



GENERAL BUILDING CODE REQUIREMENTS

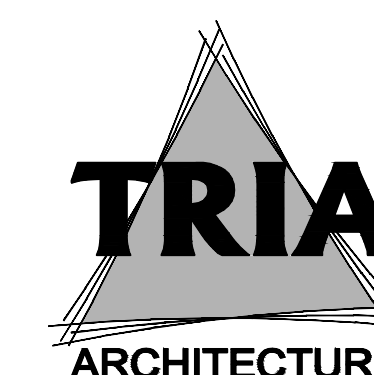
DESIGN FIRM REGISTRATION:
THOMAS R. SZURGOT
INDIANA LICENSE NUMBER: *A10800173

M1.00 UPPER LEVEL - MECHANICAL FLOOR PLAN
M1.01 LOWER LEVEL - MECHANICAL FLOOR PLAN
M2.00 SPECIFICATIONS

| | |
|----------------------|----------------------|
| BOARD PRESIDENT | MRS. KRISTIN KROEGER |
| BOARD VICE PRESIDENT | MR. JOHN MARSHALL |
| BOARD SECRETARY | MR. RONALD STONE |
| BOARD MEMBER | MR. MICHAEL TROUT |
| BOARD MEMBER | MR. BRANDON KROFT |
| SUPERINTENDENT | DR. DAVID FRUIS |

[illegible]

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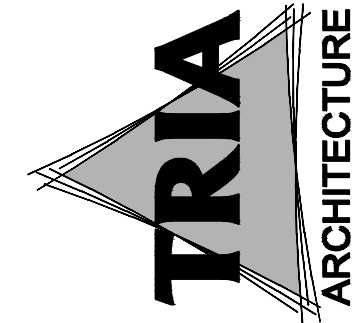


A vertical number line with arrows at both ends. It is labeled with the numbers 1, 2, 3, 4, and 5 from top to bottom.

T1.00

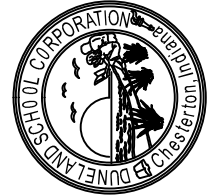
ARCHITECTURAL SYMBOLS AND ABBREVIATIONS

| | | | | | | | |
|--|---------------------------------------|--|------------------------------------|--------|---------------------------|--------|--------------------------------|
| | SAFETY REFERENCE ROOM INFORMATION TAG | | 2'x4' RECESSED FLUORESCENT FIXTURE | AP | ACOUSTICAL PANEL | PTD | PAPER TOWEL DISPENSER |
| | SAFETY REFERENCE EXIT INFORMATION TAG | | RECESSED DOWNLIGHT | BCS | BABY CHANGING STATION | PTTD | PAPER TOWEL TRASH DISPOSAL |
| | SAFETY REFERENCE EGRESS PATH | | HVAC SUPPLY | CH | COAT HOOK | RBR | RUBBER |
| | BREAK LINE | | HVAC RETURN | CT | CERAMIC TILE | RBB | RUBBER BASE |
| | WINDOW TAG | | S.A.T. CEILING | CMU | CONCRETE MASONRY UNIT | RBT | RUBBER TILE FLOORING |
| | DOOR TAG | | PLASTER OR GYP. BD. | CP | CONDENSATE PIPE | RD | ROOF DRAIN |
| | NORTH ARROW | | | CPT | CARPET | RH | ROOF HATCH |
| | SECTION TAG | | | CRT | CONCRETE | RTU | ROOFTOP UNIT |
| | ELEVATION TAG | | | CU | CONDENSING UNIT | RST | RUBBER STAIR TREADS AND RISERS |
| | DETAIL TAG / DRAWING TITLE | | | DF | DRINKING FOUNTAIN | REF | REFRIGERATOR |
| | WALL TYPE TAG | | | EF | EXHAUST FAN | SAT | SUSPENDED ACOUSTICAL TILE |
| | COLUMN LINE TAG | | | EP | ELECTRICAL PENETRATION | SD | SOAP DISPENSER |
| | ELEVATION TAG (HEIGHT) | | | EQ | EQUAL | SGT | STRUCTURAL GLAZED TILE |
| | REMODELING NOTE TAG | | | ETR | EXISTING TO REMAIN | SIM | SIMILAR |
| | DEMOLITION NOTE TAG | | | EWC | ELECTRIC WATER CHILLER | SND | SANITARY NAPKIN DISPOSAL |
| | CASEWORK TAG | | | EX | EXISTING | SNP | SANITARY NAPKIN DISPENSER |
| | ROOF INSULATION TAGS | | | EXP | EXPOSED | STL | STEEL |
| | ROOM NAME TAG | | | FD | FLOOR DRAIN | TDU | TRASH DISPOSAL UNIT |
| | | | | FE | FIRE EXTINGUISHER | TRZ | TERRAZZO |
| | | | | F.E.C. | FIRE EXTINGUISHER CABINET | TTD | TOILET TISSUE DISPENSER |
| | | | | FP | FIRE PROTECTION | TV | TELEVISION |
| | | | | GB | GRAB BAR | TYP | TYPICAL |
| | | | | GL | GLAZING | UR | URINAL |
| | | | | GP | GAS PIPING | VCT | VINYL COMPOSITE TILE |
| | | | | GYP. | GYP. BOARD | V.I.F. | VERIFY IN FIELD |
| | | | | HC | HANDICAPPED ACCESSIBLE | VP | VENT PIPE |
| | | | | HM | HOLLOW METAL | WC | WATER CLOSET |
| | | | | LAV | LAVATORY | WD | WOOD |
| | | | | M.E. | MATCH EXISTING | WF | WASH FOUNTAIN |
| | | | | M | MIRROR | WL C | WALL COVERING |
| | | | | MO | MASONRY OPENING | | |
| | | | | MTL | METAL | | |
| | | | | MUA | MAKE-UP AIR | | |
| | | | | N.I.C. | NOT IN CONTRACT | | |
| | | | | OH | OPPOSITE HAND | | |
| | | | | PL | PLASTER | | |
| | | | | PRT | PORCELAIN TILE | | |
| | | | | PT | PAINT | | |



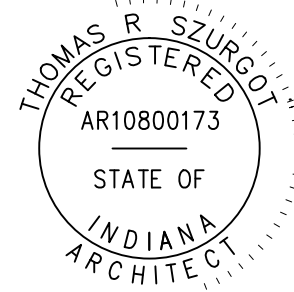
TRIA ARCHITECTURE
111 W. BEAM ST. #100
MARIETTA, GA 30067
PH: 770.424.6000
FAX: 770.424.6002

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL
100 W. BEAM STREET PORTER, INDIANA 46304



| | |
|-------------------------------------|------------|
| PROJECT NUMBER: 16-006 | REVISIONS: |
| PROJECT MANAGER: TD | 1 |
| DRAWN BY: TBR | 2 |
| | 3 |
| | 4 |
| | 5 |
| ISSUED FOR BID AND PERMIT: 10/10/16 | 6 |

LEGEND



AG0.00

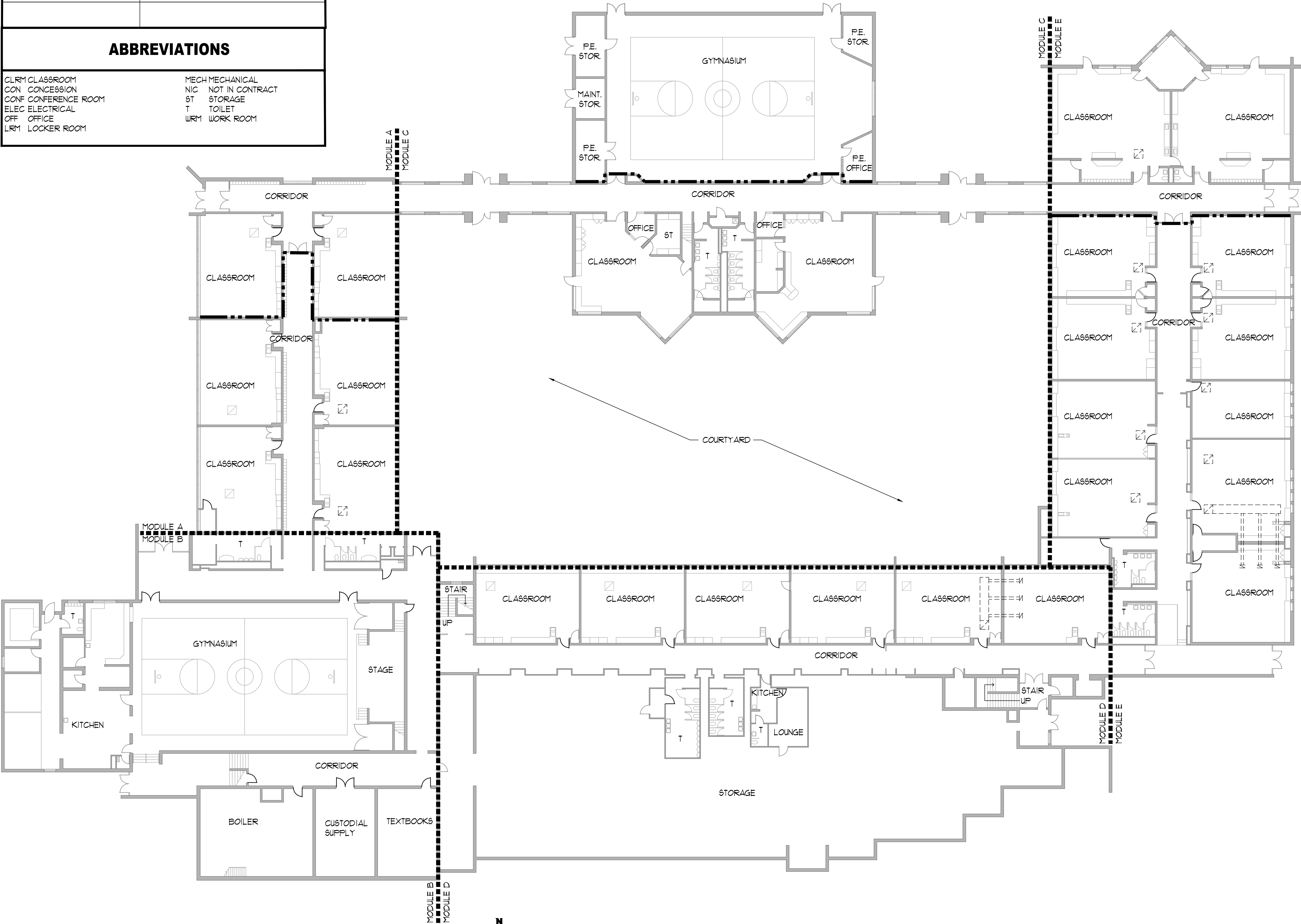
LEGEND

EXISTING 2-HOUR BUILDING SEPARATION CONSTRUCTION

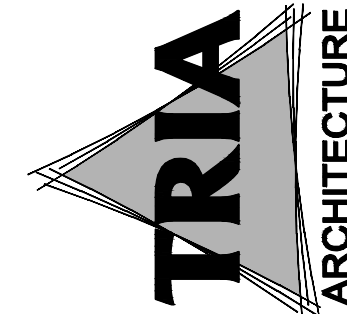
ABBREVIATIONS

CLRM CLASSROOM
CON CONCESSION
CONF CONFERENCE ROOM
ELEC ELECTRICAL
OFF OFFICE
LRM LOCKER ROOM

MECH MECHANICAL
NIC NOT IN CONTRACT
ST STORAGE
T TOILET
WRM WORK ROOM



1 OVERALL UPPER LEVEL FLOOR REFERENCE PLAN
1/16" = 1'-0"

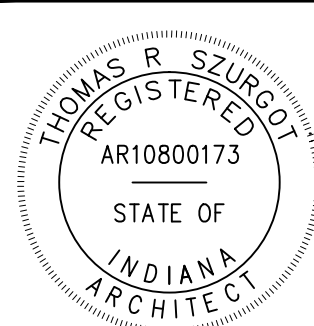


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DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL
100 W. BEAM STREET PORTER, INDIANA 46304



| REVISIONS |
|--|
| PROJECT NUMBER: 16-006 |
| PROJECT NAME: YOST |
| DRAWN BY: TR |
| DATE: 10/02/16 |
| USED FOR BID AND PERMIT: 10/02/16 |
| OVERALL UPPER LEVEL FLOOR REFERENCE PLAN |

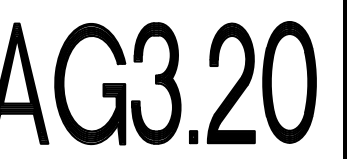


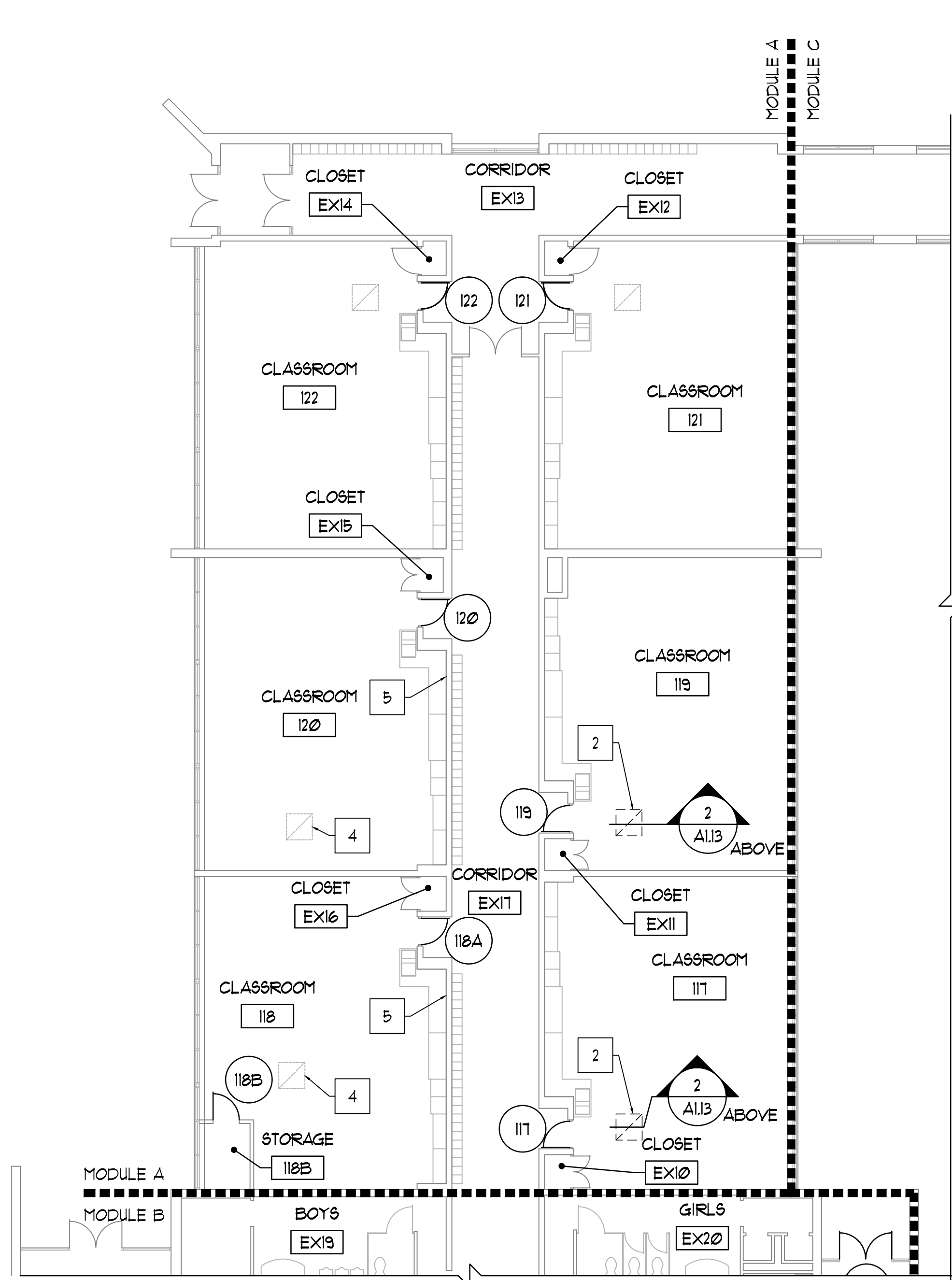
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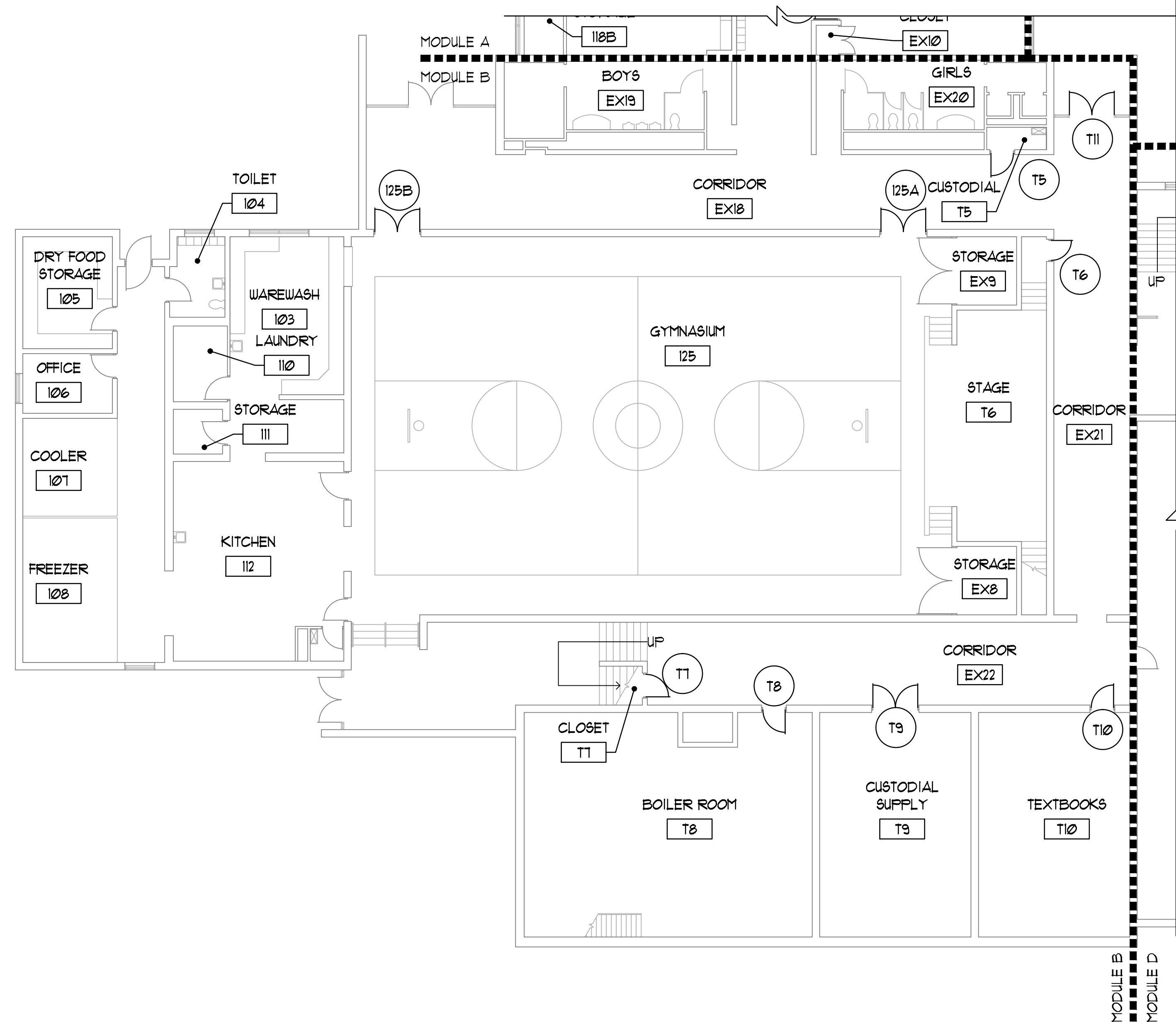
| | |
|---------------------------------------|---|
| PROJECT MANAGER: TS | △ |
| DRAWN BY: MSR | △ |
| | △ |
| | △ |
| | △ |
| ISSUED FOR BID AND PERMIT: 10/01/2016 | △ |

OVERALL LOWER LEVEL FLOOR
REFERENCE PLAN

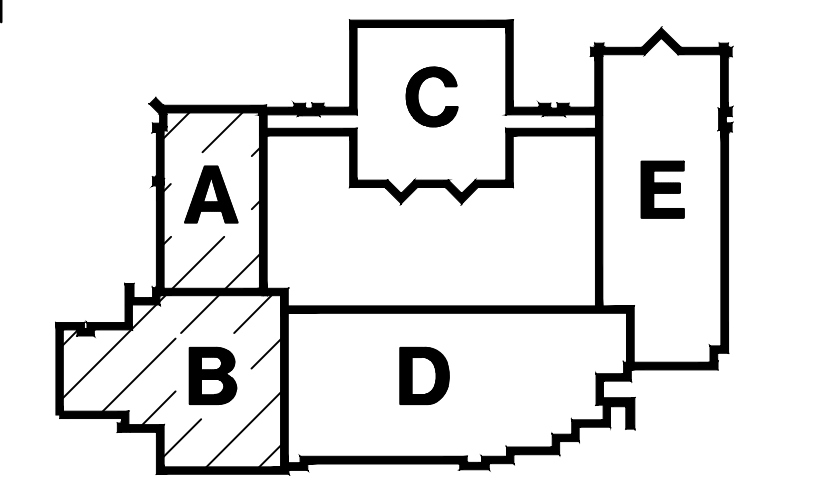




1 UPPER LEVEL FLOOR PLAN - MODULE A
3/32" = 1'-0"



2 UPPER LEVEL FLOOR PLAN - MODULE B
3/32" = 1'-0"

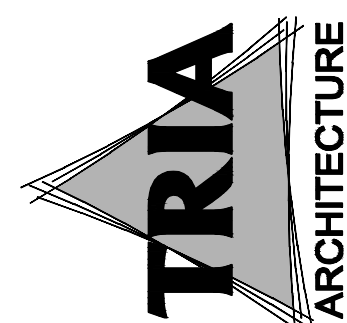


KEYPLAN
NOT TO SCALE

- ### FLOOR PLAN REFERENCED NOTES
- (NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)
- MECHANICAL LOUVER IN WALL - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING MASONRY AS REQUIRED. PROVIDE STEEL LINTEL ABOVE OPENING. TOOTH-IN MASONRY IN WHOLE UNITS TO PROVIDE FINISHED JAMB, HEAD, AND SILL CONDITIONS, PAINT TO MATCH EXISTING.
 - MECHANICAL EQUIPMENT ON INSULATED ROOF CURB ABOVE - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING ROOF SYSTEM AND DECK AS REQUIRED. PATCH EXISTING ROOF PER DETAILS. REMOVE EXISTING ROOF SYSTEM AND DECK AS REQUIRED. PATCH EXISTING ROOF PER DETAILS. REMOVE AND REINSTALL EXISTING CEILING AS REQUIRED TO PERFORM NECESSARY WORK ON EXISTING ROOF MOUNTED EXHAUST FAN. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - PATCH AND PAINT WALL AT SWITCH WORK. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

- ### FLOOR PLAN GENERAL NOTES
- FIELD VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
 - PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
 - ALL FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
 - ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
 - FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
 - CONTRACTOR TO PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN. EXISTING FINISHES DAMAGED DURING PERFORMANCE OF THE WORK SHALL BE REPAIRED TO MATCH TO THE EXISTING CONDITION AT NO ADDITIONAL COST OR TIME TO THE OWNER.
 - EXISTING ROOF WARRANTY - FOR INFORMATION REGARDING EXISTING ROOF WARRANTIES, CONTACT THE SCHOOL'S ROOFING CONTRACTOR:
 - GLUTH BROTHERS ROOFING COMPANY, INC. PH: 219-844-5536
 - SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COFFLEY PH: 260-312-0483NOTE: TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL DISTRICT

- ### LINTEL SCHEDULE
- LINTEL NOTES**
- LOOSE LINTELS FOR NON-LOAD BEARING WALLS SHALL HAVE A MINIMUM END BEARING OF 8" AND SHALL BE THE FOLLOWING SIZES, UNLESS NOTED OTHERWISE (LINTEL SIZES GIVEN ARE FOR NEW MASONRY CONSTRUCTION ONLY: SPANS NOTED ARE CLEAR SPANS):
6" WALLS:
UP TO 4'-0" SPAN 2-L3 1/2"x2 1/2"x5/8" LLV
4'-0" TO 6'-4" SPAN 2-L3 1/2"x2 1/2"x3/8" LLV
4" 8" & 12" WALLS (1-L FOR EACH 4" OF WALL THICKNESS):
UP TO 4'-0" SPAN L3 1/2"x3 1/2"x5/8" LLV
OVER 4'-0" TO 6'-0" L5x3 1/2"x3/8" LLV
OVER 6'-0" TO 8'-0" L6x3 1/2"x3/8" LLV
10" WALLS:
UP TO 4'-0" SPAN (2) L5x3 1/2"x5/8" SLV
OVER 4'-0" TO 6'-0" (2) L5x5x5/8" SLV
OVER 6'-0" TO 8'-0" (2) L5x5x3/8" SLV
ALL WALLS OVER 8'-0" TO 12'-0" W8x18 + 5/8" PLATE ON BOTTOM (PLATE TO BE 1/2" LESS THAN WALL WIDTH)
 - PLATES ON LINTELS SHALL BE SHOP WELDED TO MEMBER W/ 1/4"x2" FILLET WELDS AT 12" O.C. STAGGERED.
 - WELD TOGETHER ALL BACK-TO-BACK ANGLES.
 - CONTRACTOR SHALL COORDINATE ALL REQUIRED OPENINGS IN NON-LOAD BEARING MASONRY WALLS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.



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1111 W. BEAM STREET, SUITE 400
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FAX: 219-844-5537

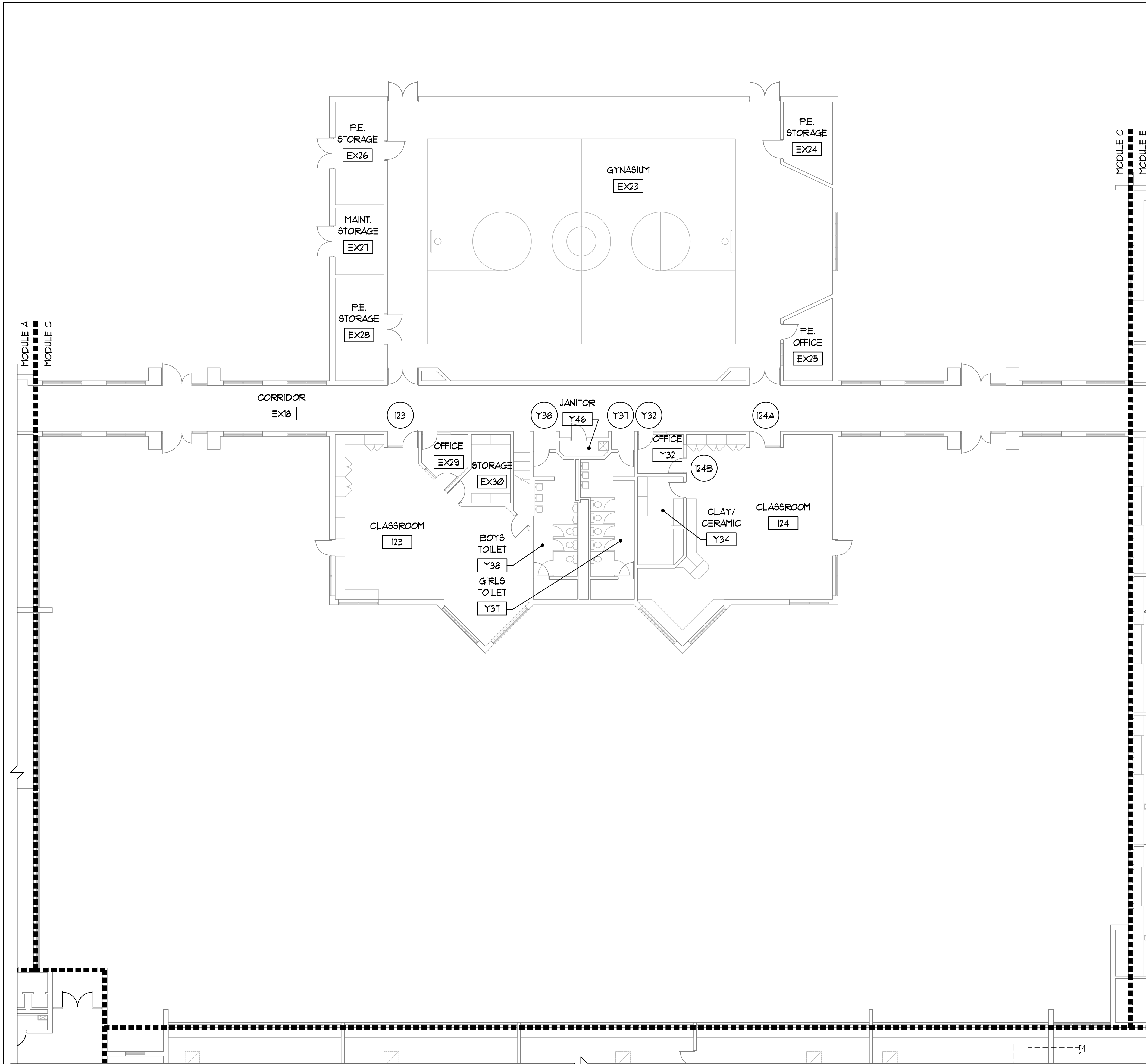
DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
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100 W. BEAM STREET PORTER, INDIANA 46304



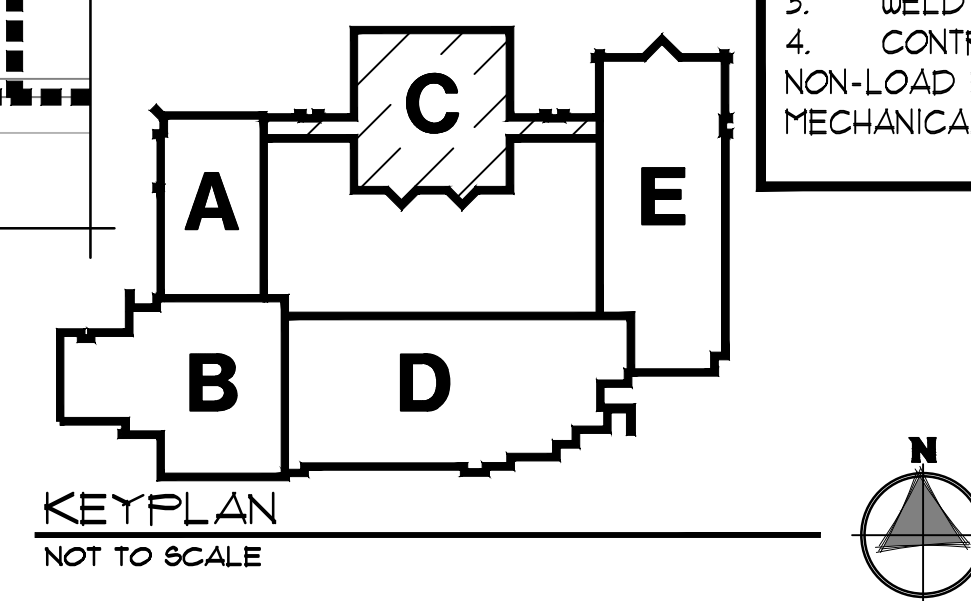
| REVISIONS | DATE | BY | DESCRIPTION |
|-----------|------------|------|--|
| 1 | 10/20/2017 | TRIA | ISSUED FOR BID AND PERMIT. 10/20/2017 |
| 2 | 10/20/2017 | TRIA | UPPER LEVEL FLOOR PLAN - MODULE A AND MODULE B |



A1.10



1 UPPER LEVEL FLOOR PLAN - MODULE C
3/32" = 1'-0"



FLOOR PLAN GENERAL NOTES

1. FIELD VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
2. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
3. ALL FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
4. ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
6. FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
7. CONTRACTOR TO PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN. EXISTING FINISHES DAMAGED DURING PERFORMANCE OF THE WORK SHALL BE REPAIRED TO MATCH TO THE EXISTING CONDITION AT NO ADDITIONAL COST OR TIME TO THE OWNER.
8. EXISTING ROOF WARRANTY - FOR INFORMATION REGARDING EXISTING ROOF WARRANTIES, CONTACT THE SCHOOL'S ROOFING CONTRACTOR:
 1. GLUTH BROTHERS ROOFING COMPANY, INC. PH: 219-844-5536
 2. SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COPLEY PH: 260-312-0483NOTE: TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL DISTRICT

FLOOR PLAN REFERENCED NOTES

1. MECHANICAL LOUVER IN WALL - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING MASONRY AS REQUIRED. PROVIDE STEEL LINTEL ABOVE OPENING. TOOTH-IN MASONRY IN WHOLE UNITS TO PROVIDE FINISHED JAMB, HEAD, AND SILL CONDITIONS, PAINT TO MATCH EXISTING.
2. MECHANICAL EQUIPMENT ON INSULATED ROOF CURB ABOVE - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING ROOF SYSTEM AND DECK AS REQUIRED. PATCH EXISTING ROOF PER DETAILS. REMOVE EXISTING ROOF SYSTEM AND DECK AS REQUIRED. PATCH EXISTING ROOF PER DETAILS. REMOVE AND REINSTALL, PATCH, AND REPLACE EXISTING CEILING AS REQUIRED. FINISH CEILING TO MATCH EXISTING.
3. REMOVE EXISTING MASONRY AS REQUIRED FOR DUCTWORK. PROVIDE STEEL LINTEL ABOVE OPENING.
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5. PATCH AND PAINT WALL AT SWITCH WORK. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

LINTEL SCHEDULE

LINTEL NOTES

1. LOOSE LINTELS FOR NON-LOAD BEARING WALLS SHALL HAVE A MINIMUM END BEARING OF 8" AND SHALL BE THE FOLLOWING SIZES, UNLESS NOTED OTHERWISE (LINTEL SIZES GIVEN ARE FOR NEW MASONRY CONSTRUCTION ONLY ± SPANS NOTED ARE CLEAR SPANS):

6" WALLS:

| | |
|---------------------|-------------------|
| UP TO 4'-0" SPAN | 2-L3½"x2½"x⅝" LLV |
| 4'-0" TO 6'-4" SPAN | 2-L3½"x2½"x⅝" LLV |

4", 8", & 12" WALLS (1-L FOR EACH 4" OF WALL THICKNESS):

| | |
|---------------------|--------------|
| UP TO 4'-0" SPAN | L3½"x3½"x⅝ |
| OVER 4'-0" TO 6'-0" | L5x3½"x⅝ LLV |
| OVER 6'-0" TO 8'-0" | L6x3½"x⅝ LLV |

10" WALLS:

| | |
|---------------------|------------------|
| UP TO 4'-0" SPAN | (2) L5x3½"x⅝ SLV |
| OVER 4'-0" TO 6'-0" | (2) L5x5x⅝ |
| OVER 6'-0" TO 8'-0" | (2) L5x5x⅝ |

ALL WALLS OVER 8'-0" TO 12'-0" W8x18 + ⅝ PLATE ON BOTTOM (PLATE TO BE ½" LESS THAN WALL WIDTH)

2. PLATES ON LINTELS SHALL BE SHOP WELDED TO MEMBER W/ ¼"x2" FILLET WELDS AT 12" O.C. STAGGERED.
3. WELD TOGETHER ALL BACK-TO-BACK ANGLES.
4. CONTRACTOR SHALL COORDINATE ALL REQUIRED OPENINGS IN NON-LOAD BEARING MASONRY WALLS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

TRIA
ARCHITECTURE

TRIA ENGINEER
(P) 733.424.800
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Miles Engineering Group
111 W. WABASH (S.E. 4)
MARTIN, INDIAN 46041

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL
100 W. BEAM STREET PORTER, INDIANA 46304

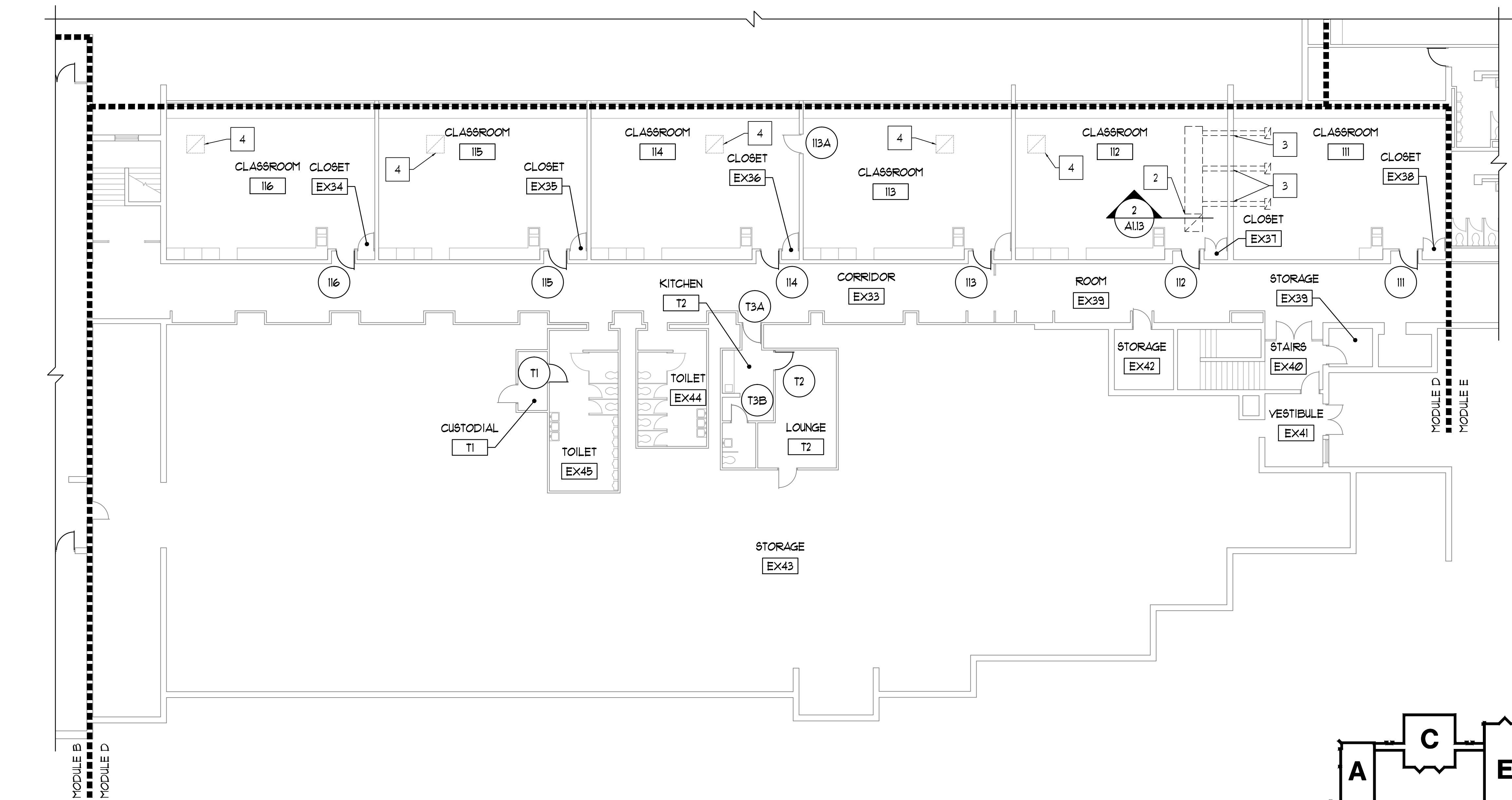
REVISIONS

| | |
|----------------|------------|
| PROJECT NUMBER | 16-006 |
| PROJECT NAME | YOST |
| DRAWN BY | TRIA |
| DESIGNED BY | TRIA |
| CHECKED BY | TRIA |
| DATE | 10/02/2016 |

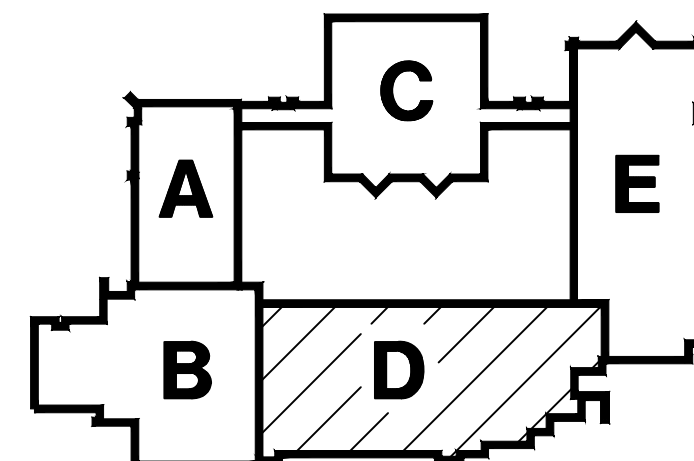
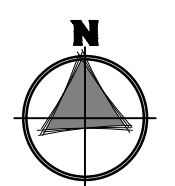
UPPER LEVEL FLOOR PLAN - MODULE C

THOMAS R. SZURGOT
REGISTERED
AR10800173
STATE OF
INDIANA
ARCHITECT

A1.11



1 UPPER LEVEL FLOOR PLAN - MODULE D
3/32" = 1'-0"



KEYPLAN
NOT TO SCALE

FLOOR PLAN GENERAL NOTES

1. FIELD VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
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NOTE: TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL DISTRICT

FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. MECHANICAL LOUVER IN WALL - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING MASONRY AS REQUIRED. PROVIDE STEEL LINTEL ABOVE OPENING. TOOTH-IN MASONRY IN WHOLE UNITS TO PROVIDE FINISHED JAMB, HEAD, AND SILL CONDITIONS. PAINT TO MATCH EXISTING.
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6" WALLS:

| | |
|---------------------|----------------------------|
| UP TO 4'-0" SPAN | 2-L3 1/2"x2 1/4"x 5/8" LLV |
| 4'-0" TO 6'-4" SPAN | 2-L3 1/2"x2 1/4"x 5/8" LLV |

4", 8", & 12" WALLS (1-L FOR EACH 4" OF WALL THICKNESS):

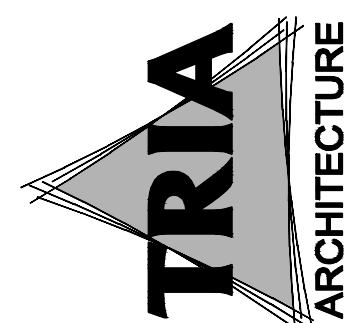
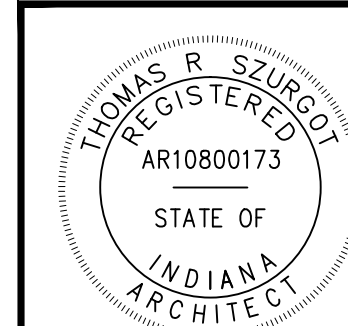
| | |
|---------------------|----------------------|
| UP TO 4'-0" SPAN | L3 1/2"x3 1/2"x 5/8" |
| OVER 4'-0" TO 6'-0" | L5x3 1/2"x 5/8" LLV |
| OVER 6'-0" TO 8'-0" | L6x3 1/2"x 5/8" LLV |

10" WALLS:

| | |
|---------------------|-------------------------|
| UP TO 4'-0" SPAN | (2) L5x3 1/2"x 5/8" SLV |
| OVER 4'-0" TO 6'-0" | (2) L5x5x 5/8" |
| OVER 6'-0" TO 8'-0" | (2) L5x5x 5/8" |

ALL WALLS OVER 8'-0" TO 12'-0" W8x18 + 5/8" PLATE ON BOTTOM (PLATE TO BE 1/2" LESS THAN WALL WIDTH)

2. PLATES ON LINTELS SHALL BE SHOP WELDED TO MEMBER W/ 1/4"x2" FILLET WELDS AT 12" O.C. STAGGERED.
3. WELD TOGETHER ALL BACK-TO-BACK ANGLES.
4. CONTRACTOR SHALL COORDINATE ALL REQUIRED OPENINGS IN NON-LOAD BEARING MASONRY WALLS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.



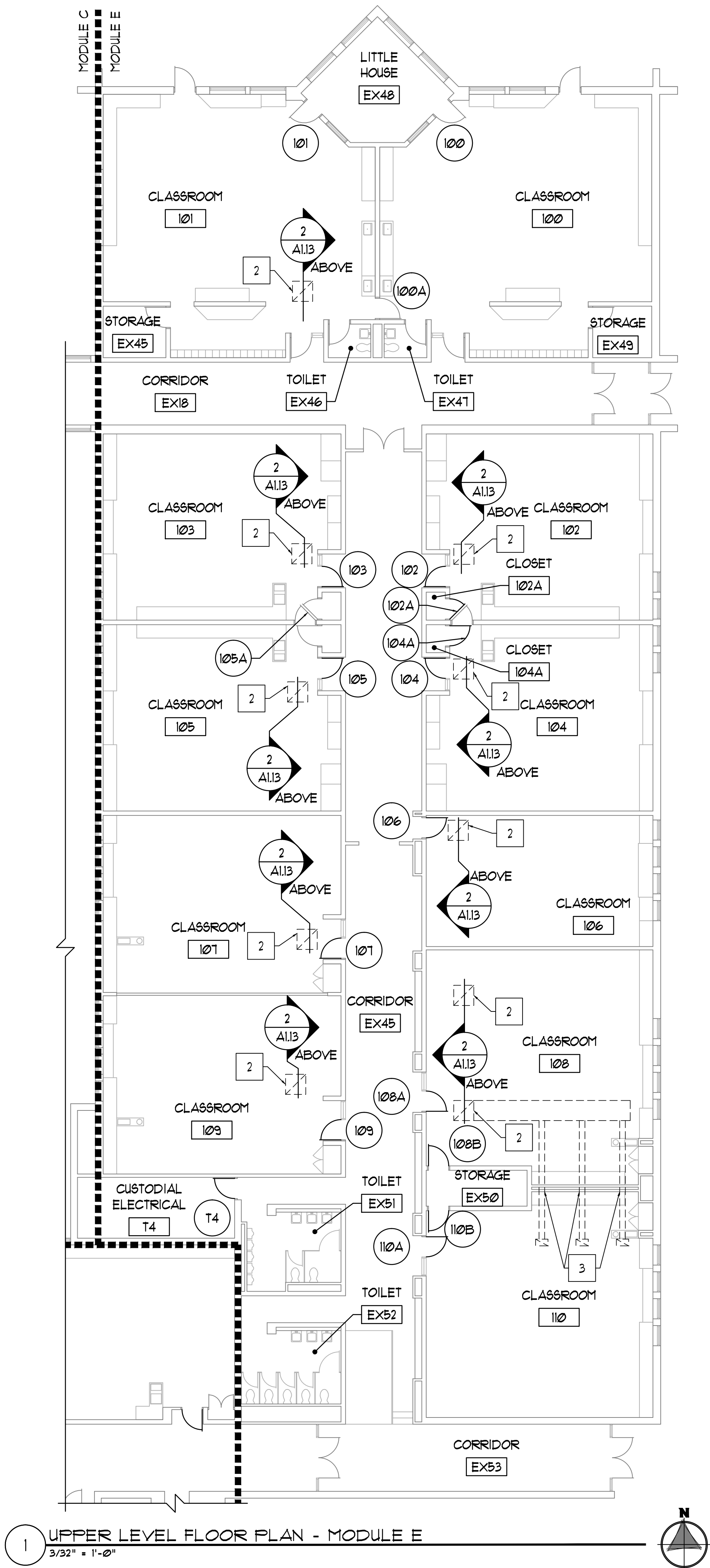
TRIA
ARCHITECTURE
1111 W. WABASH ST. #11
MARIETTA, OHIO 45751
TEL: 734.450.0000
FAX: 734.450.0001

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL
100 W. BEAM STREET PORTER, INDIANA 46304

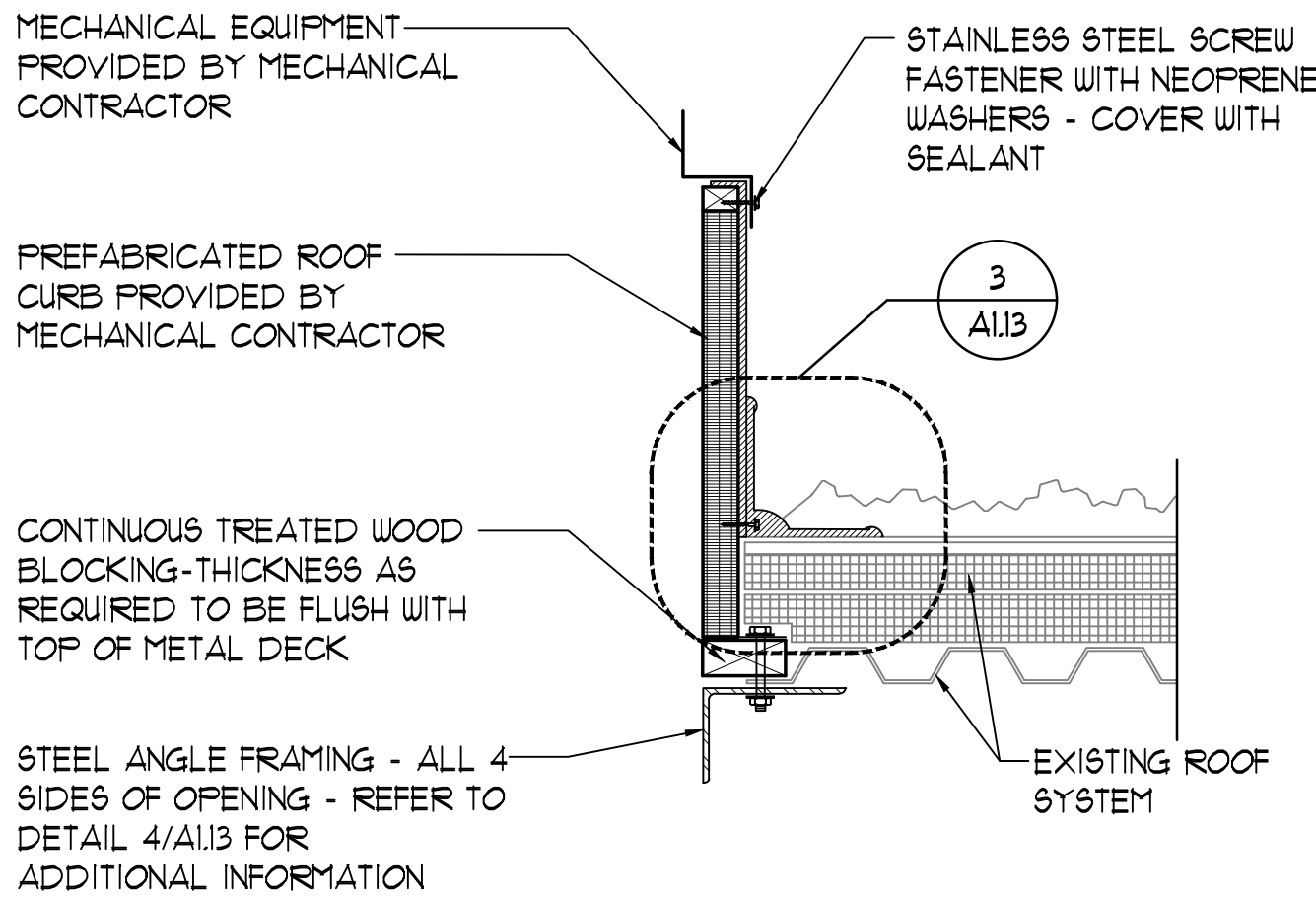


| REVISIONS | DATE | BY | DESCRIPTION |
|-----------|------------|----|---------------------------------------|
| 1 | 10/02/2017 | TR | ISSUED FOR BID AND PERMIT. 10/02/2017 |
| 2 | 10/02/2017 | TR | UPPER LEVEL FLOOR PLAN - MODULE D |

A1.12

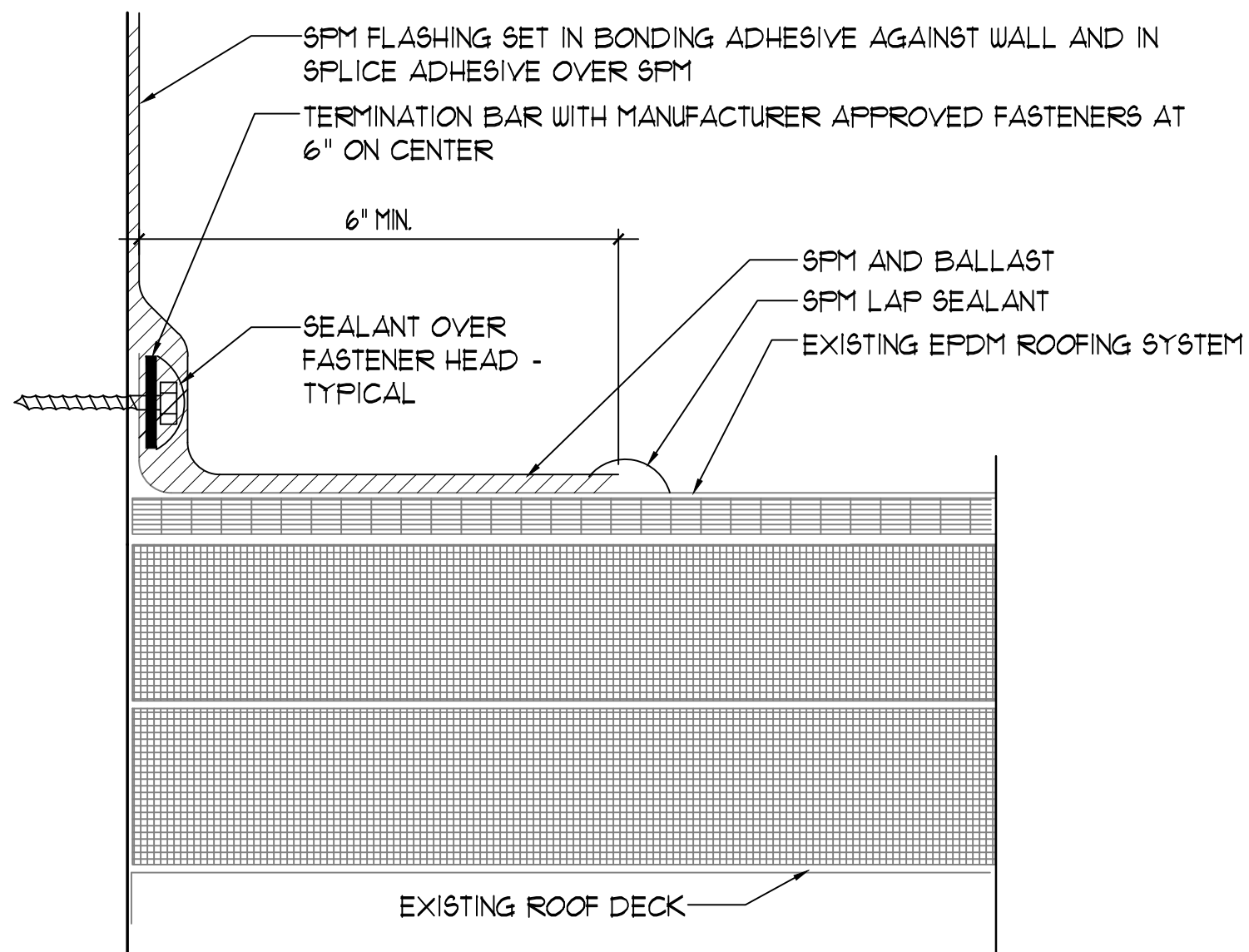


1 UPPER LEVEL FLOOR PLAN - MODULE E
3/32" = 1'-0"

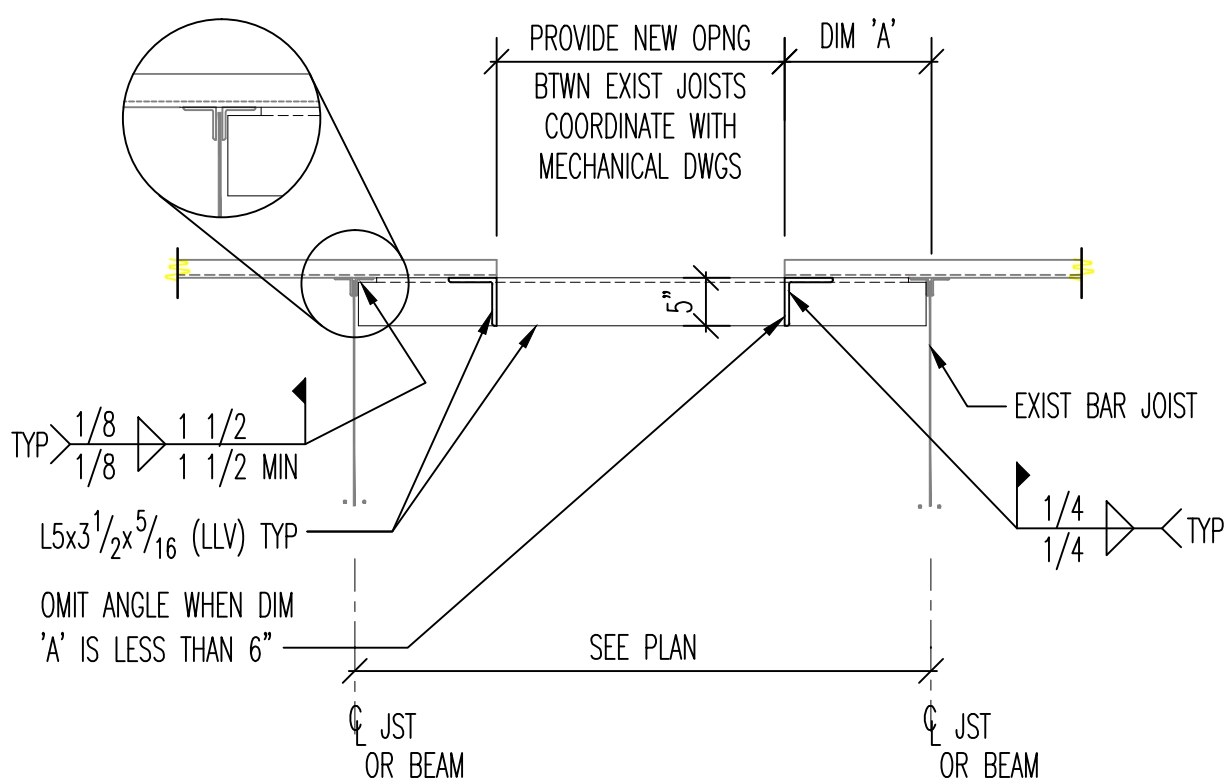


2 HVAC UNIT CURB DETAIL
1 1/2" = 1'-0"

NOTES:
1. ON ROOF CURBS ALL CORNERS TO BE FLASHED WITH 2 LAYERS OF UNCURED EPDM.



3 TYP. SPM ANCHOR STRIP DETAIL
6" = 1'-0"



NOTE: ROOF FRAMES REQ'D @ ALL OPENINGS LARGER THAN 1'-0" OR AS NOTED.

4 TYPICAL OPENING IN EXISTING ROOF DETAIL
3/4" = 1'-0"

FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

- MECHANICAL LOUVER IN WALL - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING MASONRY AS REQUIRED. PROVIDE STEEL LINTEL ABOVE OPENING. TOOTH-IN MASONRY IN WHOLE UNITS TO PROVIDE FINISHED JAMB, HEAD, AND SILL CONDITIONS. PAINT TO MATCH EXISTING.
- MECHANICAL EQUIPMENT ON INSULATED ROOF CURB ABOVE - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING ROOF SYSTEM AND DECK AS REQUIRED. PATCH EXISTING ROOF PER DETAILS. REMOVE AND REINSTALL. PATCH, AND REPLACE EXISTING CEILING AS REQUIRED. FINISH CEILING TO MATCH EXISTING.
- REMOVE EXISTING MASONRY AS REQUIRED FOR DUCTWORK. PROVIDE STEEL LINTEL ABOVE OPENING.
- REMOVE AND REINSTALL EXISTING CEILING AS REQUIRED TO PERFORM NECESSARY WORK ON EXISTING ROOF MOUNTED EXHAUST FAN. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PATCH AND PAINT WALL AT SWITCH WORK. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN GENERAL NOTES

- FIELD VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. EXISTING FIELD CONDITIONS VISIBLE DURING BIDDING SHALL TAKE PRECEDENCE OVER DIMENSIONS OR SIZES SHOWN ON DRAWINGS.
- PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE.
- ALL FRAMES ARE TO BE PAINTED WHERE NEW WORK IS PERFORMED.
- ALL FINISHES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL DOORS IN FIELD.
- FLOOR PLANS DO NOT SHOW EXISTING DOOR FRAMES, DOORS AND TRANSOMS TO BE REMOVED. REFER TO DOOR AND FRAME SCHEDULE.
- CONTRACTOR TO PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN. EXISTING FINISHES DAMAGED DURING PERFORMANCE OF THE WORK SHALL BE REPAIRED TO MATCH TO THE EXISTING CONDITION AT NO ADDITIONAL COST OR TIME TO THE OWNER.
- EXISTING ROOF WARRANTY - FOR INFORMATION REGARDING EXISTING ROOF WARRANTIES, CONTACT THE SCHOOL'S ROOFING CONTRACTOR:
 - GLUTH BROTHERS ROOFING COMPANY, INC. PH: 219-844-5536
 - SCHOOL'S TREMCO ROOFING REPRESENTATIVE, DOUG COPLEY PH: 260-312-0483NOTE: TREMCO CERTIFIES ALL ROOFING FOR THE DUNELAND SCHOOL DISTRICT

LINTEL SCHEDULE

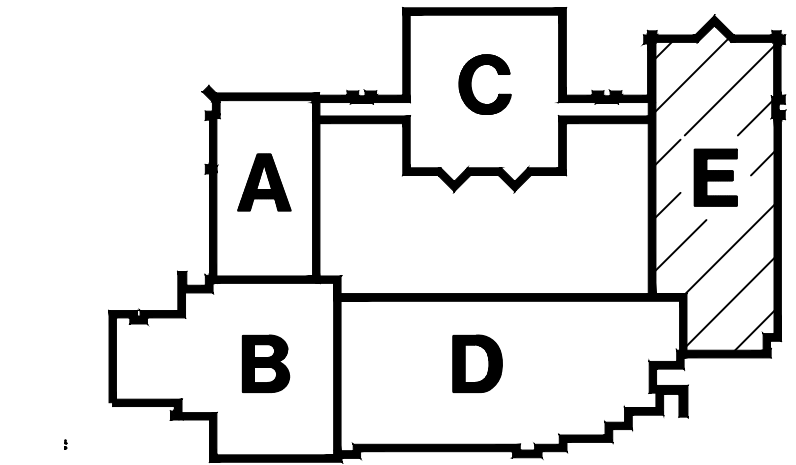
LINTEL NOTES

- LOOSE LINTELS FOR NON-LOAD BEARING WALLS SHALL HAVE A MINIMUM END BEARING OF 8" AND SHALL BE THE FOLLOWING SIZES, UNLESS NOTED OTHERWISE (LINTEL SIZES GIVEN ARE FOR NEW MASONRY CONSTRUCTION ONLY ± SPANS NOTED ARE CLEAR SPANS):

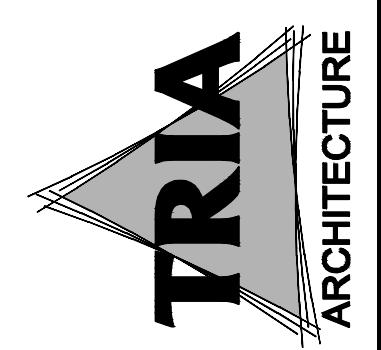
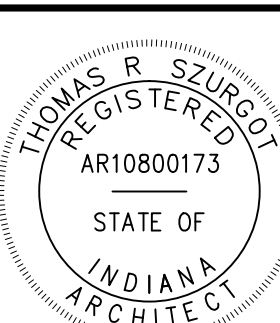
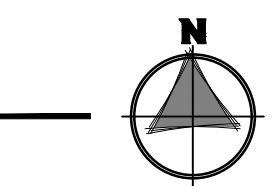
| | |
|---|-------------------------|
| 6" WALLS: | |
| UP TO 4'-0" SPAN | 2-L3 1/2"x2 1/2"x8" LLV |
| 4'-0" TO 6'-4" SPAN | 2-L3 1/2"x2 1/2"x8" LLV |
| 4", 8", & 12" WALLS (1-L FOR EACH 4" OF WALL THICKNESS): | |
| UP TO 4'-0" SPAN | L3 1/2"x3 1/2"x8" LLV |
| OVER 4'-0" TO 6'-0" | L5x3 1/2"x8" LLV |
| OVER 6'-0" TO 8'-0" | L6x3 1/2"x8" LLV |
| 10" WALLS: | |
| UP TO 4'-0" SPAN | (2) L5x3 1/2"x8" SLV |
| OVER 4'-0" TO 6'-0" | (2) L5x5x8" LLV |
| OVER 6'-0" TO 8'-0" | (2) L5x5x8" LLV |

ALL WALLS OVER 8'-0" TO 12'-0" W8x18 + 5/8" PLATE ON BOTTOM (PLATE TO BE 1/2" LESS THAN WALL WIDTH)

- PLATES ON LINTELS SHALL BE SHOP WELDED TO MEMBER W/ 1/4"x2" FILLET WELDS AT 12" O.C. STAGGERED.
- WELD TOGETHER ALL BACK-TO-BACK ANGLES.
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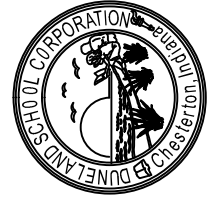


KEYPLAN
NOT TO SCALE



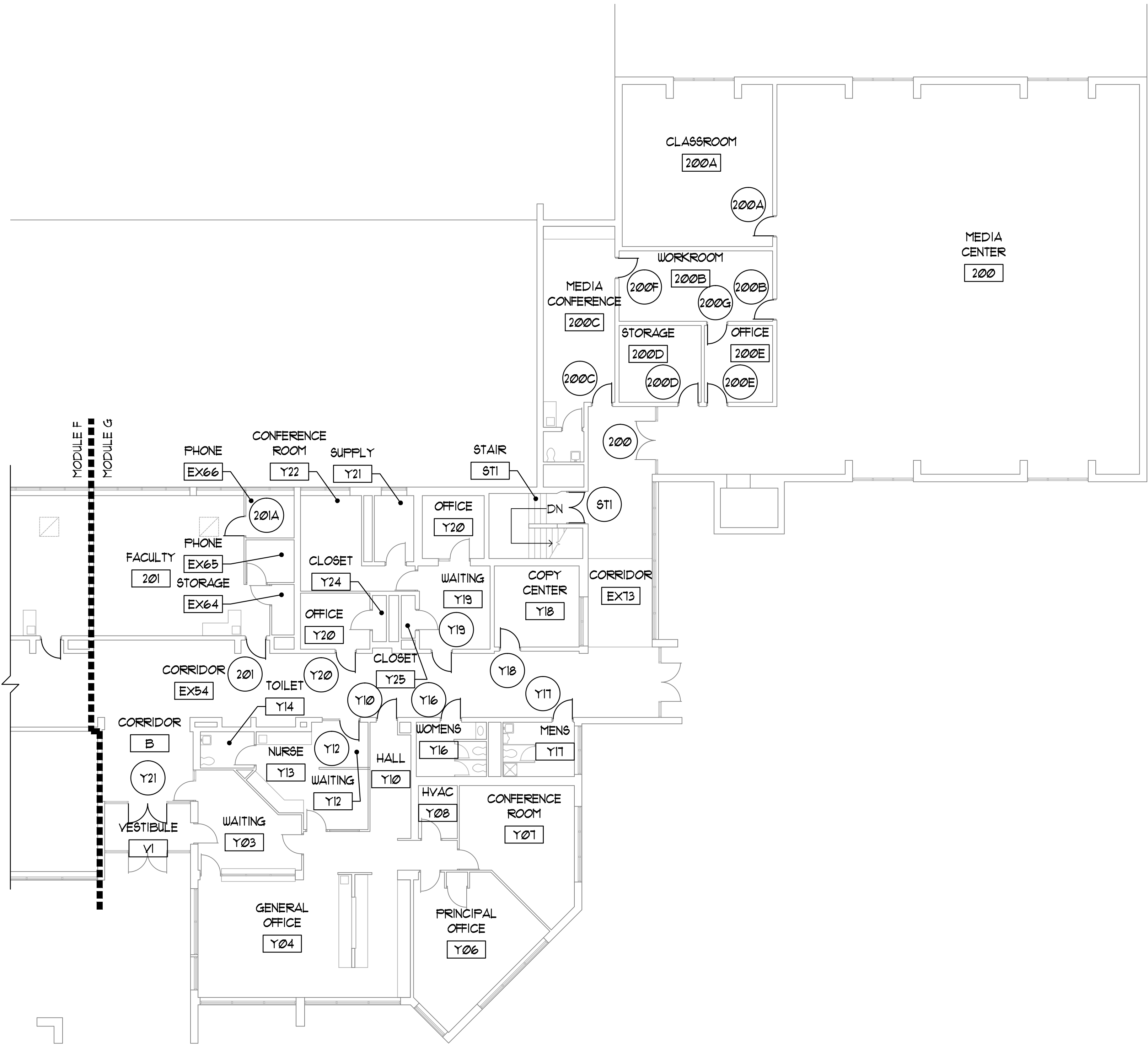
TRIA
ARCHITECTURE
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PH: 219-844-5536
FAX: 219-844-5537
WWW: WWW.TRIA-ARCH.COM

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL
100 W. BEAM STREET PORTER, INDIANA 46304



| | |
|----------------|--|
| PROJECT NUMBER | 100-0000 |
| PROJECT NAME | 2017 RENOVATIONS AT YOST ELEMENTARY SCHOOL |
| DRAWN BY | TRIA |
| CHECKED BY | TRIA |
| DATE | 10/02/2017 |
| REVISIONS | |

UPPER LEVEL FLOOR PLAN - MODULE E
A1.13



1 LOWER LEVEL FLOOR PLAN - MODULE G
3/32" = 1'-0"



FLOOR PLAN REFERENCED NOTES

(NOT ALL NOTES WILL BE REFERENCED ON ALL SHEETS)

1. MECHANICAL LOUVER IN WALL - REFER TO MECHANICAL DRAWINGS. REMOVE EXISTING MASONRY AS REQUIRED. PROVIDE STEEL LINTEL ABOVE OPENING. TOOTH-IN MASONRY IN WHOLE UNITS TO PROVIDE FINISHED JAMB, HEAD, AND SILL CONDITIONS, PAINT TO MATCH EXISTING.
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5. PATCH AND PAINT WALL AT SWITCH WORK. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN GENERAL NOTES

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7. CONTRACTOR TO PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN. EXISTING FINISHES DAMAGED DURING PERFORMANCE OF THE WORK SHALL BE REPAIRED TO MATCH TO THE EXISTING CONDITION AT NO ADDITIONAL COST OR TIME TO THE OWNER.
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LINTEL SCHEDULE

LINTEL NOTES

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6" WALLS:

| | |
|---------------------|---|
| UP TO 4'-0" SPAN | 2-L3 $\frac{1}{2}$ "x2 $\frac{1}{2}$ "x $\frac{5}{8}$ " LLV |
| 4'-0" TO 6'-4" SPAN | 2-L3 $\frac{1}{2}$ "x2 $\frac{1}{2}$ "x $\frac{5}{8}$ " LLV |

4", 8", & 12" WALLS (1-L FOR EACH 4" OF WALL THICKNESS):

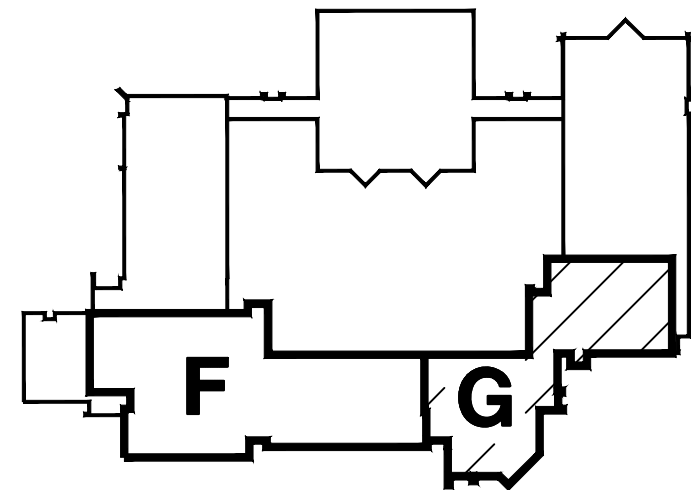
| | |
|---------------------|-------------------------|
| UP TO 4'-0" SPAN | L3x3x $\frac{5}{8}$ |
| OVER 4'-0" TO 6'-0" | L5x3x $\frac{5}{8}$ LLV |
| OVER 6'-0" TO 8'-0" | L6x3x $\frac{5}{8}$ LLV |

10" WALLS:

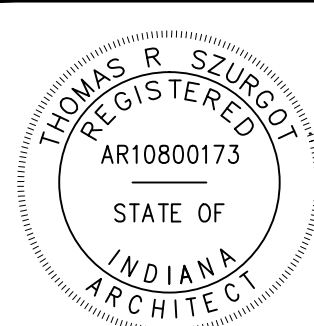
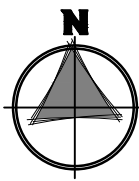
| | |
|---------------------|-----------------------------|
| UP TO 4'-0" SPAN | (2) L5x3x $\frac{5}{8}$ SLV |
| OVER 4'-0" TO 6'-0" | (2) L5x5x $\frac{5}{8}$ |
| OVER 6'-0" TO 8'-0" | (2) L5x5x $\frac{5}{8}$ |

ALL WALLS OVER 8'-0" TO 12'-0" W8x18 + $\frac{5}{8}$ " PLATE ON BOTTOM (PLATE TO BE $\frac{1}{2}$ " LESS THAN WALL WIDTH)

2. PLATES ON LINTELS SHALL BE SHOP WELDED TO MEMBER W/ $\frac{1}{4}$ "x2" FILLET WELDS AT 12" O.C. STAGGERED.
3. WELD TOGETHER ALL BACK-TO-BACK ANGLES.
3. CONTRACTOR SHALL COORDINATE ALL REQUIRED OPENINGS IN NON-LOAD BEARING MASONRY WALLS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.



KEYPLAN
NOT TO SCALE

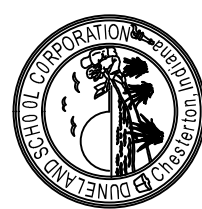


A1.21

DUNELAND SCHOOL CORPORATION

2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL

100 W. BEAM STREET PORTER, INDIANA 46304

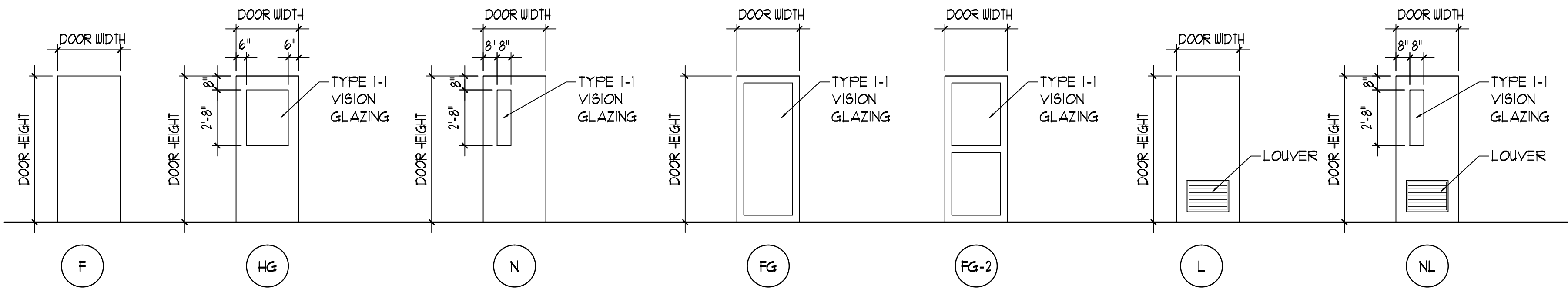


| REVISIONS | DATE | BY | TO |
|-----------|----------|----|--------------------|
| 1 | 10/20/24 | TS | FOR BID AND PERMIT |
| 2 | 10/20/24 | TS | FOR BID AND PERMIT |
| 3 | 10/20/24 | TS | FOR BID AND PERMIT |

LOWER LEVEL FLOOR PLAN - MODULE G

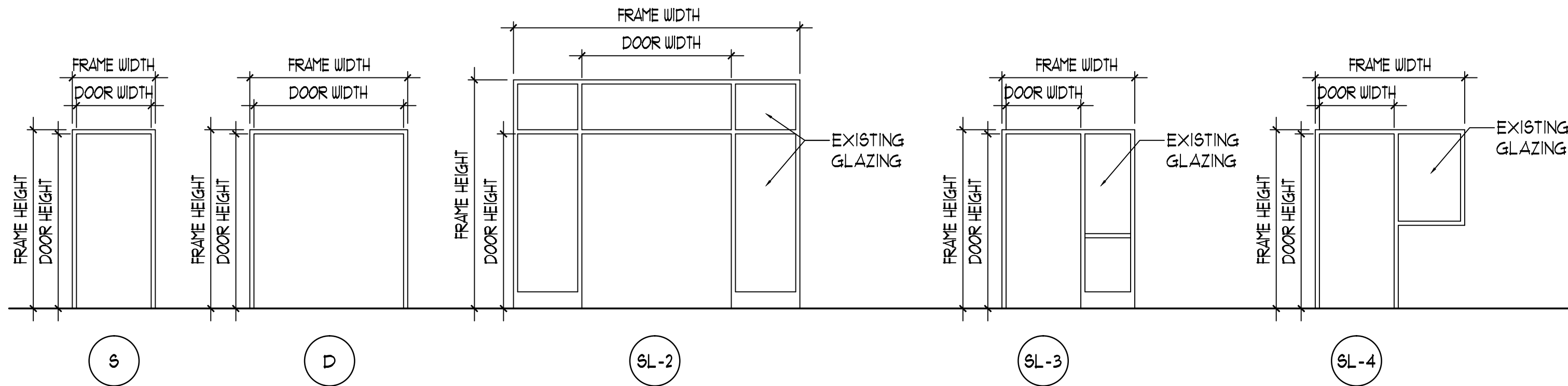
TRIA
ARCHITECTURE

TRIA
ARCHITECTURE
111 W. WABASH ST. #1A
MARIETTA, INDIANA 46031
TEL: 773.541.5000
FAX: 773.541.5001



NOTE: DESIGN INTENT IS TO MATCH EXISTING DOORS SCHEDULED TO BE REPLACED

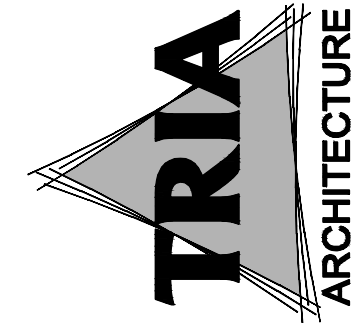
DOOR TYPES
NOT TO SCALE



EXISTING FRAME TYPES
NOT TO SCALE

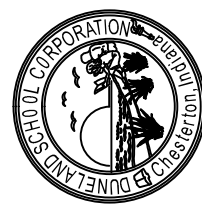
DOOR AND FRAME GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.
2. VERIFY DIMENSIONS OF ALL DOORS TO BE INSTALLED IN EXISTING FRAMES PRIOR TO SUBMITTING SHOP DRAWINGS.
3. HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.
4. DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
5. DOOR OPERATING FORCE SHALL NOT EXCEED: EXTERIOR HINGED DOORS: 85 LB
INTERIOR HINGED DOORS: 5 LB
6. ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.
7. AT ALL FRAMES TO RECEIVE NEW PAINT FINISH - REPAIR, PATCH FRAMES WITH BONDO, SANDED SMOOTH AND PAINT.
8. ALL EXISTING FIRE RATED OPENINGS ARE TO BE MAINTAINED.
9. CONTRACTOR TO VERIFY ANY EXISTING DOOR UNDERCUTS GREATER THAN MANUFACTURER STANDARD IN FIELD PRIOR TO SUBMITTAL OF SHOP DRAWINGS.

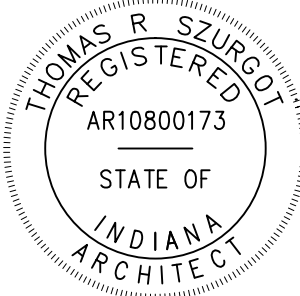


TRIA ARCHITECTURE
111 W. BEAM ST. #A
MARIETTA, OHIO 45750
(716) 734-6400
(716) 734-6502

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL
100 W. BEAM STREET PORTER, INDIANA 46304



| REVISIONS | |
|--|------------------|
| PROJECT NUMBER: 16-026 | DATE: 1/18/17 |
| PROJECT MANAGER: TSK | DATE: 1/18/17 |
| DRAWN BY: TSK | DATE: 1/18/17 |
| USED FOR BID AND PERMIT: 10/10/2016 | DATE: 10/10/2016 |
| DOOR AND FRAME NOTES, DOOR AND FRAME TYPES, ELEVATIONS, AND DOOR DETAILS | |

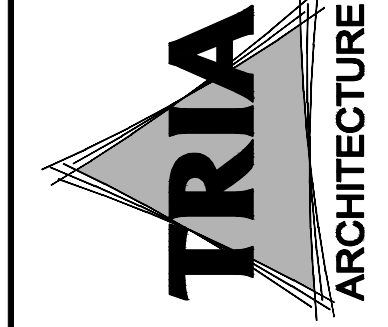


A2.00

| YOST ELEMENTARY SCHOOL UPPER LEVEL FLOOR DOOR SCHEDULE | | | | | | | | | | | | | | | | | | |
|--|------------|--------|------|-------|----------|--------------------|-------|--------|------|-------|--------------------|-------------|---------|------|------|------|-----------------|---------------------|
| OPN'G NO. | DOOR | | | | | | FRAME | | | | | | DETAILS | | | | COMMENTS | |
| | SIZE | | TYPE | MAT'L | HDWR SET | FROT. RATING HOURS | SIZE | | TYPE | MAT'L | FROT. RATING HOURS | REF. NOTES | HEAD | JAMB | JAMB | SILL | LOCATION | LOUVER IN DOOR SIZE |
| | WIDTH | HEIGHT | | | | | WIDTH | HEIGHT | | | | | | | | | | |
| T11 | PAIR 3'-0" | 7'-0" | FG-2 | AL | 02 | - | EX | EX | SL-2 | AL | - | 1, 5 | - | - | - | - | CORRIDOR EX21 | |
| Y32 | EX | EX | N | WD | 35 | - | EX | EX | S | HM | - | 2, 4, 11 | - | - | - | - | OFFICE | |
| Y37 | EX | EX | F | WD | 40 | - | EX | EX | S | HM | - | 2, 4, 11 | - | - | - | - | GIRLS TOILET | |
| Y38 | EX | EX | F | WD | 40 | - | EX | EX | S | HM | - | 2, 4, 11 | - | - | - | - | BOYS TOILET | |
| YOST ELEMENTARY SCHOOL LOWER LEVEL FLOOR DOOR SCHEDULE | | | | | | | | | | | | | | | | | | |
| 200 | EX PAIR | EX | N | WD | 35 | - | EX | EX | D | HM | - | 2, 4 | - | - | - | - | MEDIA CENTER | |
| 200A | 3'-0" | 7'-0" | N | WD | 28 | - | EX | EX | SL-4 | HM | - | 1, 3, 4 | - | - | - | - | CLASSROOM | |
| 200B | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | SL-4 | HM | - | 1, 3, 4 | - | - | - | - | WORKROOM | |
| 200C | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | SL-4 | HM | - | 1, 3, 4, 8 | - | - | - | - | MEDIA CONF. RM. | |
| 200D | 3'-0" | 7'-0" | N | WD | 12 | - | EX | EX | SL-4 | HM | - | 1, 3, 4, 8 | - | - | - | - | STORAGE | |
| 200E | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | SL-4 | HM | - | 1, 3, 4, 8 | - | - | - | - | OFFICE | |
| 200F | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | S | HM | - | 1, 3, 4, 8 | - | - | - | - | WORKROOM | |
| 200G | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | WORKROOM | |
| 201 | 3'-0" | 7'-0" | HG | WD | 36 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | FACULTY | |
| 201A | 3'-0" | 7'-0" | F | WD | 36.1 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | FACULTY | |
| 202 | 3'-0" | 7'-0" | HG | WD | 27 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | CLASSROOM | |
| 202A | 3'-0" | 7'-0" | N | WD | 38 | - | EX | EX | S | HM | - | 1, 4, 10 | - | - | - | - | CLASSROOM | |
| 203A | 3'-0" | 7'-0" | HG | WD | 27 | - | EX | EX | S | HM | - | 1, 4, 8 | - | - | - | - | CLASSROOM | |
| 203B | 3'-0" | 7'-0" | HG | WD | 27 | - | EX | EX | S | HM | - | 1, 4, 8 | - | - | - | - | CLASSROOM | |
| 204 | 3'-0" | 7'-0" | HG | WD | 27 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | CLASSROOM | |
| 204A | 3'-0" | 7'-0" | HG | WD | 27 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | CLASSROOM | |
| 205 | 3'-0" | 7'-0" | HG | WD | 27 | - | EX | EX | S | HM | - | 1, 4, 8 | - | - | - | - | CLASSROOM | |
| 205A | 3'-0" | 7'-0" | N | WD | 38 | - | EX | EX | S | HM | - | 1, 4, 10 | - | - | - | - | CLASSROOM | |
| 206 | 3'-0" | 7'-0" | N | WD | 14.1 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | CLASSROOM | |
| 208 | 3'-0" | 7'-0" | N | WD | 14.1 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | CLASSROOM | |
| 209 | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | STORAGE | |
| 209A | 3'-0" | 7'-0" | N | WD | 36.1 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | STORAGE | |
| 209B | 3'-0" | 7'-0" | F | WD | 21 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | STORAGE | |
| Y10 | 3'-0" | 7'-0" | N | WD | 14.1 | - | EX | EX | S | HM | - | 1, 3, 4 | - | - | - | - | HALL | |
| Y12 | 3'-0" | 7'-0" | F | WD | 14 | - | EX | EX | SL-3 | HM | - | 1, 3, 4 | - | - | - | - | WAITING | |
| Y16 | 3'-0" | 7'-0" | F | WD | 39 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | WOMENS | |
| Y17 | 3'-0" | 7'-0" | F | WD | 39 | - | EX | EX | S | HM | - | 1, 4, 8 | - | - | - | - | MENS | |
| Y18 | 3'-0" | 7'-0" | F | WD | 26 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | COPY CENTER | |
| Y19 | 3'-0" | 7'-0" | N | WD | 13 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | WAITING | |
| Y20 | 3'-0" | 7'-0" | N | WD | 13 | - | EX | EX | S | HM | - | 1, 4 | - | - | - | - | OFFICE | |
| Y21 | PAIR 3'-0" | 7'-0" | FG-2 | WD | 06 | - | EX | EX | SL-2 | HM | - | 1, 4, 6, 10 | - | - | - | - | CORRIDOR B | |
| Y22 | PAIR 3'-0" | 7'-0" | FG-2 | WD | 06 | - | EX | EX | SL-2 | HM | - | 1, 4, 6, 10 | - | - | - | - | CORRIDOR C | |
| ST1 | PAIR 3'-0" | 7'-0" | N | WD | 06 | - | EX | EX | D | HM | - | 1, 3, 4 | - | - | - | - | STAIR | |

| DOOR AND FRAME REFERENCED NOTES | | | | | | | | | | | | | | | | | | |
|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| <div>1. REMOVE EXISTING DOOR AND DOOR HARDWARE AND REPLACE WITH NEW AS SPECIFIED. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BIDDING.</div> <div>2. REMOVE EXISTING LOCKSET AND REPLACE WITH NEW AS SPECIFIED.</div> <div>3. EXISTING DOOR TO BE REMOVED AND TURNED OVER TO THE OWNER.</div> <div>4. EXISTING FRAME TO REMAIN AND TO BE PAINTED.</div> <div>5. EXISTING FRAME TO REMAIN AND TO BE CLEANED.</div> <div>6. EXISTING BORROWED OR SIDE LITE GLAZING TO REMAIN.</div> <div>7. EXISTING DOOR TRANSOM TO REMAIN.</div> <div>8. PROVIDE 1" DOOR UNDERCUT. IF NOT LABELED - CONTRACTOR TO V.I.F.</div> <div>9. HANDLE ON LOCKSET INTO ROOM SHALL HAVE ADA COMPLIANT TACTILE SURFACE.</div> <div>10. DOOR OPENING EXISTING CONDITIONS TO BE VERIFIED IN FIELD BY CONTRACTOR.</div> <div>11. EXISTING DOOR TO REMAIN.</div> <div>12. EXISTING DOOR TO REMAIN. EXISTING VENEERED DOORS TO BE RE-VENEERED TO MATCH NEW DOOR FINISH. EXISTING SOLID DOORS TO BE PREPPED TO RECEIVE NEW STAIN, FINISH TO MATCH NEW DOOR.</div> | | | | | | | | | | | | | | | | | | |


| DOOR AND FRAME ABBREVIATIONS | | | | | | | | | | | | | | | | | | |
|------------------------------|-----------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| AL | ALUMINUM | | | | | | | | | | | | | | | | | |
| EX | EXISTING | | | | | | | | | | | | | | | | | |
| HM | HOLLOW METAL | | | | | | | | | | | | | | | | | |
| WD | WOOD | | | | | | | | | | | | | | | | | |
| SS | STAINLESS STEEL | | | | | | | | | | | | | | | | | |



TRIA
ARCHITECTURE

TRIA ENGINEER
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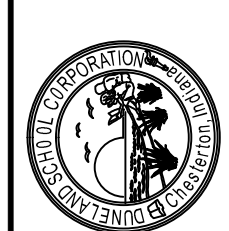
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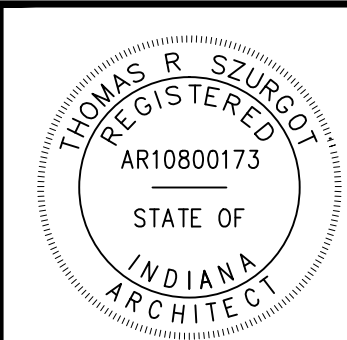
DUNELAND SCHOOL CORPORATION

2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL

100 W. BEAM STREET PORTER, INDIANA 46304

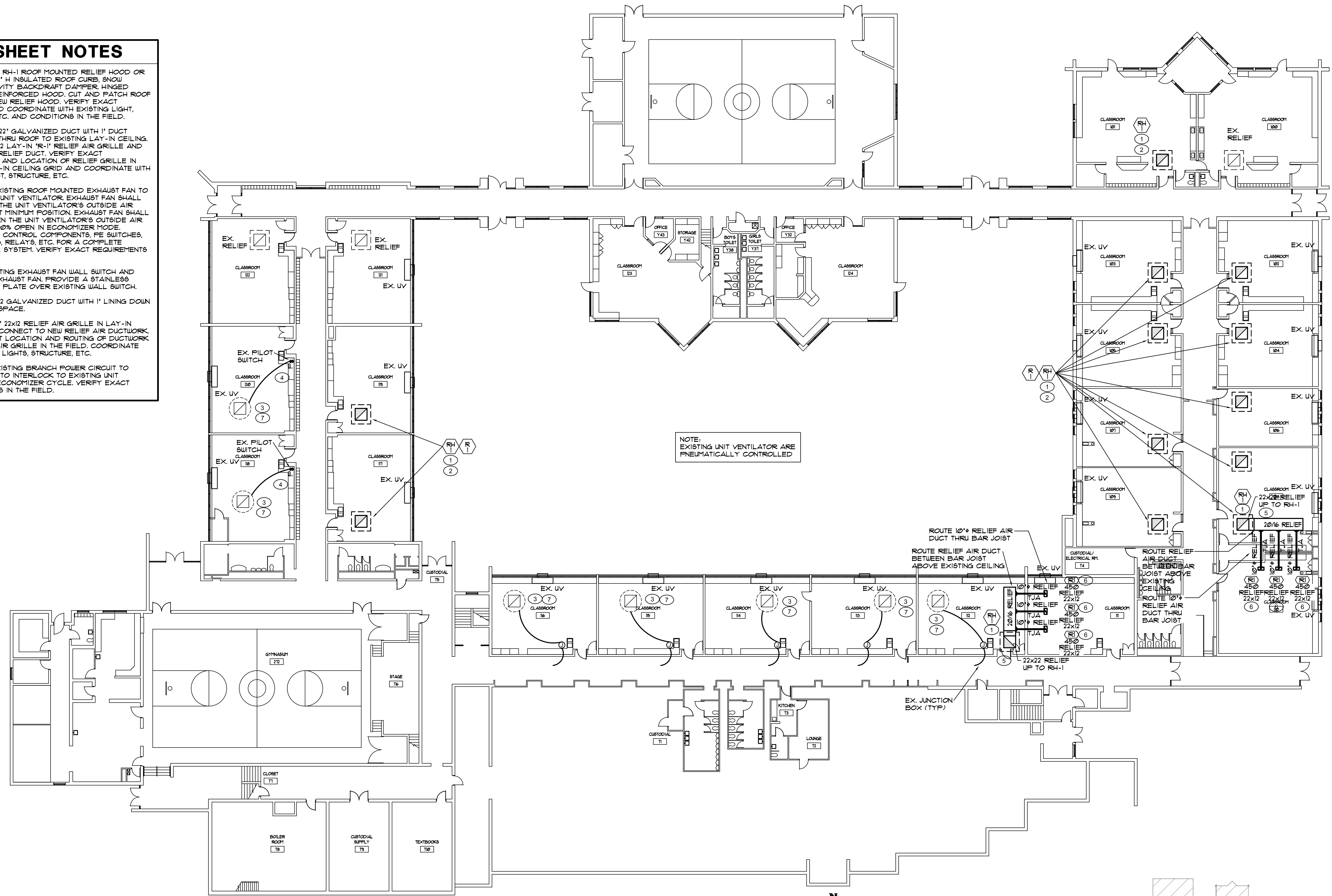


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|-------------------------------------|------------|
| PROJECT NUMBER: 16-026 | REVISIONS: |
| PROJECT MANAGER: TD | 1 |
| DRAWN BY: TMR | 2 |
| USED FOR BID AND PERMIT: 10/02/2016 | 3 |
| DOOR AND FRAME SCHEDULE | |



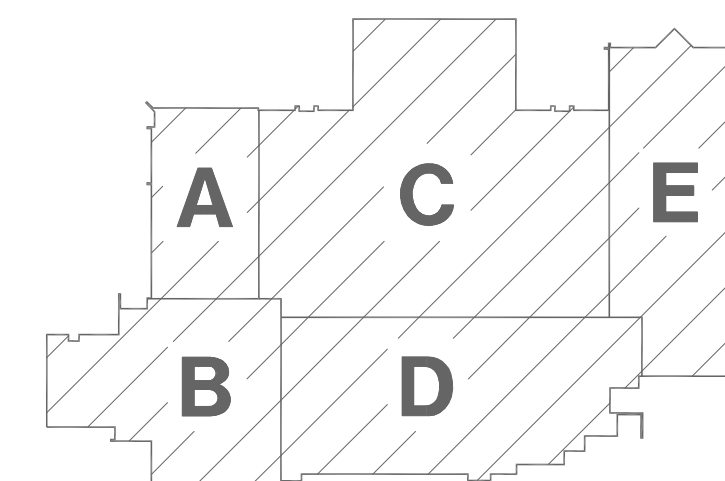
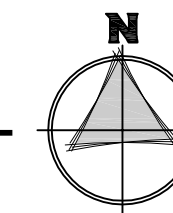
SHEET NOTES

1. PROVIDE NEW RH-1 ROOF MOUNTED RELIEF HOOD OR EQUAL WITH 18" H INSULATED ROOF CURB, SNOW SCREEN, GRAVITY BACKDRAFT DAMPER, HINGED HOOD AND REINFORCED HOOD. CUT AND PATCH ROOF TO INSTALL NEW RELIEF HOOD. VERIFY EXACT LOCATION AND COORDINATE WITH EXISTING LIGHT, STRUCTURE, ETC. AND CONDITIONS IN THE FIELD.
2. PROVIDE 22"x22" GALVANIZED DUCT WITH 1" DUCT LINING DOWN THRU ROOF TO EXISTING LAY-IN CEILING. PROVIDE 22"x22" LAY-IN "R-1" RELIEF AIR GRILLE AND CONNECT TO RELIEF DUCT. VERIFY EXACT CONNECTIONS AND LOCATION OF RELIEF GRILLE IN EXISTING LAY-IN CEILING GRID AND COORDINATE WITH EXISTING LIGHT, STRUCTURE, ETC.
3. INTERLOCK EXISTING ROOF MOUNTED EXHAUST FAN TO CLASS ROOM UNIT VENTILATOR. EXHAUST FAN SHALL BE OFF WHEN THE UNIT VENTILATOR'S OUTSIDE AIR DAMPER IS AT MINIMUM POSITION. EXHAUST FAN SHALL ENERGIZE WHEN THE UNIT VENTILATOR'S OUTSIDE AIR DAMPER IS 100% OPEN IN ECONOMIZER MODE. PROVIDE ALL CONTROL COMPONENTS, PE SWITCHES, END SWITCHES, RELAYS, ETC. FOR A COMPLETE OPERATIONAL SYSTEM. VERIFY EXACT REQUIREMENTS IN THE FIELD.
4. REMOVE EXISTING EXHAUST FAN WALL SWITCH AND HARD WIRE EXHAUST FAN. PROVIDE A STAINLESS STEEL COVER PLATE OVER EXISTING WALL SWITCH.
5. PROVIDE 22"x22" GALVANIZED DUCT WITH 1" LINING DOWN INTO CEILING SPACE.
6. PROVIDE "R-1" 22"x12" RELIEF AIR GRILLE IN LAY-IN CEILING AND CONNECT TO NEW RELIEF AIR DUCTWORK. VERIFY EXACT LOCATION AND ROUTING OF DUCTWORK AND RELIEF AIR GRILLE IN THE FIELD. COORDINATE WITH EXISTING LIGHTS, STRUCTURE, ETC.
7. INTERCEPT EXISTING BRANCH POWER CIRCUIT TO EXHAUST FAN TO INTERLOCK TO EXISTING UNIT VENTILATOR ECONOMIZER CYCLE. VERIFY EXACT REQUIREMENTS IN THE FIELD.

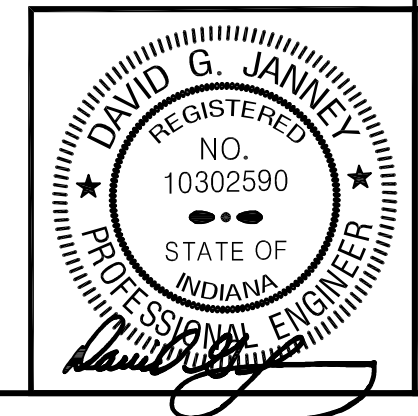


NOTE:
EXISTING UNIT VENTILATOR ARE
PNEUMATICALLY CONTROLLED

1 UPPER LEVEL - MECHANICAL FLOOR PLAN
1/16" = 1'-0"



KEYPLAN



| | |
|-------------------------------------|-------------------------|
| PROJECT NUMBER: | 14-026 |
| PROJECT MANAGER: | PT |
| DRAWN BY: | CH |
| DESIGNED FOR: | EDD AND PERMIT: INDIANA |
| UPPER LEVEL - MECHANICAL FLOOR PLAN | |

M1.00

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL (YES)
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MECHANICAL SPECIFICATIONS

PART 1 GENERAL

- 1.1 FURNISH AND INSTALL ALL LABOR AND MATERIALS NECESSARY TO PROVIDE A COMPLETE INSTALLATION OF ALL MECHANICAL SERVICES AND SYSTEMS INDICATED AND AS MAY BE REQUIRED TO MAKE THE WORK COMPLETE FOR THE PURPOSE INTENDED. LAYOUTS SHOWN ARE DIAGRAMMATIC - INSTALL DUCTWORK, PIPING AND EQUIPMENT TO MEET ACTUAL FIELD CONDITIONS.
- 1.2 BIDDING REQUIREMENTS: VISIT SITE PRIOR TO BIDDING TO FULLY ACQUAINT HIMSELF WITH ALL FIELD CONDITIONS AND TO DETERMINE FULL EXTENT OF WORK REQUIRED. COORDINATE NEW INSTALLATIONS WITH EXISTING SYSTEMS. ANY ITEMS NOT SPECIFICALLY INDICATED ON DRAWINGS THAT ARE IN CONFLICT WITH CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID FOR A DECISION. BIDDERS SHALL ACQUAINT THEMSELVES WITH THE WORKING CONDITIONS AND REQUIREMENTS OF THE ENTIRE PROJECT, AS ANY CONTRACT FOR THIS WORK WILL BE BASED UPON FURNISHING ALL LABOR AND MATERIALS REQUIRED TO ENTIRELY COMPLETE WORK READY FOR USE.
- 1.3 CODES: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, STATE HVAC CODES, ALL MATERIALS SHALL BE IN COMPLIANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFFA) STANDARDS.
- 1.4 OBTAIN AND PAY FOR ALL LICENSES, PERMITS AND INSPECTIONS FOR ALL WORK REQUIRED. ALL CERTIFICATES OF INSPECTION SHALL BE DELIVERED TO THE OWNER.
- 1.5 SHOP DRAWINGS TO BE SUBMITTED (SIX COPIES) FOR ALL EQUIPMENT, DUCTWORK AND PIPING LAYOUTS WITHIN 14 DAYS OF CONTRACT AWARDDING FOR REVIEW. ANY MINOR CHANGES IN LOCATION OF EQUIPMENT, OR DUCTWORK FROM THOSE SHOWN ON THE DRAWINGS SHALL BE MADE WITHOUT CHARGE IF SO DIRECTED BY THE ARCHITECT BEFORE INSTALLATION.
- 1.6 SCHEDULE ALL WORK TO AVOID DOWNTIME AND INCONVENIENCE TO OWNER. OWNER'S EXISTING FACILITY SHALL REMAIN IN OPERATION AT ALL TIMES. ALL REQUIRED SHUTDOWN OF EXISTING UTILITIES SHALL BE SCHEDULED WITH OWNER'S OPERATING PERSONNEL. NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO ANY SHUTDOWN OF EXISTING SYSTEMS.
- 1.7 WARRANTY: ANY DEFECTS TO ALL EQUIPMENT MATERIALS AND LABOR FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING BY THE ARCHITECT AND ENGINEER (FIVE YEARS FOR REFRIGERATION COMPRESSORS - PARTS AND LABOR). DEFECTIVE EQUIPMENT AND MATERIALS SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. GUARANTEE THAT ALL WORKMANSHIP IS OF HIGH QUALITY AND THAT ALL EQUIPMENT FURNISHED UNDER THIS CONTRACT FULFILLS THE REQUIREMENTS OF THE SPECIFICATIONS. CONDUCT, AT NO COST TO THE OWNER, CAPACITY TESTS ON ANY EQUIPMENT FURNISHED BY HIM WHEN SO REQUESTED BY THE ARCHITECT OR HIS REPRESENTATIVE WITHIN THE ONE YEAR PERIOD.

PART 2 AIR DISTRIBUTION SYSTEMS

- 2.1 DUCTWORK TO BE GALVANIZED SHEETMETAL FABRICATED ACCORDING TO SMACNA'S DUCT CONSTRUCTION STANDARDS (LATEST EDITION). UTILIZE PITTSBURGH LOCK SEAMS FOR ALL LONGITUDINAL SEAMS (NO EXCEPTIONS). SEAL ALL JOINTS AND SEAMS FOR AN AIRTIGHT INSTALLATION. EXPOSED DUCTWORK AND SHEETMETAL FANS IN FINISHED AREAS ARE TO BE PROVIDED WITH PAINT-GRIP READY FOR PRIMING AND PAINTING. ALL EXPOSED ROUND DUCTWORK TO BE SPIRAL TYPE DUCTWORK AND FITTINGS.
- 2.2 FLEXIBLE DUCTWORK TO BE EQUIVALENT TO THERMAFLEX MODEL MKE AND SHALL BE UL LABELED FOR USE IN RETURN AIR PLENUM. FLEXIBLE DUCTWORK MAY BE USED TO THE INLET OF REGISTERS, GRILLES AND DIFFUSERS AND TO BE 5'-0" MAXIMUM LENGTH, SUPPORTED WHERE REQUIRED TO PREVENT MOVEMENT.
- 2.3 DUCTWORK LINING: RELIEF AIR DUCTWORK TO BE INTERNALLY LINED WITH 1" THICK ACOUSTIC AND THERMAL FLEXIBLE FIBERGLASS LINER WITH REINFORCED AIRSIDE COATING AND ANTIMICROBIAL PROTECTION EQUIVALENT TO JOHN'S MANVILLE LINACUSTIC RC. DUCTWORK DIMENSIONS INDICATED ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS AFTER LINING IS APPLIED. SEAL ALL CUT EDGES AS PER MANUFACTURER'S RECOMMENDATIONS.
- 2.4 BAROMETRIC RELIEF DAMPERS TO BE EQUIVALENT TO AMERICAN WARMING MODEL BD-51 PARALLEL BLADE COUNTERBALANCED DAMPERS WITH BLADE AND JAMB SEALS SET FOR .05" UC.
- 2.5 REGISTERS AND GRILLES TO BE EQUIVALENT TO AS SCHEDULED ON DRAWINGS AND TO BE AS MANUFACTURED BY CARNES, METALAIRE, FRICE, NAILOR, TITUS AND KRUEGER. VERIFY CEILING STYLES AND TYPES BEFORE ORDERING REGISTERS, GRILLES AND DIFFUSERS. PROVIDE APPROPRIATE FRAME STYLES AS REQUIRED TO MATCH CEILING STYLE AND TYPES.
- 2.6 ROOF RELIEF HOODS TO BE EQUIVALENT TO AS SCHEDULED ON DRAWINGS AND TO BE AS MANUFACTURED BY AQME, POTTORFF, GREENHECK, NCA, ARROW-UNITED OR RUSKIN.

PART 3 TEMPERATURE CONTROLS

- 3.1 THE TEMPERATURE CONTROL (TC) WORK SHALL BE MANUFACTURED AND INSTALLED BY ONE OF THE FOLLOWING:
- 1. JOHNSON CONTROLS, INC. (METASYS) AS INSTALLED BY THE LOCAL BRANCH OFFICE.
 - 2. TAC CONTROLS - SERIES I/A AS INSTALLED BY PRECISION CONTROLS, INC.
 - 3. SCHNEIDER ELECTRIC BY TOTAL AUTOMATION CONCEPTS, TELEPHONE (708) 591-3143.
- 3.2 THE TEMPERATURE CONTROL CONTRACTOR SHALL BE A RECOGNIZED NATIONAL MANUFACTURER, INSTALLER AND SERVICE PROVIDER OF THE SPECIFIED TEMPERATURE CONTROLS. DISTRIBUTORS, MANUFACTURER'S REPRESENTATIVES AND WHOLESALERS ARE NOT ACCEPTABLE FOR THIS PROJECT.
- 3.3 PROVIDE ALL CONTROLS, PNEUMATICS, AND CONTROL WIRING REQUIRED FOR CONTROL AND INTERLOCK OF EXISTING ROOF MOUNTED EXHAUST FANS TO CLASSROOM UNIT VENTILATORS. INSTALLATION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODE. ALL WIRING SHALL BE IN 1/2" METALLIC CONDUIT OR APPROVED WIREMOLD.
- 3.4 INTERLOCKS: PROVIDE ALL CONTROLS AND WIRING REQUIRED TO INTERLOCK EQUIPMENT INDICATED ON DRAWINGS.
- 3.5 EXISTING ROOF MOUNTED EXHAUST FANS IN CLASSROOMS SHALL BE INTERLOCKED TO THE EXISTING PNEUMATICALLY CONTROLLED CLASSROOM UNIT VENTILATOR. EXHAUST FAN SHALL REMAIN OFF WHEN THE CLASSROOM UNIT VENTILATOR'S OUTSIDE AIR DAMPER IS NOT 100% OPEN. EXISTING EXHAUST FAN SHALL ENERGIZE WHEN THE EXISTING CLASSROOM UNIT VENTILATOR'S OUTSIDE AIR DAMPERS OPENS 100%.

PROVIDE ALL CONTROL COMPONENTS, RELAYS, END SWITCHES, FE SWITCHES, ETC.FOR A COMPLETE AND OPERATIONAL SYSTEM.

PART 4 WORK IN EXISTING BUILDINGS

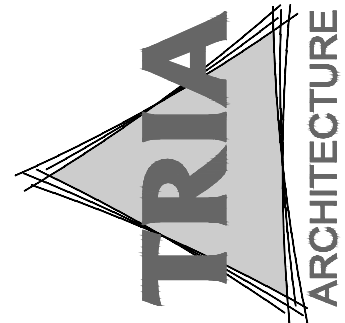
- 4.1 FIELD VERIFY IF EXISTING ASBESTOS WILL BE ENCOUNTERED PRIOR TO STARTING ANY WORK. IF ASBESTOS IS PRESENT, THE OWNER WILL PROVIDE FOR THE REMOVAL OF ANY MATERIAL CONTAINING ASBESTOS. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS.
- 4.2 REMOVE ALL EXISTING CEILING\$ REQUIRED FOR INSTALLATION OF NEW WORK. CONTRACTOR IS TO REINSTALL CEILING UPON COMPLETION OF WORK. REPLACE ALL DAMAGED CEILING MATERIALS TO MATCH EXISTING.
- 4.3 PROVIDE ALL CUTTING, CORE DRILLING AND PATCHING OF EXISTING WALL AND ROOF CONSTRUCTIONS REQUIRED FOR THE INSTALLATION OF NEW DUCTWORK AND PIPING. SEAL PENETRATIONS THROUGH FLOOR, WALL AND ROOF STRUCTURE WATERTIGHT AND WITH AN APPROVED FIRE STOPPING MATERIAL, INCLUDING APPROVED FIRE RATED SLEEVE.
- 4.4 ALL WORK ON THE ROOF SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE EXISTING ROOFING MANUFACTURER'S RECOMMENDATIONS. ROOF WORK SHALL BE PERFORMED BY CERTIFIED INSTALLERS AS TO MAINTAIN THE EXISTING ROOF WARRANTY. PRIOR TO THE START OF ANY WORK ON THE ROOF, THE CONTRACTOR SHALL HAVE THE EXISTING ROOF INSPECTED AND CERTIFIED BY THE EXISTING ROOFING MANUFACTURER. ANY DEFICIENCIES WHICH OCCUR BETWEEN THE INITIAL AND FINAL INSPECTIONS SHALL BE CORRECTED AT NO COST TO THE OWNER. ANY CORRECTIVE MEASURES SHALL BE PERFORMED BY CERTIFIED INSTALLERS AS TO MAINTAIN THE EXISTING ROOF WARRANTY.
- 4.5 PROVIDE STEEL ANGLE SUPPORTS FOR NEW ROOF MOUNTED HVAC EQUIPMENT CURBS (RELIEF HOODS). PROVIDE STEEL ANGLE FRAMES AROUND DUCT PENETRATIONS. SECURELY ANCHOR SUPPORTS AND FRAMES TO EXISTING STEEL JOISTS AND BEAM. REWORK EXISTING ROOFING AND INSULATION AND FLASH INTO EXISTING ROOFING TO PROVIDE A WEATHER TIGHT CONDITION AND TO MAINTAIN WARRANTY.

PART 5 - EXECUTION

- 5.1 EQUIPMENT: ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL SUPPORTS REQUIRED AND SET EQUIPMENT LEVEL. PROVIDE ALL DUCTWORK AS CONNECTIONS REQUIRED.
- 5.2 DUCTWORK: ROUTE ALL NEW DUCTWORK AS HIGH AS POSSIBLE TO AVOID CONFLICTS WITH OTHER TRADES. VERIFY CONDITIONS AND EXACT DUCTWORK ROUTING IN FIELD PRIOR TO INSTALLATION. SEAL ALL DUCTWORK JOINTS AIR-TIGHT.
- 5.3 DUCTWORK SHALL NOT BE SUPPORTED FROM THE BOTTOM CHORD OF ENGINEERED JOISTS WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- 5.4 GRILLES: COORDINATE EXACT LOCATION OF ALL CEILING GRILLES WITH EXISTING LIGHTING LAYOUT, AND CEILING GRID, ETC. VERIFY EXACT LOCATION WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION.
- 5.5 COORDINATION: CONFER WITH THE OTHER CONTRACTORS REGARDING THE LOCATION AND SIZES OF DUCTWORK AND EQUIPMENT IN ORDER THAT THERE MAY BE NO INTERFERENCES BETWEEN INSTALLATIONS OR THE PROGRESS OF THE WORK FOR ANY CONTRACTOR ON THE BUILDING. LAY OUT WORK TO AVOID CONFLICTS BETWEEN DUCTWORK, LIGHTING, CEILINGS, PIPING AND BUILDING STRUCTURE.
- 5.6 CUTTING AND PATCHING TO BE PROVIDED SO THE WORK MAY BE PROPERLY INSTALLED. ALL DISTURBED CONSTRUCTION OR FINISH MUST BE REPLACED OR REPAIRED TO THE ARCHITECT'S SATISFACTION AT THIS CONTRACTOR'S EXPENSE. UNDER NO CONDITION SHALL STRUCTURAL WORK BE CUT EXCEPT UPON APPROVAL OF THE ARCHITECT.
- 5.7 CLEANING: UPON COMPLETION OF INSTALLATION OF VENTILATION DUCTS, CLEAN ENTIRE SYSTEM OF RUBBISH, PLASTER DIRT, ETC. BEFORE INSTALLING GRILLES. REMOVE ALL DEBRIS FROM JOB SITE AND LEAVE ALL MECHANICAL EQUIPMENT CLEAN. REPORT ALL DEFICIENCIES TO THE GENERAL CONTRACTOR.

PART 6 ELECTRICAL

- 6.1 ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, STATE ELECTRICAL CODES, ALL MATERIALS SHALL BE IN COMPLIANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFFA) STANDARDS.
- 6.2 CONDUIT: MINIMUM CONDUIT SIZE SHALL BE 1/2" EMT; MINIMUM IMC OR RIGID H.W. CONDUIT SIZE TO BE 3/4". (VERIFY WITH LOCAL GOVERNING CODES PRIOR TO INSTALLATION) COUPLINGS AND CONNECTORS SHALL BE GLAND OR SET SCREW TYPE.
- 6.3 WIRE: MINIMUM WIRE SIZE SHALL BE #12 THIN (OR THIN) SOLID COPPER; OVER 15' RUNS SHALL BE MINIMUM #10 THIN COPPER UNLESS NOTED OTHERWISE ON THE PLANS.
- 6.4 WIRE SPLICES AND JOINTS SHALL BE MECHANICALLY AND ELECTRICALLY PERFECT. TWISTED SPLICES AND JOINTS SHALL BE DRAWN UP TIGHT AND FITTED WITH PROPER SIZED SCOTCHLOK OR IDEAL ELECTRICAL SPRING CONNECTORS.
- 6.5 GROUNDING: PROVIDE PROPER AND SUFFICIENT GROUND CONNECTION FOR ALL ELECTRICAL DEVICES AND EQUIPMENT. ALL CONDUIT CONNECTIONS SHALL BE DRAWN UP TIGHT AND SECURE.
- 6.6 ALL SURFACE MOUNTED FULL BOXES, OUTLET BOXES, ETC., SHALL HAVE SUPPORTS INDEPENDENT OF CONDUIT SYSTEM AND SECURELY ANCHORED TO THE STRUCTURE. THE ENTIRE CONDUIT SYSTEM SHALL BE INDEPENDENTLY SUPPORTED FROM STRUCTURE. NO CONDUITS SHALL BE SUPPORTED FROM THE VENTILATING DUCTS, MECHANICAL PIPING OR THEIR HANGERS.
- 6.7 ROUTE EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO WALL. NO RACEWAYS SHALL BE INSTALLED WITHIN 6' OF HOT WATER PIPES OR SIMILAR HEAT PRODUCING APPLIANCES.
- 6.8 COVERS OF JUNCTION OR FULL BOXES SHALL BE ACCESSIBLE AND IDENTIFIED PER SPECIFICATIONS. JUNCTION OR FULL BOXES AND THE LIKE SHALL BE INDEPENDENTLY SUPPORTED TO BUILDING STRUCTURE WITH NO WEIGHT BEARING ON RACEWAYS.
- 6.9 FURNISH AND INSTALL A GREEN GROUND WIRE IN ALL POWER. ALL DEVICES, EQUIPMENT, FIXTURES AND THE LIKE, MUST BE GROUNDED. MECHANICAL/ELECTRICAL BONDS OF THE METALLIC RACEWAY SYSTEM SHALL BE MAINTAINED.



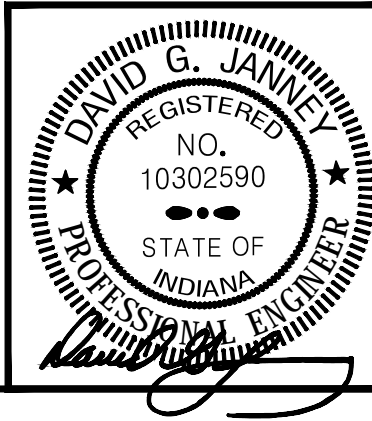
MEP ENGINEER
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MARTIN, INDIAN 46011

DUNELAND SCHOOL CORPORATION
2017 RENOVATIONS AT:
YOST ELEMENTARY SCHOOL (YES)
100 W. BEAM STREET PORTER, INDIANA 46304



| | |
|---|------------|
| PROJECT NUMBER: 16-026 | SECTION: 1 |
| PROJECT MANAGER: PT | 2 |
| DRAWN BY: CH | 3 |
| ISSUED FOR BIDDING AND PERMIT: 10/10/16 | 4 |

SPECIFICATIONS



M2.00