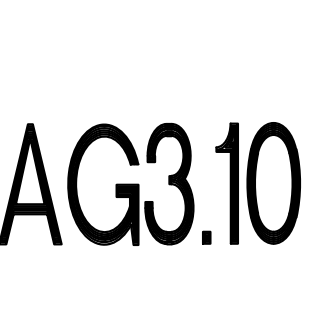
PROJECT NUMBER: 18-040
PROJECT NAME: JACSON ELEMENTARY SCHOOL
DRAWN BY: [Signature]

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 08/05/2019

OVERALL FIRST FLOOR AND SECOND FLOOR
MECHANICAL PENTHOUSE



DUNELAND SCHOOL CORPORATION



AG3.10

EXISTING REFLECTED CEILING PLAN GENERAL NOTES

- WHERE EXISTING CEILING SYSTEMS ARE NOTED TO BE REMOVED ALL LIGHTS, EQUIPMENT AND CEILING-MOUNTED SPEAKERS TO BE REMOVED IN THEIR ENTIRETY UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS.
- REFER TO SHEETS A-100 AND MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR SCOPE OF NEW WORK.
- REFER TO ELECTRICAL PLANS FOR ADDITIONAL CEILING MOUNTED DEVICES AND EQUIPMENT TO BE REMOVED.
- CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK

UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.

SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM DEMOLITION WORK.

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING,

REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.

PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

LEGEND

- | | | | |
|--|---|--|--|
| | SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED IN ITS ENTIRETY - REMOVE ALL LIGHTS, LOUVERS, AND OTHER DEVICES. | | EXISTING SPEAKER TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS |
| | EXISTING GYPSUM BOARD CEILING CONSTRUCTION TO BE REMOVED IN ITS ENTIRETY - REMOVE ALL LIGHTS, LOUVERS, AND OTHER DEVICES. | | EXISTING CONSTRUCTION TO BE REMOVED |
| | RECESSED LIGHT FIXTURE TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS | | EXISTING CONSTRUCTION TO REMAIN |
| | RECESSED LIGHT FIXTURE TO REMAIN - REFER TO ELECTRICAL DRAWINGS | | EXISTING MECHANICAL SUPPLY DIFFUSER TO BE REMOVED - REFER TO MECHANICAL DRAWING |
| | EXISTING CEILING FAN TO BE REMOVED, RELOCATED AND REINSTALLED - REFER TO ELECTRICAL DRAWINGS | | EXISTING MECHANICAL RETURN/EXHAUST DIFFUSER TO BE REMOVED - REFER TO MECHANICAL DRAWINGS |
| | | | EXISTING EXIT SIGN TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS |

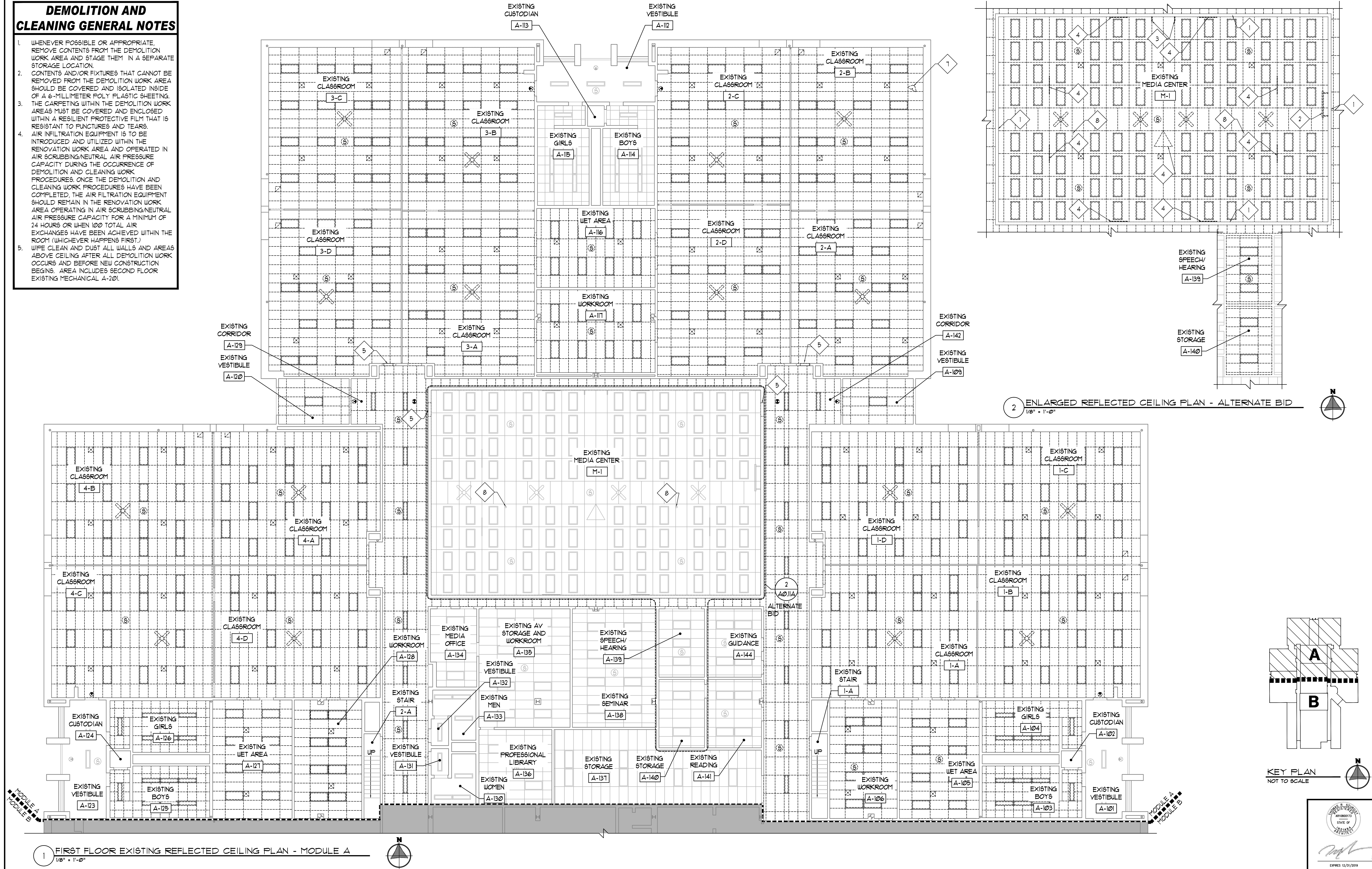
EXISTING REFLECTED CEILING PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- EXISTING GYPSUM BOARD SOFFIT - PROTECT DURING CONSTRUCTION.
- EXISTING WALL MOUNTED PROJECTOR SCREEN AND BRACKETS TO BE REMOVED AND REINSTALLED.
- EXISTING WALL BRACKETS TO BE REMOVED AND REINSTALLED.
- EXISTING CEILING HANG SIGNAGE TO BE REMOVED AND REINSTALLED BY OWNER.
- EXISTING WALL CONSTRUCTION (ABOVE CEILING) TO BE REMOVED TO PROVIDE WORK INDICATED - REFER TO MECHANICAL DRAWINGS.
- HATCH INDICATES AREA OF CEILING AND LIGHTS TO BE REMOVED AND REINSTALLED TO PROVIDE WORK INDICATED - REFER TO MECHANICAL DRAWINGS.
- EXISTING CEILING MOUNTED EQUIPMENT TO BE REMOVED AND REINSTALLED BY OWNER.
- EXISTING POWER POLE TO REMAIN - REFER TO ELECTRICAL.

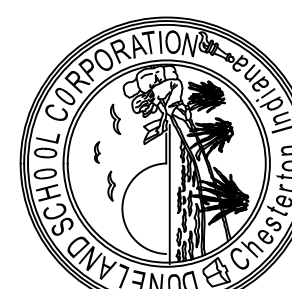
DEMOLITION AND CLEANING GENERAL NOTES

- WHENEVER POSSIBLE OR APPROPRIATE, REMOVE CONTENTS FROM THE DEMOLITION WORK AREA AND STAGE THEM IN A SEPARATE STORAGE LOCATION.
- CONTENTS AND/OR FIXTURES THAT CANNOT BE REMOVED FROM THE DEMOLITION WORK AREA SHOULD BE COVERED AND ISOLATED INSIDE OF A 6-MILLIMETER POLY PLASTIC SHEETING.
- THE CARPETING WITHIN THE DEMOLITION WORK AREAS MUST BE COVERED AND ENCLOSED WITHIN A RESILIENT PROTECTIVE FILM THAT IS RESISTANT TO PUNCTURES AND TEARS.
- AIR INFILTRATION EQUIPMENT IS TO BE INTRODUCED AND UTILIZED WITHIN THE RENOVATION WORK AREA AND OPERATED IN AIR SCRUBBING/NEUTRAL AIR PRESSURE CAPACITY DURING THE OCCURRENCE OF DEMOLITION AND CLEANING WORK PROCEDURES. ONCE THE DEMOLITION AND CLEANING WORK PROCEDURES HAVE BEEN COMPLETED, THE AIR FILTRATION EQUIPMENT SHOULD REMAIN IN THE RENOVATION WORK AREA OPERATING IN AIR SCRUBBING/NEUTRAL AIR PRESSURE CAPACITY FOR A MINIMUM OF 24 HOURS OR WHEN 100 TOTAL AIR EXCHANGES HAVE BEEN ACHIEVED WITHIN THE ROOM (WHICHEVER HAPPENS FIRST.)
- WIFE CLEAN AND DUST ALL WALLS AND AREAS ABOVE CEILING AFTER ALL DEMOLITION WORK OCCURS AND BEFORE NEW CONSTRUCTION BEGINS. AREA INCLUDES SECOND FLOOR EXISTING MECHANICAL A-201.



DUNELAND SCHOOL CORPORATION
2019 MECHANICAL RENOVATIONS AT:
JACKSON ELEMENTARY SCHOOL
811 N. 400 E. VALPARAISO, INDIANA 46383

REVISIONS	DATE	BY	APP'D BY
1	08/07/2019	AW	AW
2	08/07/2019	AW	AW
3	08/07/2019	AW	AW
4	08/07/2019	AW	AW



A0.11A

EXISTING REFLECTED CEILING PLAN GENERAL NOTES

- WHERE EXISTING CEILING SYSTEMS ARE NOTED TO BE REMOVED ALL LIGHTS, EQUIPMENT AND CEILING-MOUNTED SPEAKERS TO BE REMOVED IN THEIR ENTIRETY UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS.
- REFER TO SHEETS A-10 AND MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR SCOPE OF NEW WORK.
- REFER TO ELECTRICAL PLANS FOR ADDITIONAL CEILING MOUNTED DEVICES AND EQUIPMENT TO BE REMOVED.
- CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
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6. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM DEMOLITION WORK.

7. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING,

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8. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

9. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

LEGEND

- | | | | |
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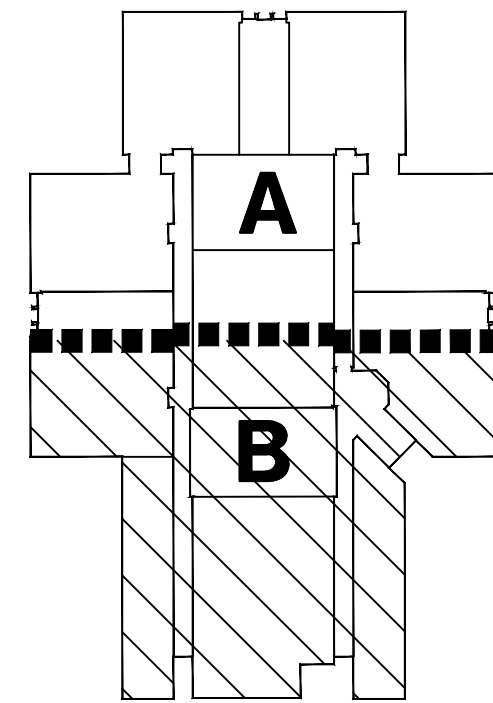
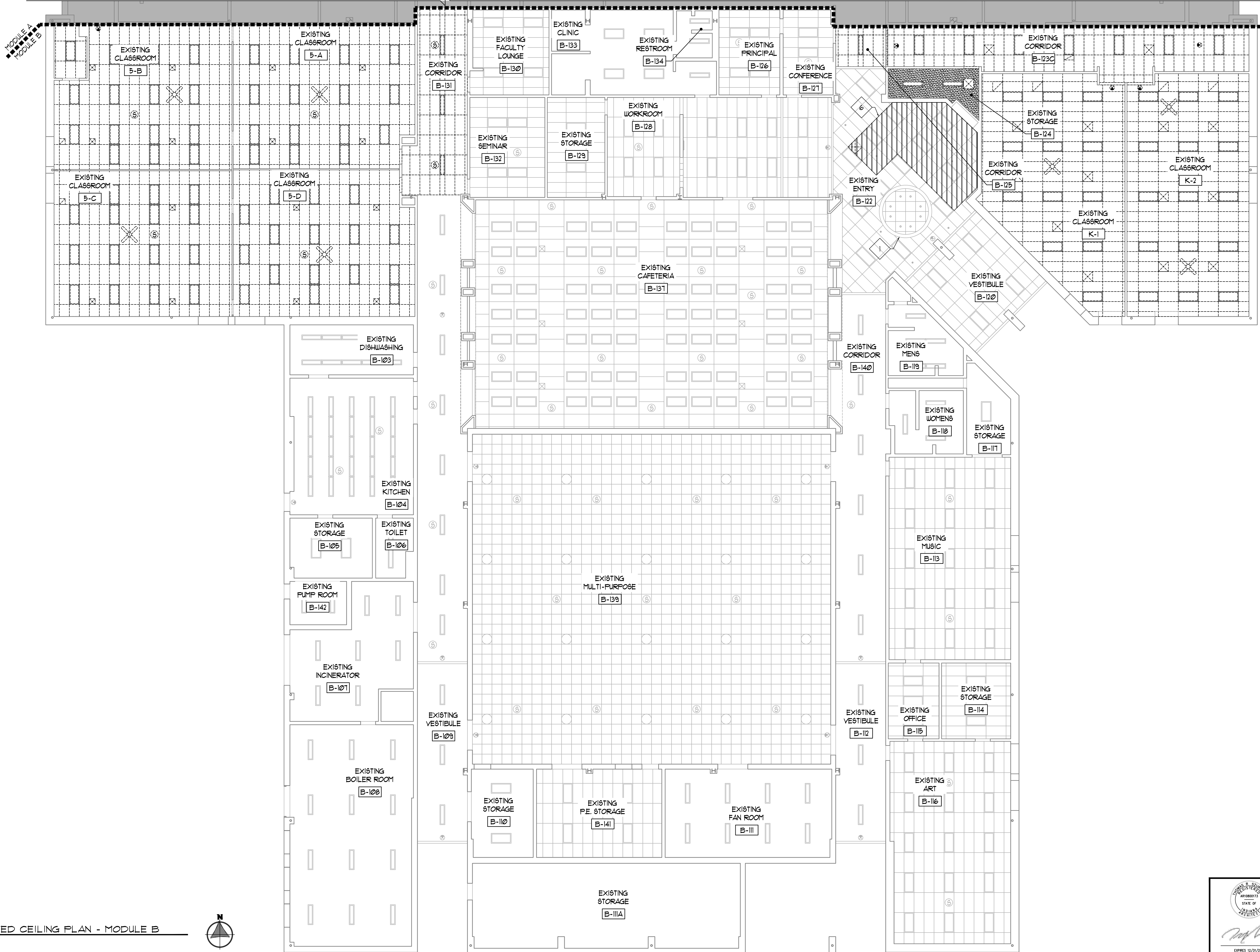
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(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- EXISTING GYPSUM BOARD SOFFIT - PROTECT DURING CONSTRUCTION.
- EXISTING WALL MOUNTED PROJECTOR SCREEN AND BRACKETS TO BE REMOVED AND REINSTALLED.
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- EXISTING CEILING HANG SIGNAGE TO BE REMOVED AND REINSTALLED BY OWNER.
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- EXISTING POWER POLE TO REMAIN - REFER TO ELECTRICAL.

DEMOLITION AND CLEANING GENERAL NOTES

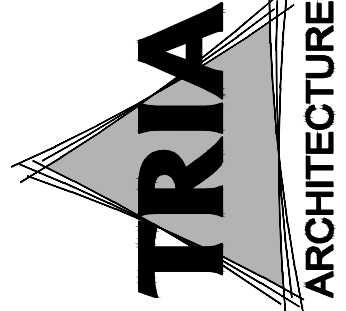
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- WIFE CLEAN AND DUST ALL WALLS AND AREAS ABOVE CEILING AFTER ALL DEMOLITION WORK OCCURS AND BEFORE NEW CONSTRUCTION BEGINS. AREA INCLUDES SECOND FLOOR EXISTING MECHANICAL A-201.



KEY PLAN
NOT TO SCALE



1 FIRST FLOOR EXISTING REFLECTED CEILING PLAN - MODULE B
1/8" = 1'-0"

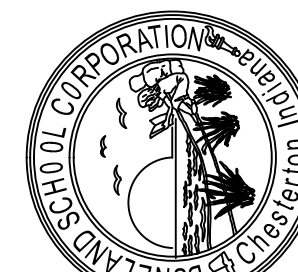


TRIA ARCHITECTURE

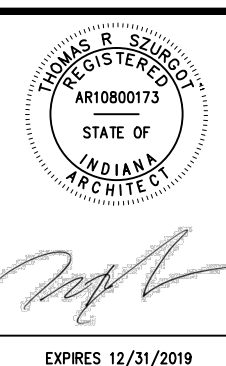
TRIA ARCHITECTURE

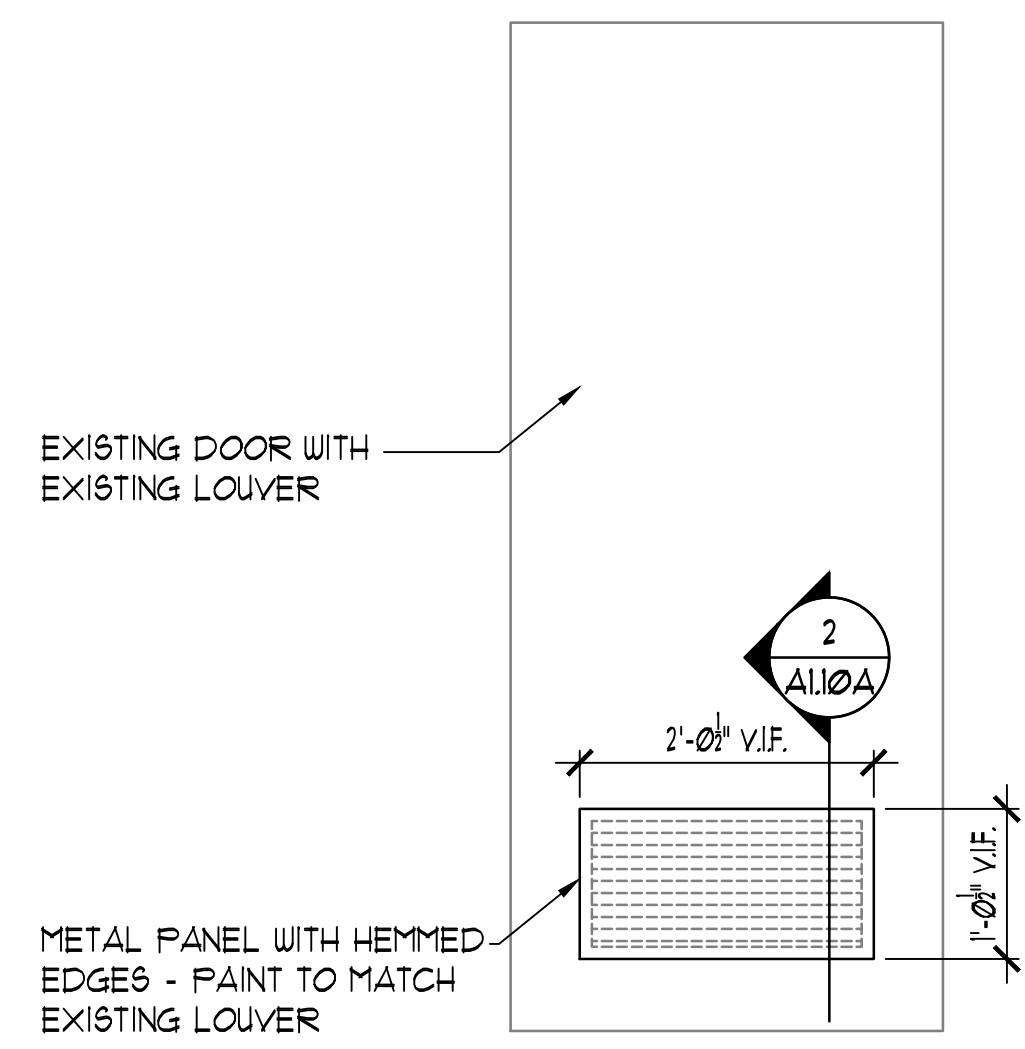
DUNELAND SCHOOL CORPORATION
2019 MECHANICAL RENOVATIONS AT:
JACKSON ELEMENTARY SCHOOL
811 N. 400 E. VALPARAISO, INDIANA 46383

REVISIONS
PROJECT NUMBER: B-100
DRAWN BY: JG
DATE: 01/15/2019
ISSUED FOR BIDDING: 01/15/2019
FIRST FLOOR EXISTING REFLECTED CEILING PLAN - MODULE B

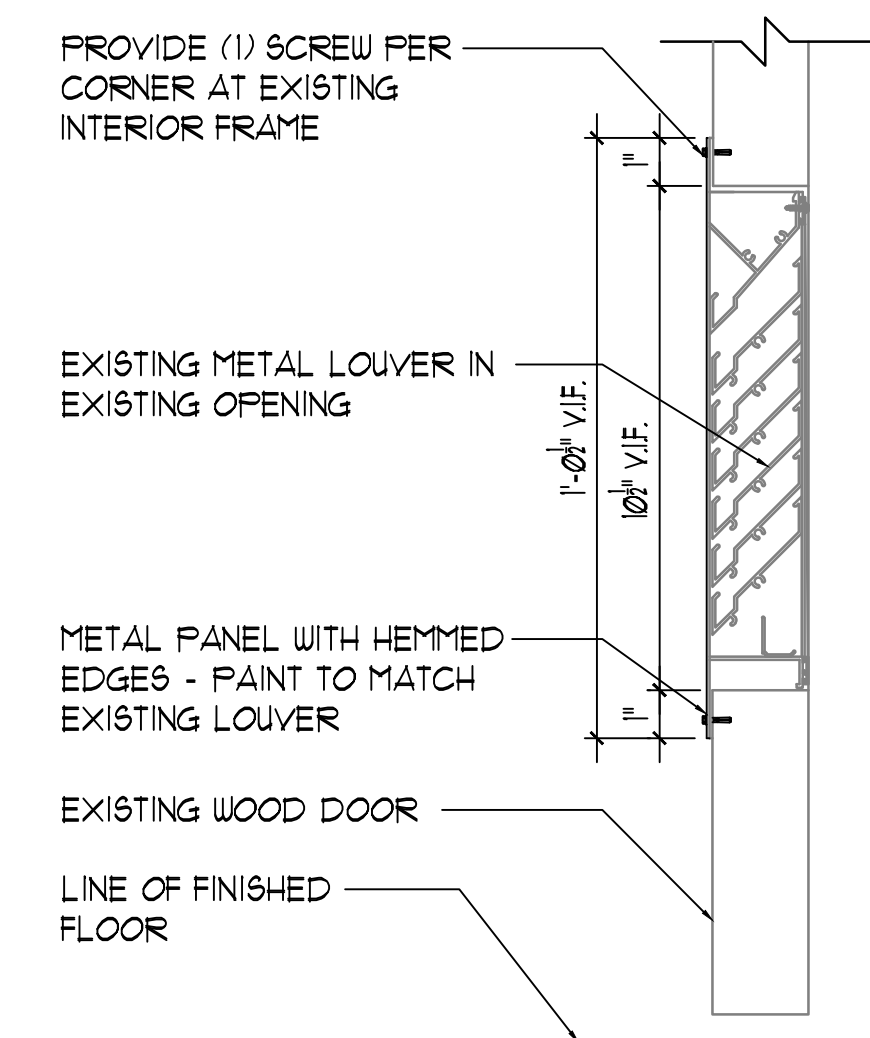


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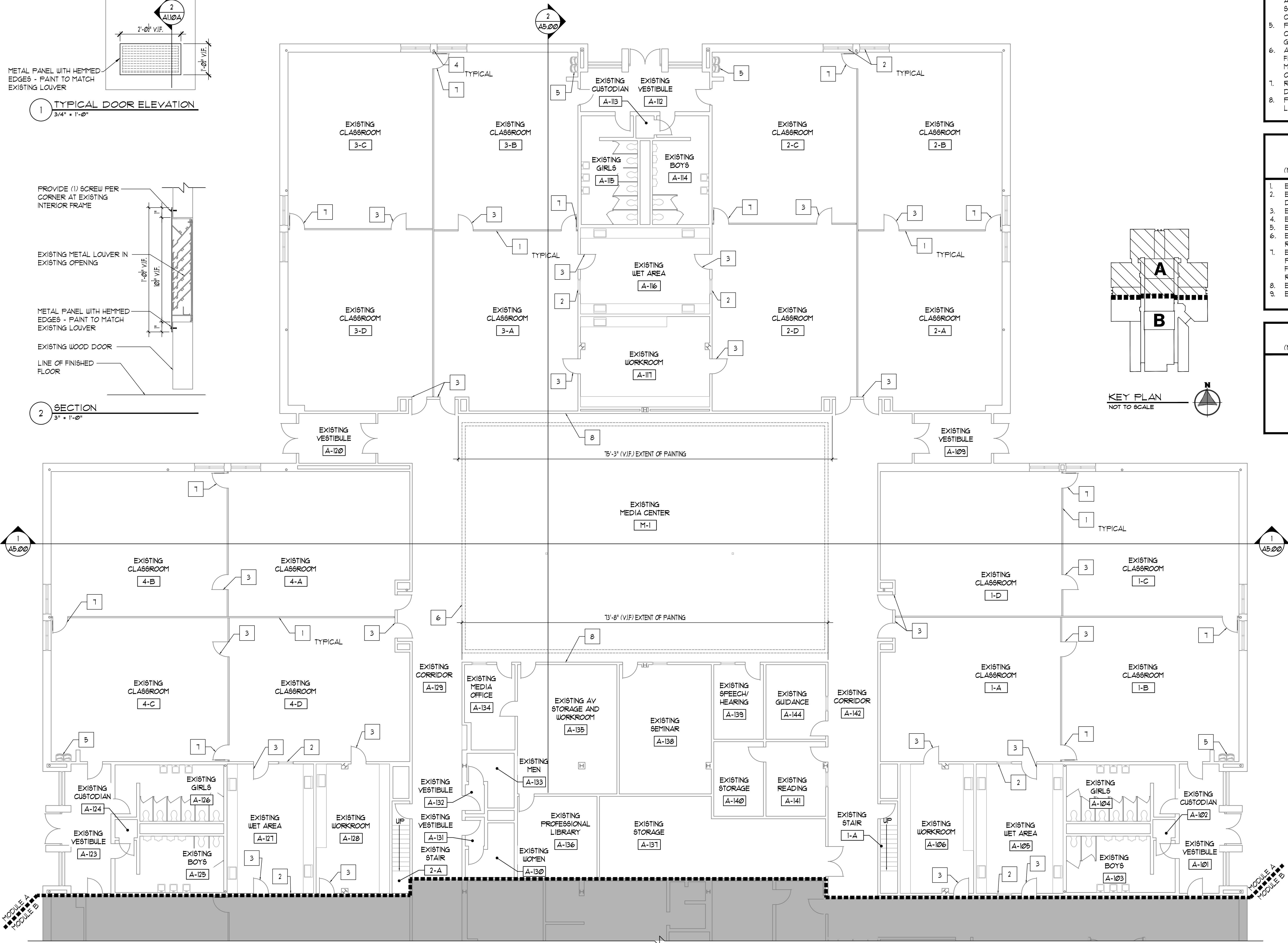




1 TYPICAL DOOR ELEVATION
3/4" = 1'-0"



2 SECTION
3" = 1'-0"



3 FIRST FLOOR PLAN - MODULE A
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

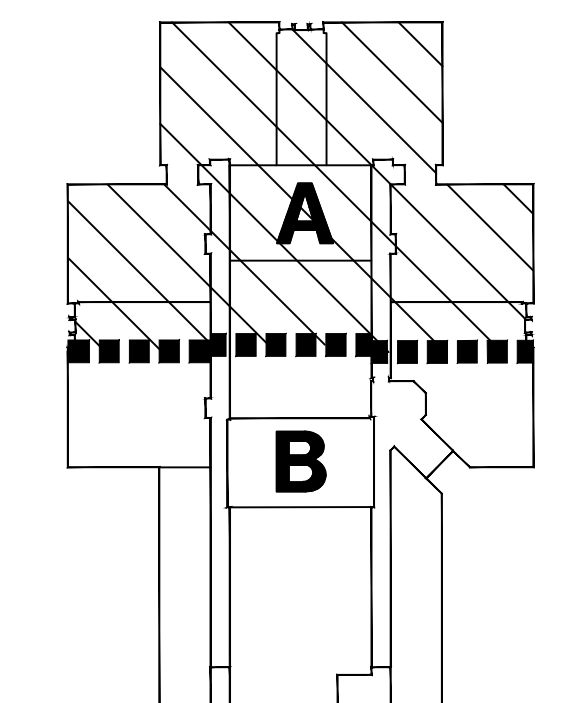
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD.
2. ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
3. REFER TO PROJECT MANUAL FOR PRODUCTS, MATERIALS, PROCEDURES AND ADDITIONAL INFORMATION NOT COVERED IN DRAWINGS.
4. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
5. PAINT ALL NEW EXPOSED WALL, PLASTER OR GYPSUM CEILING AND SOFFIT, AND EXPOSED PATCHED WALL AND GYPSUM CEILING SURFACES.
6. AT REMOVED MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT, INFILL WALL CONSTRUCTION TO MATCH EXISTING ADJACENT WALL CONSTRUCTION. IF OPENING IS BELOW CEILING - PAINT.
7. REFER TO MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
8. PROVIDE LINTELS ABOVE ALL DOORS, CUT PENETRATIONS, LOUVERS, ETC.

FLOOR PLAN REFERENCED NOTES

- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
1. EXISTING WALL CONSTRUCTION.
 2. EXISTING WINDOW FRAME AND GLAZING SYSTEM - PROTECT DURING CONSTRUCTION.
 3. EXISTING DOOR AND FRAME.
 4. EXISTING STRUCTURAL COLUMN.
 5. EXISTING PLUMBING EQUIPMENT.
 6. EXISTING GYPSUM BOARD SOFFIT ABOVE - REFER TO REFLECTED CEILING PLANS FOR MORE INFORMATION.
 7. EXISTING DOOR AND FRAME WITH EXISTING LOUVER - PROVIDE METAL PANEL WITH HEMMED EDGES - SCREW FASTEN TO FRAME AND PAINT TO MATCH EXISTING LOUVER - REFER TO DETAIL 1/A110A AND 2/A110A.
 8. EXISTING WALL CONSTRUCTION - PAINT.
 9. EXISTING DISPLAY CASE - PROTECT DURING CONSTRUCTION.

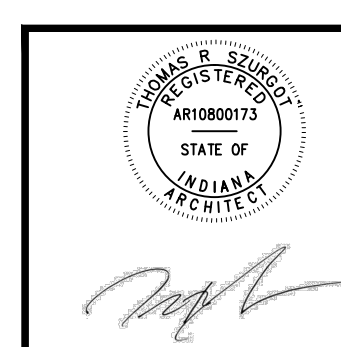
LEGEND

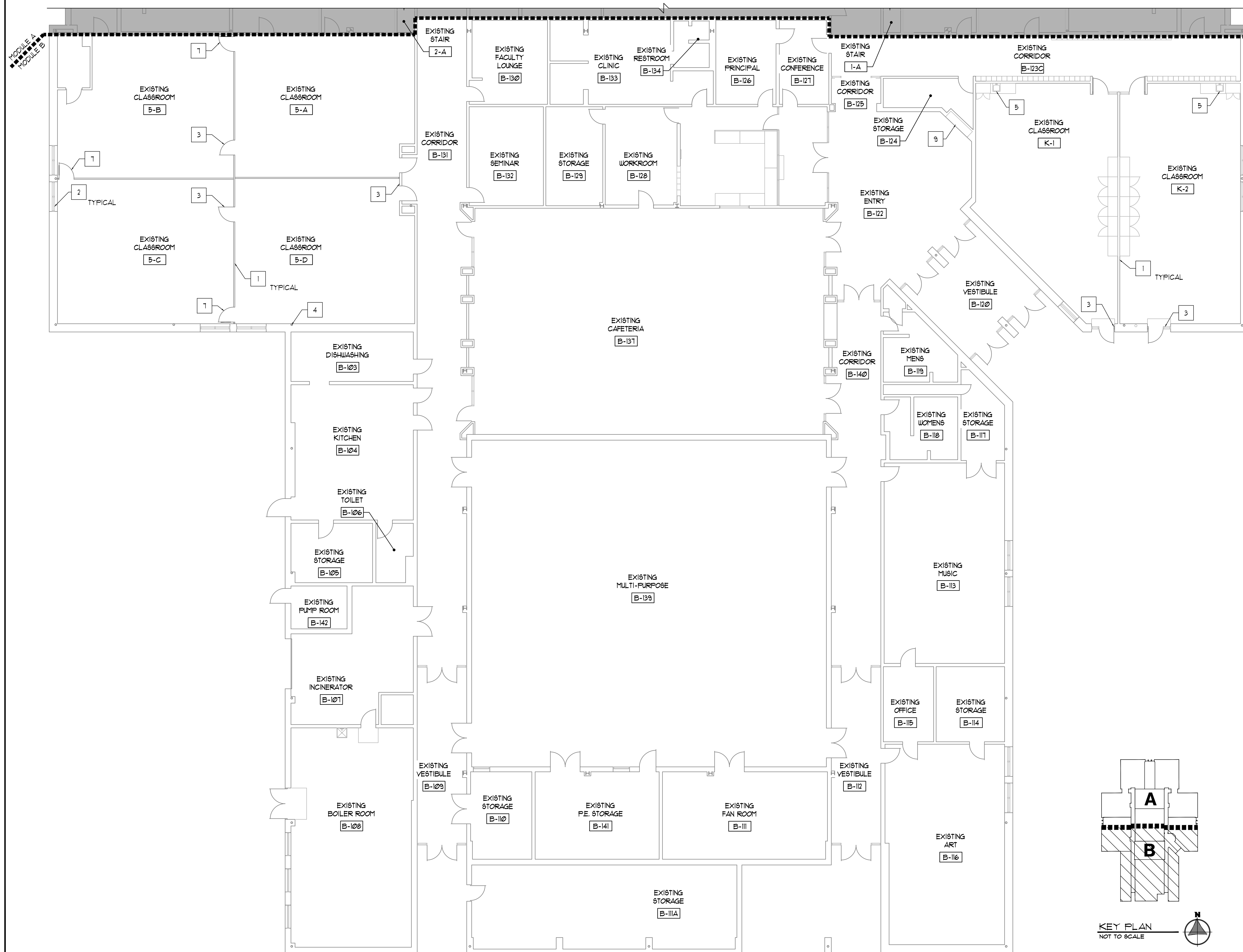
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
 - HATCHED AREA INDICATES AREA OF NEW FLOORING. PATCH FLOORING IN WHOLE UNITS TO MATCH EXISTING.



KEY PLAN
NOT TO SCALE

REVISIONS	DATE	BY	APP'D
1	12/21/2019	TRIA	TRIA
2	12/21/2019	TRIA	TRIA
3	12/21/2019	TRIA	TRIA
4	12/21/2019	TRIA	TRIA





FLOOR PLAN GENERAL NOTES

1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD.
2. ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
3. REFER TO PROJECT MANUAL FOR PRODUCTS, MATERIALS, PROCEDURES AND ADDITIONAL INFORMATION NOT COVERED IN DRAWINGS.
4. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
5. PAINT ALL NEW EXPOSED WALL, PLASTER OR GYPSUM CEILING AND SOFFIT, AND EXPOSED PATCHED WALL AND GYPSUM CEILING SURFACES.
6. AT REMOVED MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT, INFILL WALL CONSTRUCTION TO MATCH EXISTING ADJACENT WALL CONSTRUCTION. IF OPENING IS BELOW CEILING - PAINT.
7. REFER TO MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
8. PROVIDE LINTELS ABOVE ALL DOORS, CUT PENETRATIONS, LOUVERS, ETC.

FLOOR PLAN REFERENCED NOTES

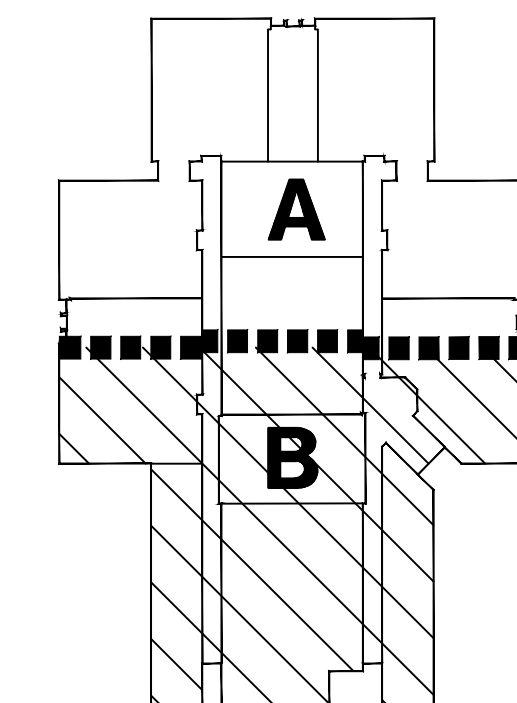
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. EXISTING WALL CONSTRUCTION.
2. EXISTING WINDOW FRAME AND GLAZING SYSTEM - PROTECT DURING CONSTRUCTION.
3. EXISTING DOOR AND FRAME.
4. EXISTING STRUCTURAL COLUMN.
5. EXISTING PLUMBING EQUIPMENT.
6. EXISTING GYPSUM BOARD SOFFIT ABOVE - REFER TO REFLECTED CEILING PLANS FOR MORE INFORMATION.
7. EXISTING DOOR AND FRAME WITH EXISTING LOUVER - PROVIDE METAL PANEL WITH HEMMED EDGES - SCREW FASTEN TO FRAME AND PAINT TO MATCH EXISTING LOUVER - REFER TO DETAIL 1/4110A AND 2/4110A.
8. EXISTING WALL CONSTRUCTION - PAINT.
9. EXISTING DISPLAY CASE - PROTECT DURING CONSTRUCTION.

LEGEND

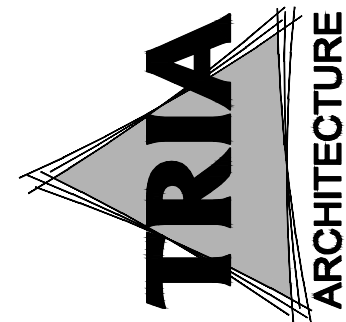
(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- HATCHED AREA INDICATES WORK WITHIN OTHER MODULE
- HATCHED AREA INDICATES AREA OF NEW FLOORING, PATCH FLOORING IN WHOLE UNITS TO MATCH EXISTING.



KEY PLAN
NOT TO SCALE

1 FIRST FLOOR PLAN - MODULE B
1/8" = 1'-0"



TRIA ARCHITECTURE
1000 N. 10TH ST., SUITE 100
MILWAUKEE, WI 53233

PROJECT NUMBER: B-1000

PROJECT NAME: 2019 MECHANICAL RENOVATIONS AT JACKSON ELEMENTARY SCHOOL

DATE: 12/21/2019

BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

SCALE: 1/8" = 1'-0"

PROJECT LOCATION: 811 N. 400 E. VALPARAISO, INDIANA 46383

PROJECT OWNER: DUNELAND SCHOOL CORPORATION

PROJECT MANAGER: [Signature]

PROJECT COORDINATOR: [Signature]

PROJECT ARCHITECT: [Signature]

PROJECT ENGINEER: [Signature]

PROJECT SURVEYOR: [Signature]

PROJECT LANDSCAPE ARCHITECT: [Signature]

PROJECT HISTORIC ARCHITECT: [Signature]

PROJECT INTERIOR DESIGNER: [Signature]

PROJECT EXTERIOR DESIGNER: [Signature]

PROJECT LIGHTING DESIGNER: [Signature]

PROJECT SOUND DESIGNER: [Signature]

PROJECT VIDEO DESIGNER: [Signature]

PROJECT AUDIO DESIGNER: [Signature]

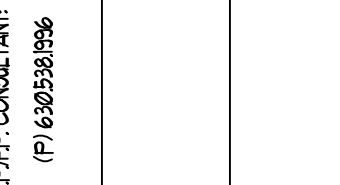
PROJECT TELEVISION DESIGNER: [Signature]

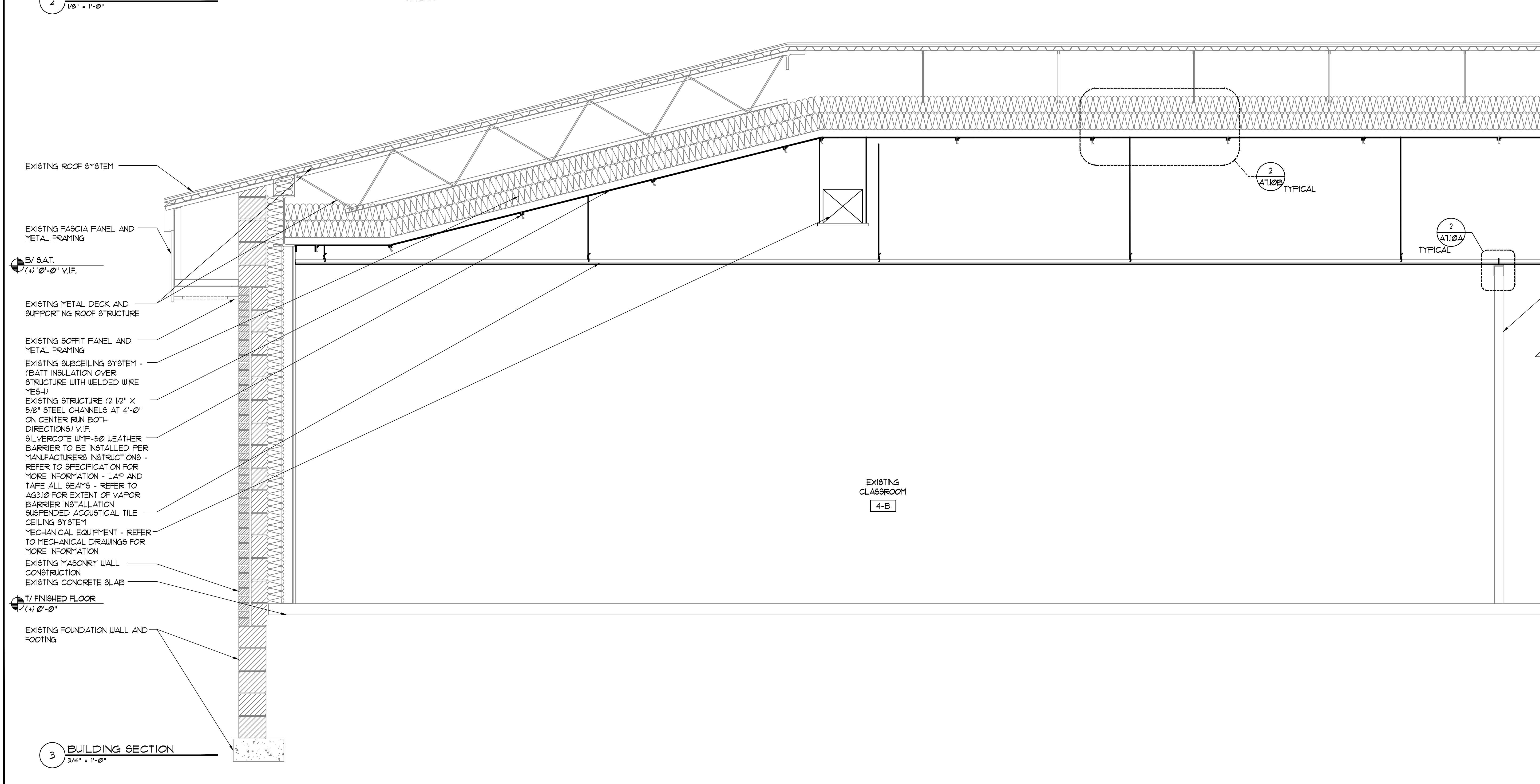
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PROJECT WIRELESS DESIGNER: [Signature]

PROJECT FIBER OPTIC DESIGNER: [Signature]

PROJECT SECURITY DESIGNER: [Signature]





REFLECTED CEILING PLAN GENERAL NOTES

- ALL CEILINGS TO BE INSTALLED AT EXISTING HEIGHT UNLESS NOTED OTHERWISE. DESIGN INTENT IS TO MATCH EXISTING CEILING HEIGHT. CONTRACTOR TO COORDINATE ALL HEIGHTS IN FIELD WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS (NEW AND EXISTING) - NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO INSTALLATION. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL AREAS OF ABOVE CEILING WORK REMOVE AND PATCH /OR RE-INSTALL EXISTING CEILINGS IN THESE LOCATIONS ONLY AS REQUIRED TO PROVIDE WORK INDICATED TO OCCUR PRIOR TO PHASE OF CEILING WORK.
- CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEMING SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

LEGEND

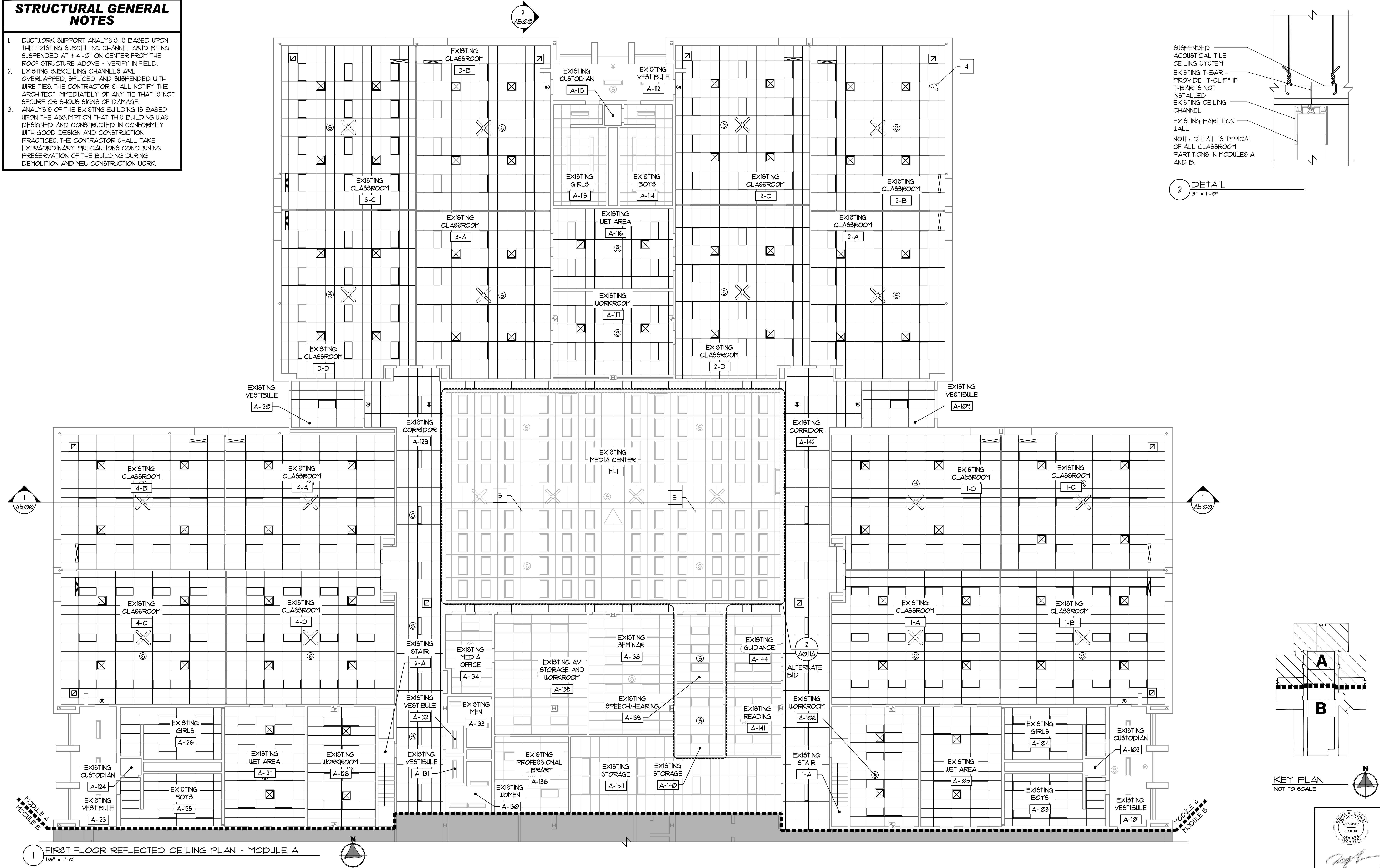
- | | | | |
|--|---|--|---|
| | 2'x4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE 1 - REFER TO SPECIFICATIONS | | AREA OF GYPSUM BOARD CEILING - 5/8" GYPSUM BOARD SUPPORTED BY 3-5/8" METAL STUD FRAMING AT 16" ON CENTER MAXIMUM - PAINT. |
| | 2'x4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE 2 - REFER TO SPECIFICATIONS | | SPEAKER - REFER TO ELECTRICAL DRAWINGS |
| | 2' x 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS | | EXIT SIGN - REFER TO ELECTRICAL DRAWINGS |
| | 1' x 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS | | MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS |
| | 4' x 4' PENDANT MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS | | ELECTRIC FAN - REFER TO ELECTRICAL DRAWINGS |

REFLECTED CEILING PLAN REFERENCED NOTES

- EXISTING GYPSUM BOARD SOFFIT - PAINT.
- EXISTING WALL MOUNTED PROJECTOR SCREEN AND BRACKETS TO BE REINSTALLED.
- EXISTING WALL BRACKETS TO BE REINSTALLED.
- EXISTING CEILING MOUNTED EQUIPMENT TO BE REINSTALLED BY OWNER.
- EXISTING POWER POLE
- HATCH INDICATES AREA OF CEILING AND LIGHTS TO BE REINSTALLED - REFER TO MECHANICAL DRAWINGS.

STRUCTURAL GENERAL NOTES

- DUCTWORK SUPPORT ANALYSIS IS BASED UPON THE EXISTING SUBCEILING CHANNEL GRID BEING SUSPENDED AT ± 4'-0" ON CENTER FROM THE ROOF STRUCTURE ABOVE - VERIFY IN FIELD.
- EXISTING SUBCEILING CHANNELS ARE OVERLAPPED, SPLICED, AND SUSPENDED WITH WIRE TIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY TIE THAT IS NOT SECURE OR SHOWS SIGNS OF DAMAGE.
- ANALYSIS OF THE EXISTING BUILDING IS BASED UPON THE ASSUMPTION THAT THIS BUILDING WAS DESIGNED AND CONSTRUCTED IN CONFORMITY WITH GOOD DESIGN AND CONSTRUCTION PRACTICES. THE CONTRACTOR SHALL TAKE EXTRAORDINARY PRECAUTIONS CONCERNING PRESERVATION OF THE BUILDING DURING DEMOLITION AND NEW CONSTRUCTION WORK.



DUNELAND SCHOOL CORPORATION
2019 MECHANICAL RENOVATIONS AT:
JACKSON ELEMENTARY SCHOOL
811 N. 400 E. VALPARAISO, INDIANA 46383

REVISIONS	PROJECT NUMBER	DATE	BY	FOR
1	2019-001	01/15/2019	J. [Signature]	ISSUED FOR BIDDING
2	2019-001	02/01/2019	J. [Signature]	REVISED FOR BIDDING
3	2019-001	02/01/2019	J. [Signature]	REVISED FOR BIDDING
4	2019-001	02/01/2019	J. [Signature]	REVISED FOR BIDDING
5	2019-001	02/01/2019	J. [Signature]	REVISED FOR BIDDING



A7.10A

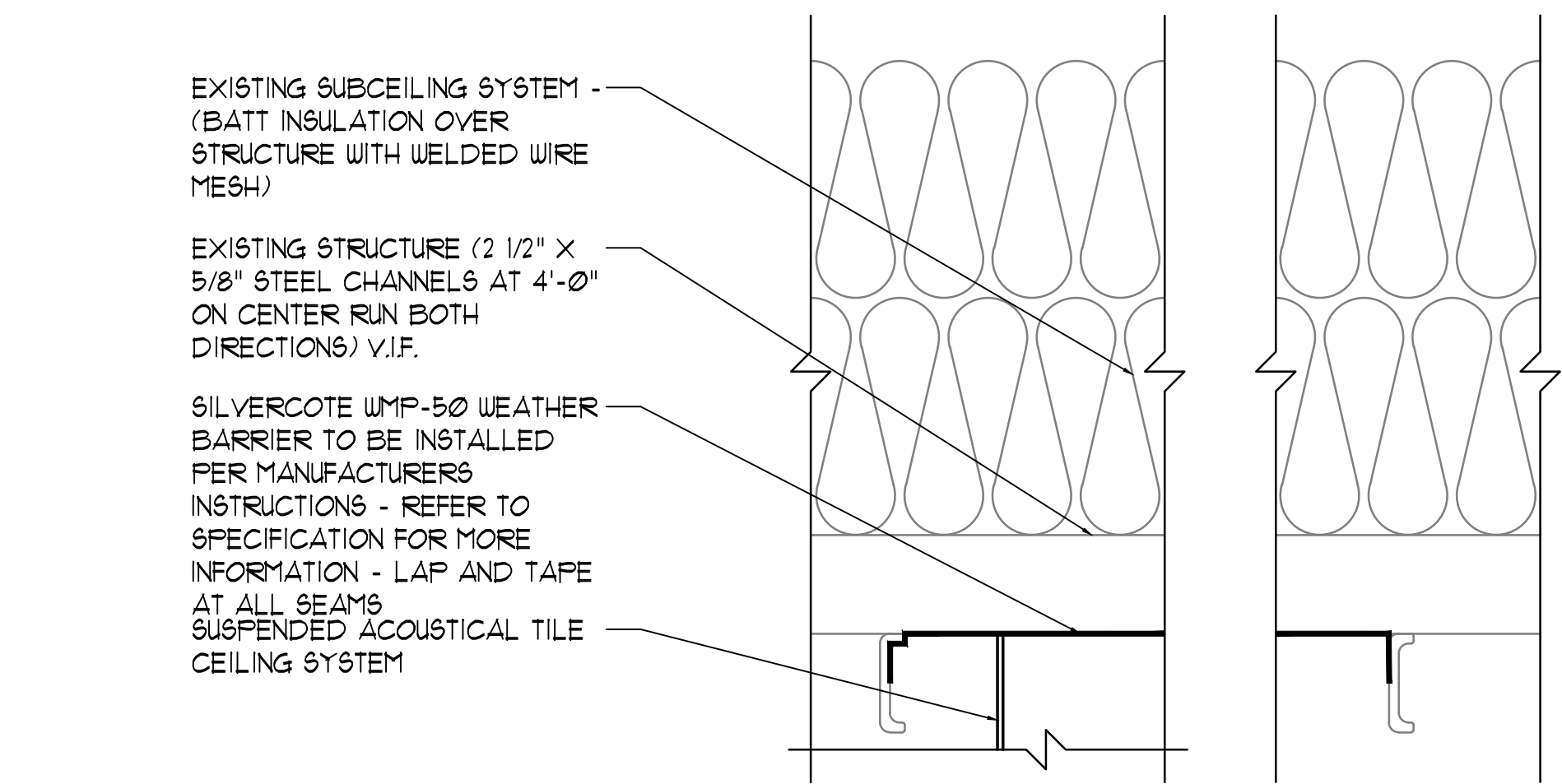
REFLECTED CEILING PLAN GENERAL NOTES					
1.	ALL CEILINGs TO BE INSTALLED AT EXISTING HEIGHT UNLESS NOTED OTHERWISE. DESIGN INTENT IS TO MATCH EXISTING CEILING HEIGHT. CONTRACTOR TO COORDINATE ALL HEIGHTS IN FIELD WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS (NEW AND EXISTING) - NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO INSTALLATION.	4.	FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.	FINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.	
2.	REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL AREAS OF ABOVE CEILING WORK REMOVE AND PATCH OR RE-INSTALL EXISTING CEILINGs IN THESE LOCATIONS ONLY AS REQUIRED TO PROVIDE WORK INDICATED TO OCCUR PRIOR TO PHASE OF CEILING WORK.	5.	SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.	7.	PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
3.	CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.	6.	EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING,	8.	THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

STRUCTURAL GENERAL NOTES

1. DUCTWORK SUPPORT ANALYSIS IS BASED UPON THE EXISTING SUBCELLING CHANNEL GRID BEING SUSPENDED AT 4'-0" ON CENTER FROM THE ROOF STRUCTURE ABOVE - VENT IN FIELD.
2. EXISTING SUBCELLING CHANNELS ARE OVERLAPPED, SPLICED, AND SUSPENDED WITH WIRE TIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY TIE THAT IS NOT SECURE OR SHOWS SIGNS OF DAMAGE.
3. ANALYSIS OF THE EXISTING BUILDING IS BASED UPON THE ASSUMPTION THAT THIS BUILDING WAS DESIGNED AND CONSTRUCTED IN CONFORMITY WITH GOOD DESIGN AND CONSTRUCTION PRACTICES. THE CONTRACTOR SHALL TAKE EXTRAORDINARY PRECAUTIONS CONCERNING PRESERVATION OF THE BUILDING DURING DEMOLITION AND NEW CONSTRUCTION WORK.

LEGEND			
	2'X4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE 1 - REFER TO SPECIFICATIONS		AREA OF GYPSUM BOARD CEILING - 5/8" GYPSUM BOARD SUPPORTED BY 3-5/8" METAL STUD FRAMING AT 16" ON CENTER MAXIMUM - PAINT.
	2'X4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE 2 - REFER TO SPECIFICATIONS		SPEAKER - REFER TO ELECTRICAL DRAWINGS
	2' X 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS		EXIT SIGN - REFER TO ELECTRICAL DRAWINGS
	1' X 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS		MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS
	4' X 4' PENDANT MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS		ELECTRIC FAN - REFER TO ELECTRICAL DRAWINGS

REFLECTED CEILING PLAN REFERENCED NOTES (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)	
1.	EXISTING GYPSUM BOARD SOFFIT - PAINT.
2.	EXISTING WALL MOUNTED PROJECTOR SCREEN AND BRACKETS TO BE REINSTALLED.
3.	EXISTING WALL BRACKETS TO BE REINSTALLED.
4.	EXISTING CEILING MOUNTED EQUIPMENT TO BE REINSTALLED BY OWNER.
5.	EXISTING POWER POLE.
6.	HATCH INDICATES AREA OF CEILING AND LIGHTS TO BE REINSTALLED - REFER TO MECHANICAL DRAWINGS.



DETAIL
3" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN - MODULE B

$$1/8" = 1'-0"$$

A7.10E

REFLECTED CEILING PLAN GENERAL NOTES

1. ALL CEILINGS TO BE INSTALLED AT EXISTING HEIGHT UNLESS NOTED OTHERWISE. DESIGN INTENT IS TO MATCH EXISTING CEILING HEIGHT. CONTRACTOR TO COORDINATE ALL HEIGHTS IN FIELD WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS (NEW AND EXISTING) - NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO INSTALLATION. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL AREAS OF ABOVE CEILING WORK. REMOVE AND PATCH /OR RE-INSTALL EXISTING CEILINGS IN THESE LOCATIONS ONLY AS REQUIRED TO PROVIDE WORK INDICATED TO OCCUR PRIOR TO PHASE OF CEILING WORK.

2. CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
4. FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.

5. SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.

6. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.

7. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

8. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

LEGEND

- 2'x4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE 1 - REFER TO SPECIFICATIONS
- 2'x4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE 2 - REFER TO SPECIFICATIONS
- 2' x 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 1' x 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 4' x 4' PENDANT MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- AREA OF GYPSUM BOARD CEILING - 5/8" GYPSUM BOARD SUPPORTED BY 3-5/8" METAL STUD FRAMING AT 16" ON CENTER MAXIMUM - PAINT.
- SPEAKER - REFER TO ELECTRICAL DRAWINGS
- EXIT SIGN - REFER TO ELECTRICAL DRAWINGS
- MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS
- ELECTRIC FAN - REFER TO ELECTRICAL DRAWINGS

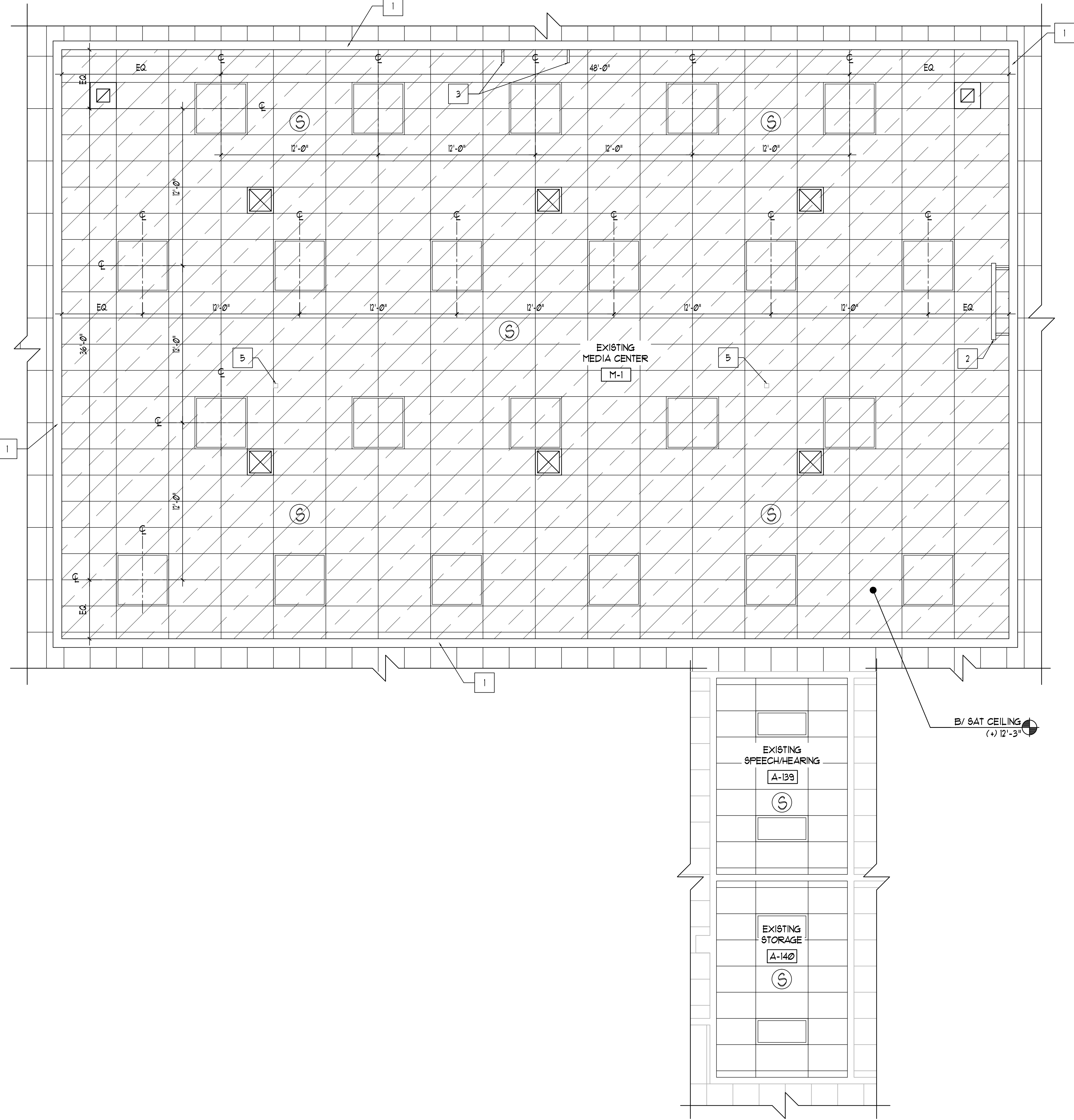
REFLECTED CEILING PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

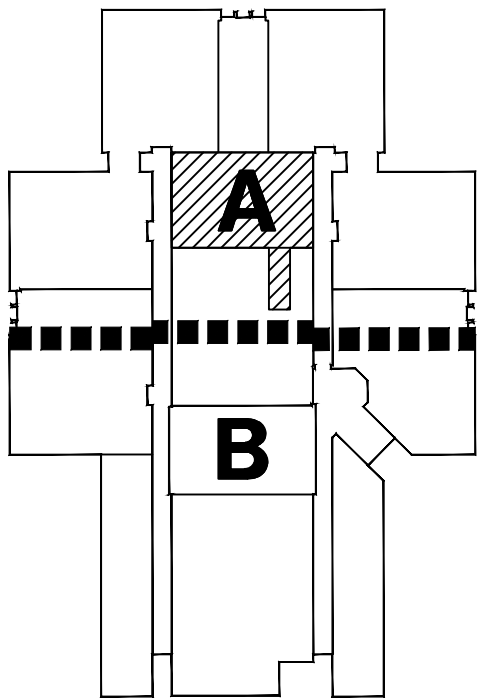
1. EXISTING GYPSUM BOARD SOFFIT - PAINT.
2. EXISTING WALL MOUNTED PROJECTOR SCREEN AND BRACKETS TO BE REINSTALLED.
3. EXISTING WALL BRACKETS TO BE REINSTALLED.
4. EXISTING CEILING MOUNTED EQUIPMENT TO BE REINSTALLED BY OWNER.
5. EXISTING POWER POLE.
6. HATCH INDICATES AREA OF CEILING AND LIGHTS TO BE REINSTALLED - REFER TO MECHANICAL DRAWINGS.

STRUCTURAL GENERAL NOTES

1. DUCTWORK SUPPORT ANALYSIS IS BASED UPON THE EXISTING SUBCEILING CHANNEL GRID BEING SUSPENDED AT : 4'-0" ON CENTER FROM THE ROOF STRUCTURE ABOVE - VERIFY IN FIELD.
2. EXISTING SUBCEILING CHANNELS ARE OVERLAPPED, SPliced, AND SUSPENDED WITH WIRE TIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY TIE THAT IS NOT SECURE OR SHOWS SIGNS OF DAMAGE.
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1 PARTIAL FIRST FLOOR REFLECTED CEILING PLAN - MODULE A - ALTERNATE BID
1/4" = 1'-0"

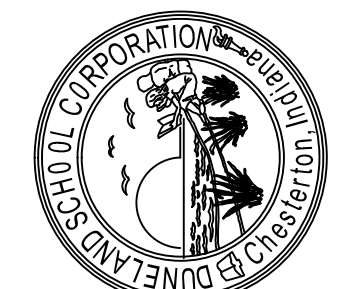


KEY PLAN
NOT TO SCALE

DUNELAND SCHOOL CORPORATION
2019 MECHANICAL RENOVATIONS AT:
JACKSON ELEMENTARY SCHOOL
811 N. 400 E. VALPARAISO, INDIANA 46383

PROJECT NUMBER	B-240
PROJECT MANAGER	MG
DRAWN BY	GT
REVISIONS	
	1
	2
	3
	4
	5
ISSUED FOR BID	01/15/2019

ENLARGED CEILING PLAN - ALTERNATE BID



A7.11