

EXISTING REFLECTED CEILING PLAN
REFERENCED NOTES

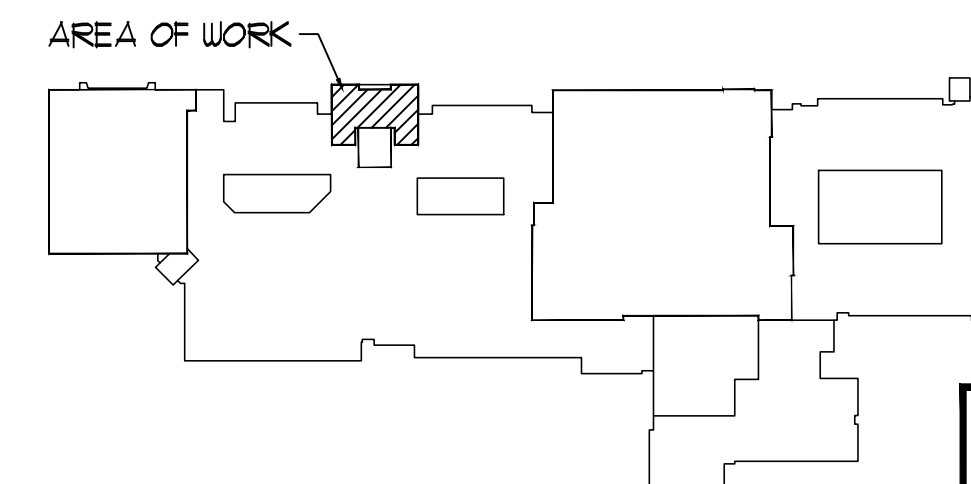
- EXISTING TEXTURED SOFFIT/ WALL TO REMAIN.
- EXISTING DOOR FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WINDOW FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING LARGE PENDANT METAL BRACKETS TO REMAIN - REFER TO ELECTRICAL DRAWINGS.
- EXISTING GYPSUM CEILING TO REMAIN.
- EXISTING LIGHT FIXTURES TO REMAIN.
- DASH LINE INDICATES EXISTING GYPSUM CEILING TO BE REMOVED IN ITS ENTIRETY.
- EXISTING LIGHT FIXTURES TO BE REMOVED.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED IN ITS ENTIRETY - REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- EXISTING MECHANICAL CHASE TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING EXPOSED CEILING AND ASSOCIATED LIGHT FIXTURES TO REMAIN.
- EXISTING LARGE PENDANT METAL BRACKETS AND LIGHT FIXTURE TO REMAIN.
- EXISTING CLERESTORY WINDOW FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING TWO STORY WINDOW FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING BEAM TO REMAIN.

EXISTING REFLECTED CEILING PLAN
GENERAL NOTES

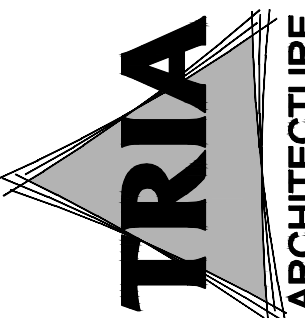
- IN WORK AREAS, ALL EXISTING CEILING SYSTEMS, LIGHTS, EQUIPMENT AND CEILING-MOUNTED SPEAKERS TO BE REMOVED IN THEIR ENTIRETY UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
- REFER TO SHEETS AT20 AND MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR SCOPE OF NEW WORK.
- REFER TO ELECTRICAL PLANS FOR ADDITIONAL CEILING MOUNTED DEVICES AND EQUIPMENT TO BE REMOVED.
- CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DENOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM DEMOLITION WORK.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

LEGEND

- PENDANT LIGHT FIXTURE TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS
- 1' X 4' SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS
- RECESSED LIGHT FIXTURE TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- PENDANT LIGHT FIXTURE TO REMAIN - REFER TO ELECTRICAL DRAWINGS
- MECHANICAL SUPPLY DIFFUSER TO BE REMOVED - REFER TO MECHANICAL DRAWINGS
- MECHANICAL RETURN/EXHAUST DIFFUSER TO BE REMOVED - REFER TO MECHANICAL DRAWINGS
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN



KEY PLAN
NOT TO SCALE



TRIA
ARCHITECTURE
OAS, LLC
CONSULTANT
GREENBERGFARROW
STRUCTURAL ENGINEERS
21 SOUTH WINDERMERE DRIVE, 2ND FLOOR
MICHIGAN, INDIANA 46304

DUNELAND SCHOOL CORPORATION
2018 MAIN OFFICE RENOVATIONS AT:
CHESTERTON MIDDLE SCHOOL (CMS)
651 W. MORGAN AVENUE, CHESTERTON, INDIANA 46304

PROJECT NUMBER: 18-003
PROJECT CHARGER: CMS
DESIGNER: PSN
DATE: 07/22/2018
EXISTING PARTIAL SECOND FLOOR
REFLECTED CEILING PLAN

A0.21

1
EXISTING PARTIAL SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

