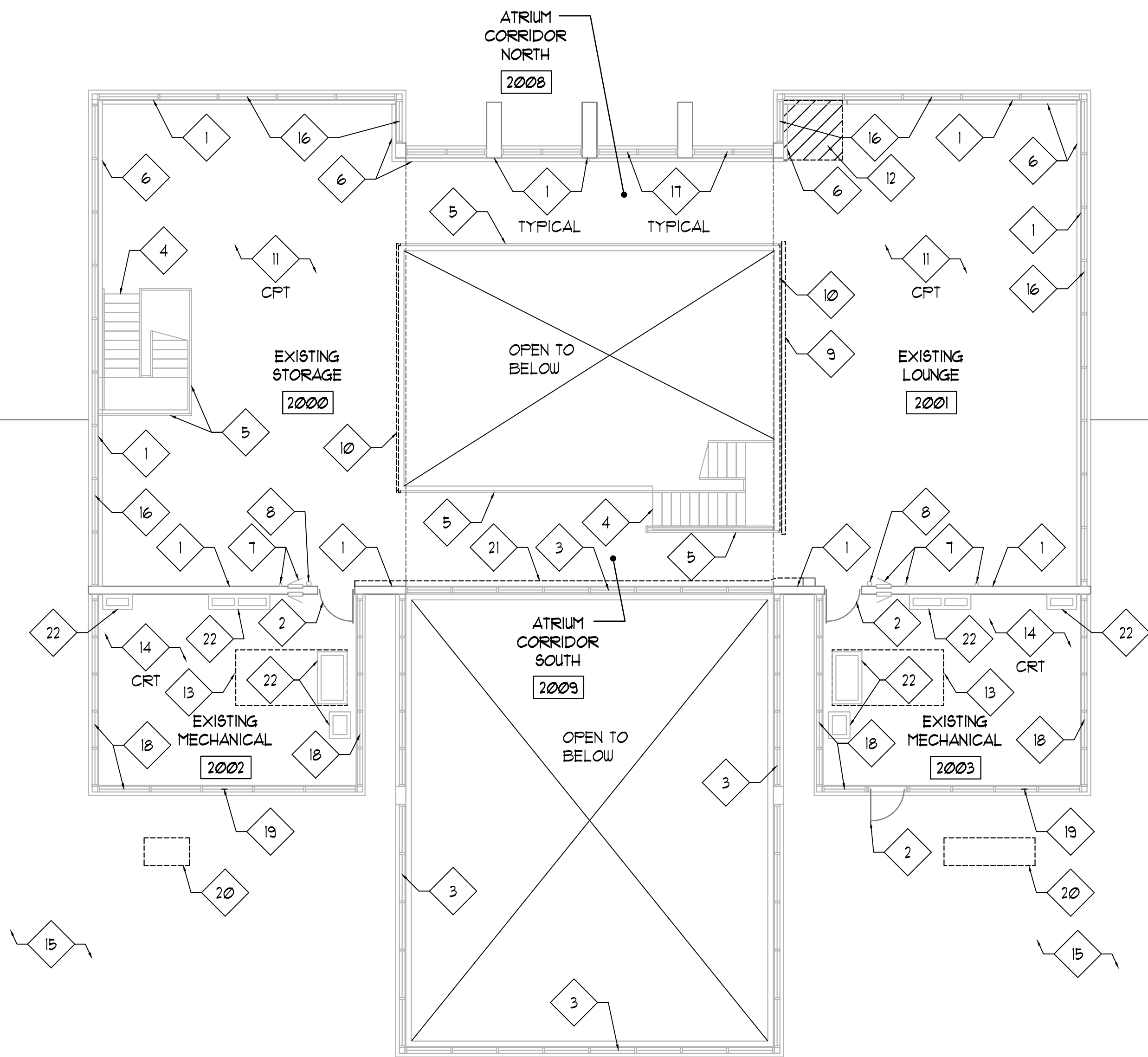


1 EXISTING PARTIAL SECOND FLOOR PLAN  
1/8" = 1'-0"



## EXISTING PLAN REFERENCED NOTES

- EXISTING WALL CONSTRUCTION TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WINDOW AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING STAIR AND ASSOCIATED HANDRAILS TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING RAILINGS TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING MECHANICAL EQUIPMENT (ALONG BASE OF NORTH, EAST AND WEST WALLS) TO REMAIN AND TO BE MODIFIED - PROTECT DURING CONSTRUCTION - REFER TO MECHANICAL DRAWINGS.
- EXISTING ELECTRICAL EQUIPMENT TO REMAIN - PROTECT DURING CONSTRUCTION - REFER TO ELECTRICAL DRAWINGS.
- EXISTING FIRE EXTINGUISHER TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING WALL CONSTRUCTION AND GLAZING TO BE REMOVED IN ITS ENTIRETY.
- EXISTING RAILING TO BE REMOVED TO THE EXTENT REQUIRED TO PROVIDE WORK INDICATED.
- EXISTING FLOOR FINISH AND ASSOCIATED WALL BASE TO BE REMOVED IN THEIR ENTIRETY - PREPARE FLOOR/WALL TO RECEIVE FLOOR FINISH AND BASE.
- EXISTING CONCRETE FLOOR SLAB, DECK AND FRAMING TO BE REMOVED TO THE EXTENT REQUIRED TO PROVIDE WORK INDICATED - REFER TO STRUCTURAL DRAWINGS.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED - REFER TO MECHANICAL DRAWINGS.
- EXISTING FLOOR FINISH TO REMAIN.
- EXISTING ROOF SYSTEM TO REMAIN - PROTECT AT AREAS OF NEW CONSTRUCTION WORK.
- EXISTING CLERESTORY WINDOWS AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING TWO STORY WINDOW AND GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING INFILL SOLID PANEL AND CLERESTORY GLAZING SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING PANEL TO BE MODIFIED TO PROVIDE WORK INDICATED - REFER TO MECHANICAL DRAWINGS.
- EXISTING ROOF TO BE REMOVED TO PROVIDE WORK INDICATED - REFER TO MECHANICAL DRAWINGS.
- EXISTING WALL BASE MECHANICAL CHASE TO BE REMOVED TO PROVIDE WORK INDICATED - REFER TO MECHANICAL DRAWINGS.
- EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN - PROTECT DURING CONSTRUCTION.

## LEGEND

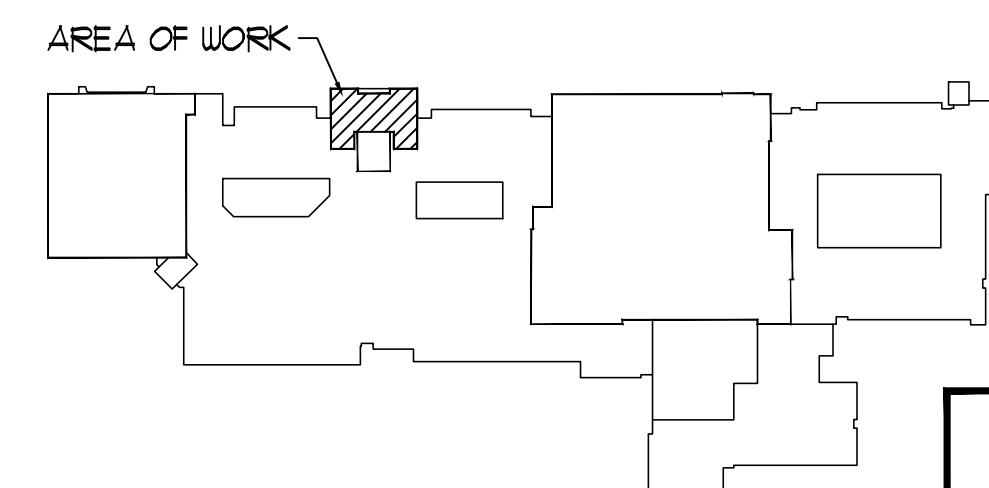
- EXISTING CONSTRUCTION TO BE REMOVED  
——— EXISTING CONSTRUCTION TO REMAIN

## EXISTING PLAN GENERAL NOTES

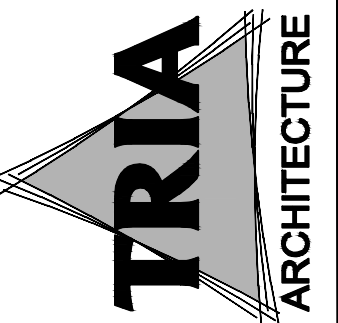
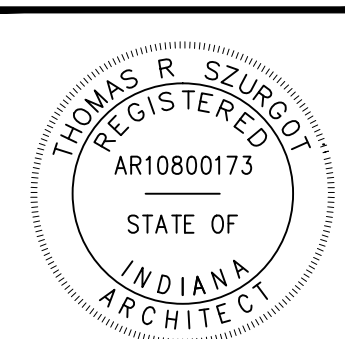
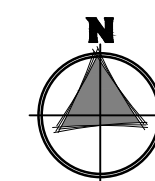
- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING - MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.

## FURNITURE / EQUIPMENT RELOCATION NOTES

- OWNER TO REMOVE AND REINSTALL ALL LOOSE FURNITURE, REFRIGERATOR, XEROX MACHINE, COMPUTERS AND ELECTRONIC EQUIPMENT UNLESS OTHERWISE NOTED - REMOVED FURNITURE/ EQUIPMENT ITEMS WILL BE STORED ON SITE - CONTRACTOR TO COORDINATE MOVING SCOPE AND STORAGE LOCATIONS WITH OWNER PRIOR TO BEGINNING ANY WORK.
- OWNER TO REMOVE AND RELOCATE ALL OFFICE FURNITURE AND EQUIPMENT UNLESS NOTED OTHERWISE - OWNER TO REINSTALL - COORDINATE ALL OUTLET AND DATA LOCATIONS WITH OWNER - REFER TO ELECTRICAL PLANS.



KEY PLAN  
NOT TO SCALE



PROJECT CONSULTANT:  
OAS, LLC  
OWNERS AND ARCHITECTS SUSTAINABILITY, LLC  
780 HARTING DR., SUITE 100, ST. LOUIS, MISSOURI 63105

STRUCTURAL ENGINEER:  
GreenbergFarrow  
21 SOUTH WABASH, SUITE 200  
CHICAGO, ILLINOIS 60604

DUNELAND SCHOOL CORPORATION  
2018 MAIN OFFICE RENOVATIONS AT:  
CHESTERTON MIDDLE SCHOOL (CMS)  
651 W. MORGAN AVENUE, CHESTERTON, INDIANA 46304

REVISIONS	DATE	BY	DESCRIPTION
1	08/08/2018	PSA	ISSUED FOR BID
2	08/08/2018	PSA	EXISTING PARTIAL SECOND FLOOR PLAN

A0.20