

DUNELAND SCHOOL CORPORATION

2018 ADDITION AT: BRUMMITT ELEMENTARY SCHOOL

2500 INDIAN BOUNDARY ROAD, CHESTERTON, INDIANA 46304
TRIA PROJECT#: 17-063

GENERAL BUILDING CODE REQUIREMENTS

BUILDING CODES REFERENCED:
2012 INTERNATIONAL BUILDING CODE WITH 2014 INDIANA AMENDMENTS
2006 INTERNATIONAL PLUMBING CODE 2ND EDITION AMENDED INDIANA 2012
2008 NATIONAL ELECTRICAL CODE WITH 2009 INDIANA AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE WITH 2014 INDIANA AMENDMENTS
INDIANA ENERGY CONSERVATION CODE 2010
2012 INTERNATIONAL FIRE CODE WITH 2014 INDIANA AMENDMENTS
2012 INTERNATIONAL FUEL GAS CODE 2ND EDITION WITH 2014 INDIANA AMENDMENTS

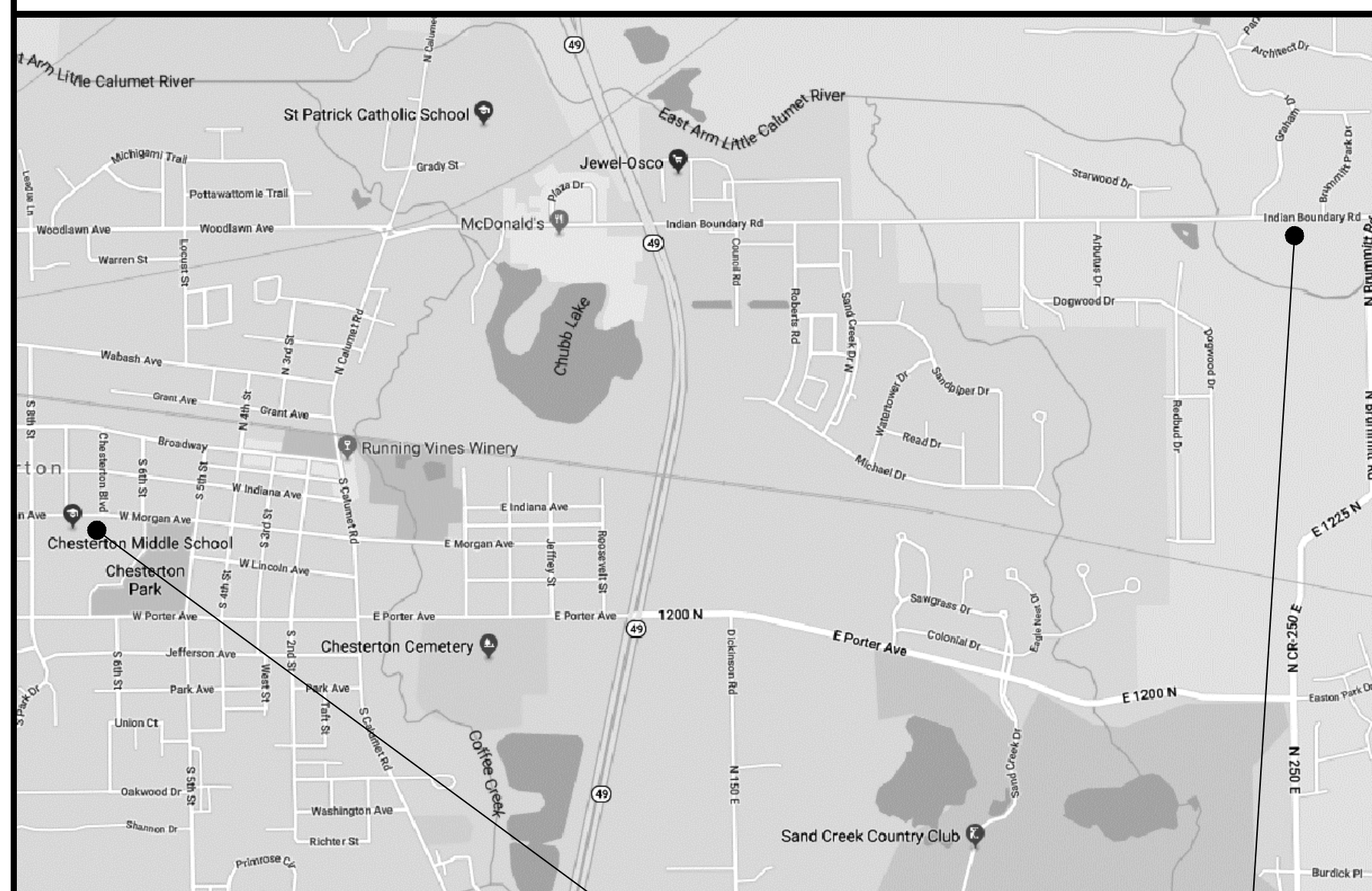
OCCUPANCY CLASSIFICATION:
EDUCATIONAL GROUP E

DESIGN FIRM REGISTRATION:
THOMAS R. SZURGOT
INDIANA LICENSE NUMBER: *A10800173

SCHOOL BOARD

BOARD PRESIDENT	MRS. KRISTIN KROEGER
BOARD VICE PRESIDENT	MR. JOHN MARSHALL
BOARD SECRETARY	MR. BRANDON KROFT
BOARD MEMBER	MR. MICHAEL TROUT
BOARD MEMBER	MR. RONALD STONE
SUPERINTENDENT	DR. DAVID PRUIS

SITE LOCATION MAP



BRUMMITT ELEMENTARY
SCHOOL

DRAWING INDEX

T1.00 TITLE SHEET, SITE LOCATION MAP, INDEX, AND
GENERAL BUILDING CODE REQUIREMENTS

CIVIL

C1.00 BUILDING SITE PLAN

ARCHITECTURAL

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A0.10 EXISTING PARTIAL FIRST FLOOR PLAN
A1.10 PARTIAL FIRST FLOOR PLAN AND DETAILS
A2.00 DOOR AND FRAME TYPES, SCHEDULE,
DETAILS AND WALL TYPES
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A8.10 PARTIAL ROOF PLAN AND DETAIL
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A9.10 PARTIAL FLOOR FINISH PLAN
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STRUCTURAL

S0.00 GENERAL NOTES
S1.00 FOUNDATION PLAN
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MECHANICAL, PLUMBING, ELECTRICAL

MPE0.00 MECHANICAL, PLUMBING AND ELECTRICAL
GENERAL NOTES
MPE0.10 PARTIAL FIRST FLOOR MECHANICAL, PLUMBING
AND ELECTRICAL DEMOLITION PLAN
MPE1.10 PARTIAL FIRST FLOOR MECHANICAL, PLUMBING
AND ELECTRICAL PLAN
MPE2.10 MECHANICAL, PLUMBING AND ELECTRICAL
SCHEDULES AND ABBREVIATIONS

ARCHITECT:

TRIA ARCHITECTURE, INC.

West Suburban Office: 901 McClintock Drive, Suite 100
Burr Ridge, Illinois 60521

South Suburban Office: 1820 Ridge Road, Suite 209
Homewood, Illinois 60430

Phone: 630.455.4500 Fax: 630.455.4040
www.TriaArchitecture.com

M.E.P. CONSULTANT:

MILLIES ENGINEERING GROUP

9711 Valparaiso Drive #A
Munster, Indiana 46321

Phone: 219.924.8400 Fax: 219.924.5032
www.milliesengineeringgroup.com

CIVIL CONSULTANT:

MCMAHON ASSOCIATES, INC.

952 South State Road, #2
Valparaiso, Indiana 46385

Phone: 219.462.7743 Fax: 219.464.8248
www.mcmgrp.com

STRUCTURAL CONSULTANT:

GREENBERGFARROW

21 South Evergreen, Suite 200
Arlington Heights, IL 60005

Phone: 847.788.9200
www.greenbergfarrow.com

ISSUED FOR BID AND PERMIT:

JANUARY 31, 2018

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REVISIONS:

T1.00

ARCHITECTURAL SYMBOLS AND ABBREVIATIONS

	SAFETY REFERENCE ROOM INFORMATION TAG		ROOF INSULATION TAGS	AP	ACOUSTICAL PANEL	PL	PLASTER
	SAFETY REFERENCE EXIT INFORMATION TAG		2'x4' RECESSED FLUORESCENT FIXTURE	BCS	BABY CHANGING STATION	PRT	PORCELAIN TILE
	SAFETY REFERENCE EGRESS PATH		RECESSED DOWNLIGHT	CH	COAT HOOK	PT	PAINT
	BREAK LINE		PENDANT LINEAR LIGHT FIXTURE	CT	CERAMIC TILE	PTD	PAPER TOWEL DISPENSER
	WINDOW TAG		2' x 4' RECESSED LINEAR LIGHT FIXTURE	CMU	CONCRETE MASONRY UNIT	PTTD	PAPER TOWEL TRASH DISPOSAL
	DOOR TAG		HVAC SUPPLY	CP	CONDENSATE PIPE	RBR	RUBBER
	NORTH ARROW		HVAC RETURN	CPT	CARPET	RBB	RUBBER BASE
	SECTION TAG		S.A.T. CEILING	CRT	CONCRETE	RBT	RUBBER TILE FLOORING
	EXTERIOR ELEVATION TAG		PLASTER OR GYP. BD.	CU	CONDENSING UNIT	RD	ROOF DRAIN
	INTERIOR ELEVATION TAG		ROOM NAME TAG	DF	DRINKING FOUNTAIN	RH	ROOF HATCH
	DETAIL TAG / DRAWING TITLE			EF	EXHAUST FAN	RTU	ROOFTOP UNIT
	WALL TYPE TAG			EP	ELECTRICAL PENETRATION	RST	RUBBER STAIR TREADS AND RISERS
	COLUMN LINE TAG			EQ	EQUAL	REF	REFRIGERATOR
	ELEVATION TAG (HEIGHT)			ETR	EXISTING TO REMAIN	SAT	SUSPENDED ACOUSTICAL TILE
	REMODELING NOTE TAG			EWC	ELECTRIC WATER CHILLER	SD	SOAP DISPENSER
	DEMOLITION NOTE TAG			EX	EXISTING	SGT	STRUCTURAL GLAZED TILE
	CASEWORK TAG			EXP	EXPOSED	SIM	SIMILAR
				FD	FLOOR DRAIN	SD	SANITARY NAPKIN DISPOSAL
				FE	FIRE EXTINGUISHER	SNP	SANITARY NAPKIN DISPENSER
				F.E.C.	FIRE EXTINGUISHER CABINET	STL	STEEL
				FP	FIRE PROTECTION	TDU	TRASH DISPOSAL UNIT
				GB	GRAB BAR	TRZ	TERRAZZO
				GL	GLAZING	TTD	TOILET TISSUE DISPENSER
				GP	GAS PIPING	TV	TELEVISION
				GYP.	GYP. BOARD	TYP	TYPICAL
				HC	HANDICAPPED ACCESSIBLE	UR	URINAL
				HM	HOLLOW METAL	VCT	VINYL COMPOSITE TILE
				LAV	LAVATORY	V.I.F.	VERIFY IN FIELD
				M.E.	MATCH EXISTING	VP	VENT PIPE
				M	MIRROR	WC	WATER CLOSET
				MO	MASONRY OPENING	WD	WOOD
				MTL	METAL	WF	WASH FOUNTAIN
				MUA	MAKE-UP AIR	WL C	WALL COVERING
				N.I.C.	NOT IN CONTRACT		
				OH	OPPOSITE HAND		

MEP ENGINEER
Miles Engineering Group
P/E 7834/4300
P/E 7834/4301
MUNSTER, INDIANA 46201

CIVIL ENGINEER
McMAHON
P/E 7846/7143
P/E 7846/4349
200 SOUTH STATE ROAD 2
MUNSTER, INDIANA 46201

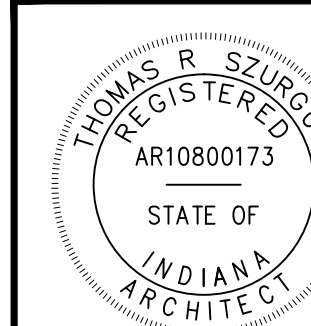
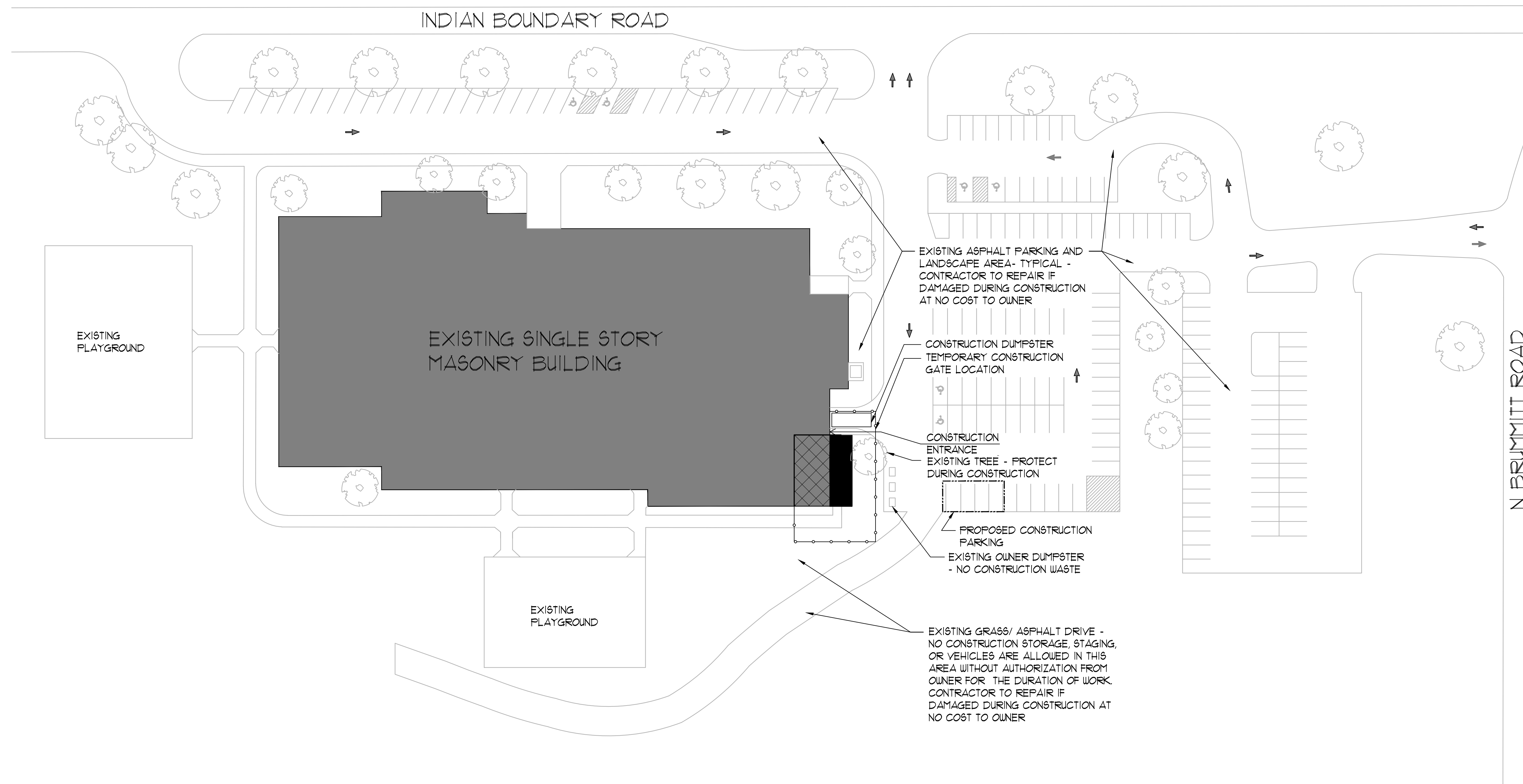
STRUCTURAL ENGINEER
GreenbergFarrow
P/E 8411/8330
P/E 8411/8330
MUNSTER, INDIANA 46201

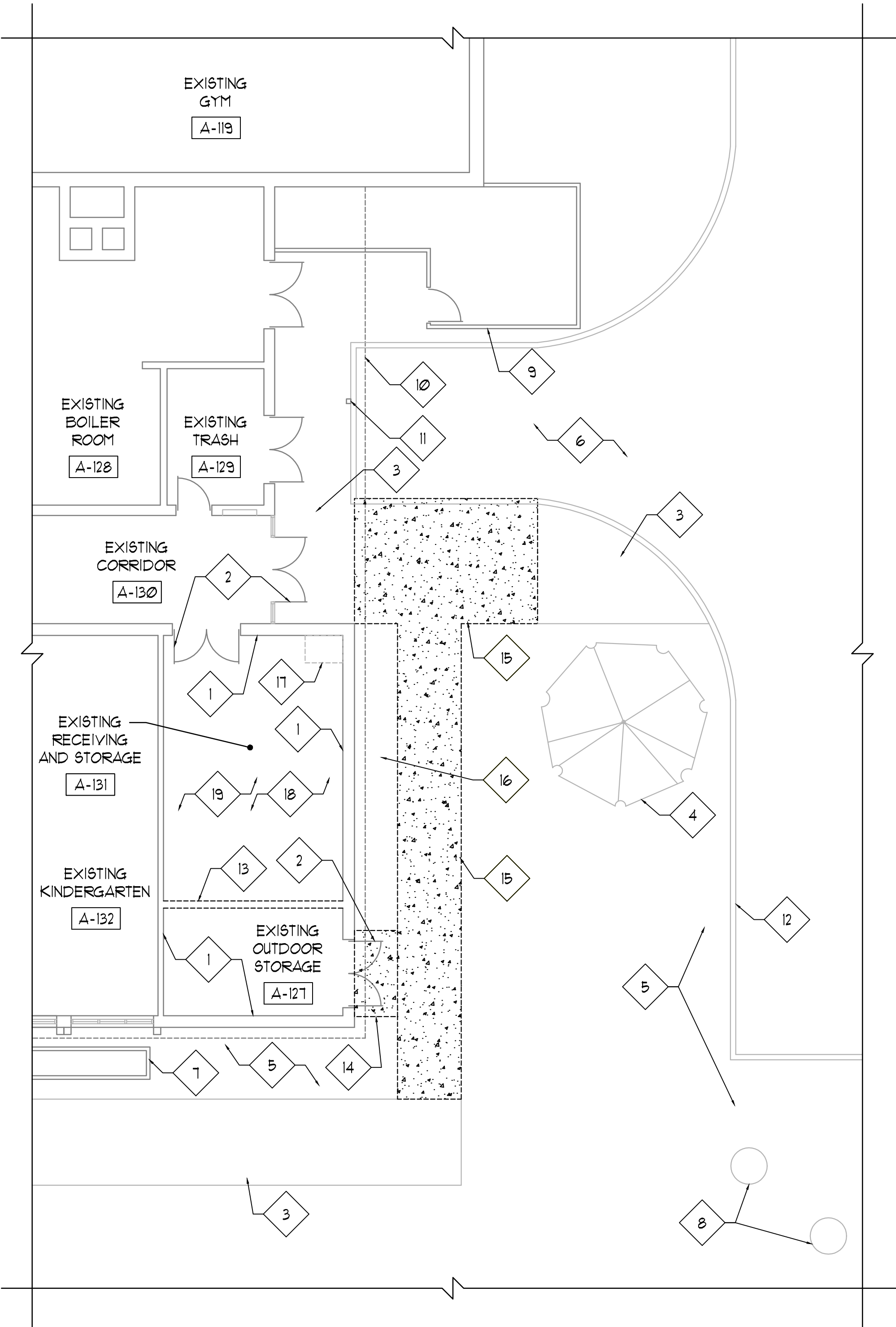
DUNELAND SCHOOL CORPORATION

2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL

2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304

PROJECT NUMBER: IT-003	REVISIONS:
PROJECT MANAGER: HMG	1
DRAWN BY: PSN	2
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1 EXISTING PARTIAL FIRST FLOOR PLAN
1/8" = 1'-0"



EXISTING PLAN REFERENCED NOTES

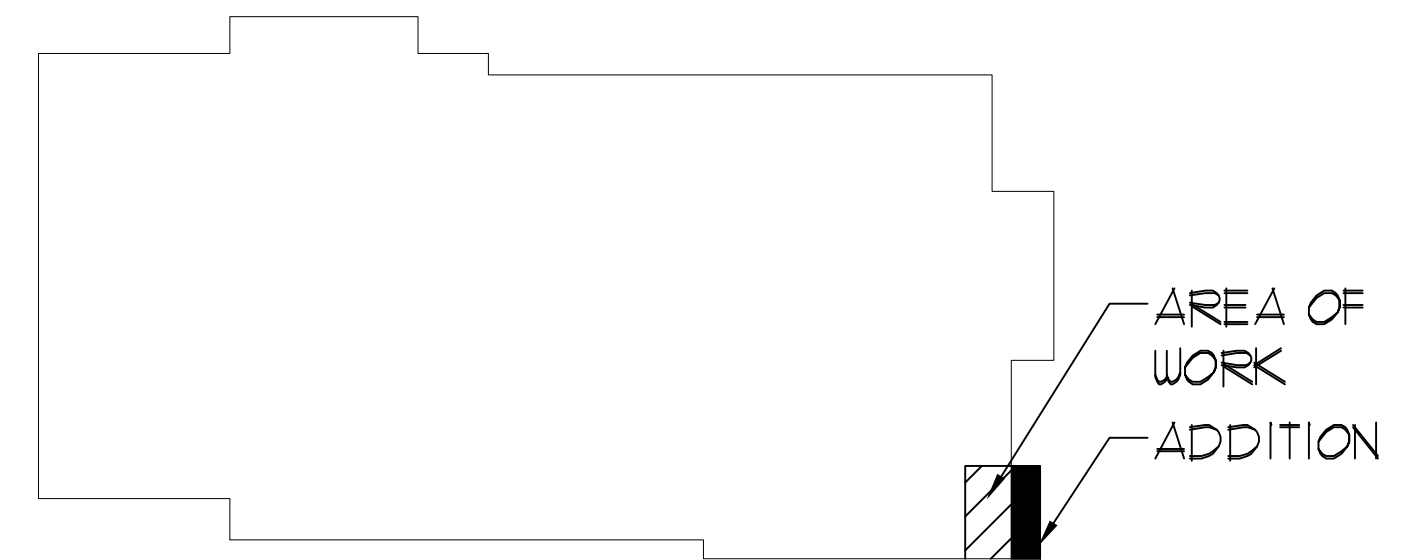
- EXISTING WALL CONSTRUCTION TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING CONCRETE WALKWAY TO REMAIN.
- EXISTING TREE TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING LANDSCAPING/ GRASS LAWN TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING ASPHALT DRIVE/PARKING AREA TO REMAIN.
- EXISTING WOOD PLANTERS TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING MANHOLE TO REMAIN - REFER TO CIVIL DRAWINGS.
- EXISTING METAL PANEL FENCE TO REMAIN.
- EXISTING LINE OF PRECAST CONCRETE PANELS ABOVE TO REMAIN.
- EXISTING 5" * TUBE COLUMN TO REMAIN.
- EXISTING CURB AND APRON TO REMAIN - REFER TO CIVIL DRAWINGS.
- EXISTING WALL CONSTRUCTION TO BE REMOVED.
- EXISTING CONCRETE STOOP TO BE REMOVED IN ITS ENTIRETY.
- EXISTING CONCRETE WALKWAY TO BE REMOVED - REFER TO CIVIL DRAWINGS.
- EXISTING LANDSCAPING/ GRASS LAWN TO BE REMOVED - REFER TO CIVIL DRAWINGS.
- EXISTING MECHANICAL UNIT ABOVE TO REMAIN - PROTECT DURING CONSTRUCTION.
- EXISTING CARPET TO BE REMOVED.
- EXISTING GYPSUM CEILING AND ASSOCIATED LIGHTS TO BE REMOVED.

LEGEND

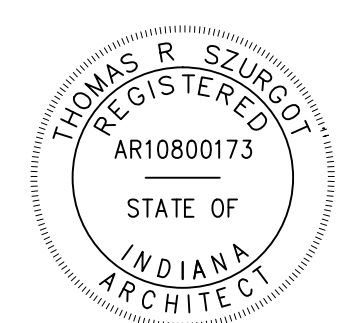
- EXISTING CONSTRUCTION TO BE REMOVED / DEMO
- EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONCRETE WALKWAY TO BE REMOVED / DEMO

EXISTING PLAN GENERAL NOTES

- REFER TO FLOOR PLANS FOR SCOPE OF NEW WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- REMOVE ALL EQUIPMENT LOCATED ON OR WITHIN WALL CONSTRUCTION SCHEDULED TO BE REMOVED, SO AS TO NOT DISRUPT EXISTING BUILDING OPERATIONS. DISCONNECT ALL ELECTRICAL WIRING, PULL WIRE BACK TO NEAREST JUNCTION BOX OR TO SERVICE.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL, EQUIPMENT OR FIXTURE TO BE REMOVED.
- WHERE POSSIBLE - RUN NEW ELECTRICAL WORK INSIDE WALL AND CEILING CONSTRUCTION (NEW AND EXISTING) - REMOVE EXISTING WALL/CEILING CONSTRUCTION SCHEDULED TO REMAIN AS REQUIRED TO PERFORM WORK INDICATED - PATCH ALL CONSTRUCTION TO PROVIDE A FINISHED CONDITION.
- AT ALL EXISTING GRASS AREAS, LANDSCAPING ITEMS OR CONCRETE/ASPHALT SURFACES TO REMAIN - PROTECT DURING CONSTRUCTION AND REPAIR ANY AREAS DAMAGED OR OTHERWISE AFFECTED DURING CONSTRUCTION.
- REMOVE/RELOCATE ALL ACCESSORIES ON WALL CONSTRUCTION TO BE REMOVED.
- GENERAL CONTRACTOR TO COORDINATE ALL ARCHITECTURAL WORK WITH INDICATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK - NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- PATCH ALL EXISTING OPENINGS AT ALL EQUIPMENT SCHEDULED TO BE REMOVED, INCLUDING ABOVE CEILING- MATCH EXISTING WALL CONSTRUCTION IN MATERIAL THICKNESS, SIZE AND COLOR, UNLESS NOTED OTHERWISE - REFER TO MECHANICAL, ELECTRICAL STRUCTURAL AND FIRE PROTECTION DRAWINGS.



KEY PLAN
NOT TO SCALE



A0.10

DUNELAND SCHOOL CORPORATION

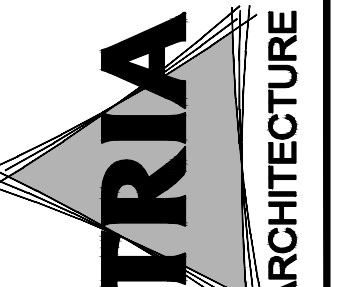
2018 ADDITION AT:

BRUMMITT ELEMENTARY SCHOOL

2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304



PROJECT NUMBER: 11-003	REVISIONS:
PROJECT MANAGER: MFG	1
DRAWN BY: PSN	2
DATE FOR BID AND PERMIT: 08/01/2018	3
EXISTING PARTIAL FIRST FLOOR PLAN	

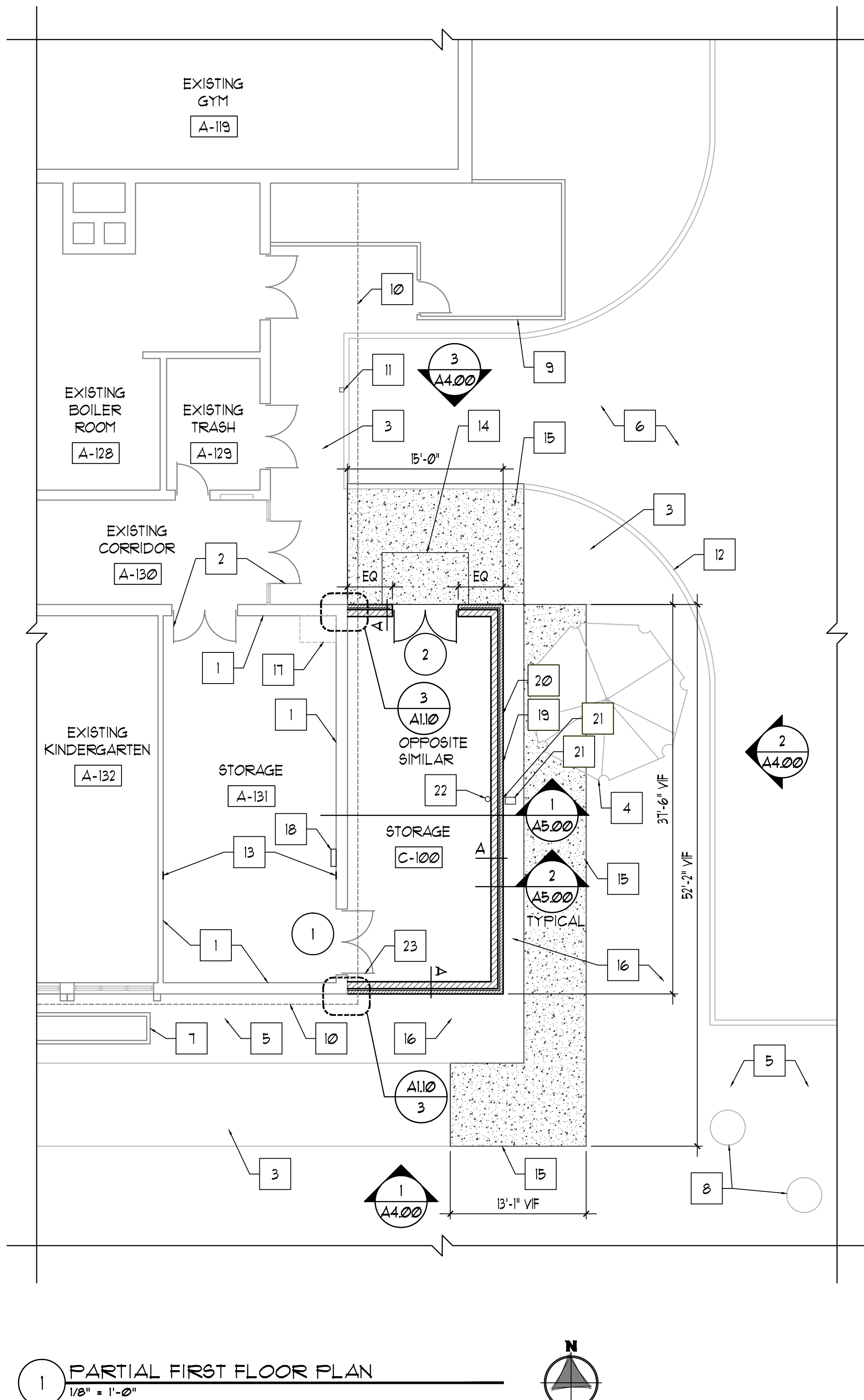


TRIA
ARCHITECTURE

MEP ENGINEER
Miles Engineering Group
1711 W. MARIANO DR. #A
MARIANO, INDIANA 46031
(P) 773.643.6000
(F) 773.643.6021

CIVIL ENGINEER
McMAHON
100 SOUTH STATE ROAD 2
BLOOMINGTON, INDIANA 47403
(P) 773.642.7143
(F) 773.642.4349

STRUCTURAL ENGINEER
GreenbergFarrow
21 SOUTH PETERSBURG AVE. #200
BLOOMINGTON, INDIANA 47403
(P) 847.138.3300

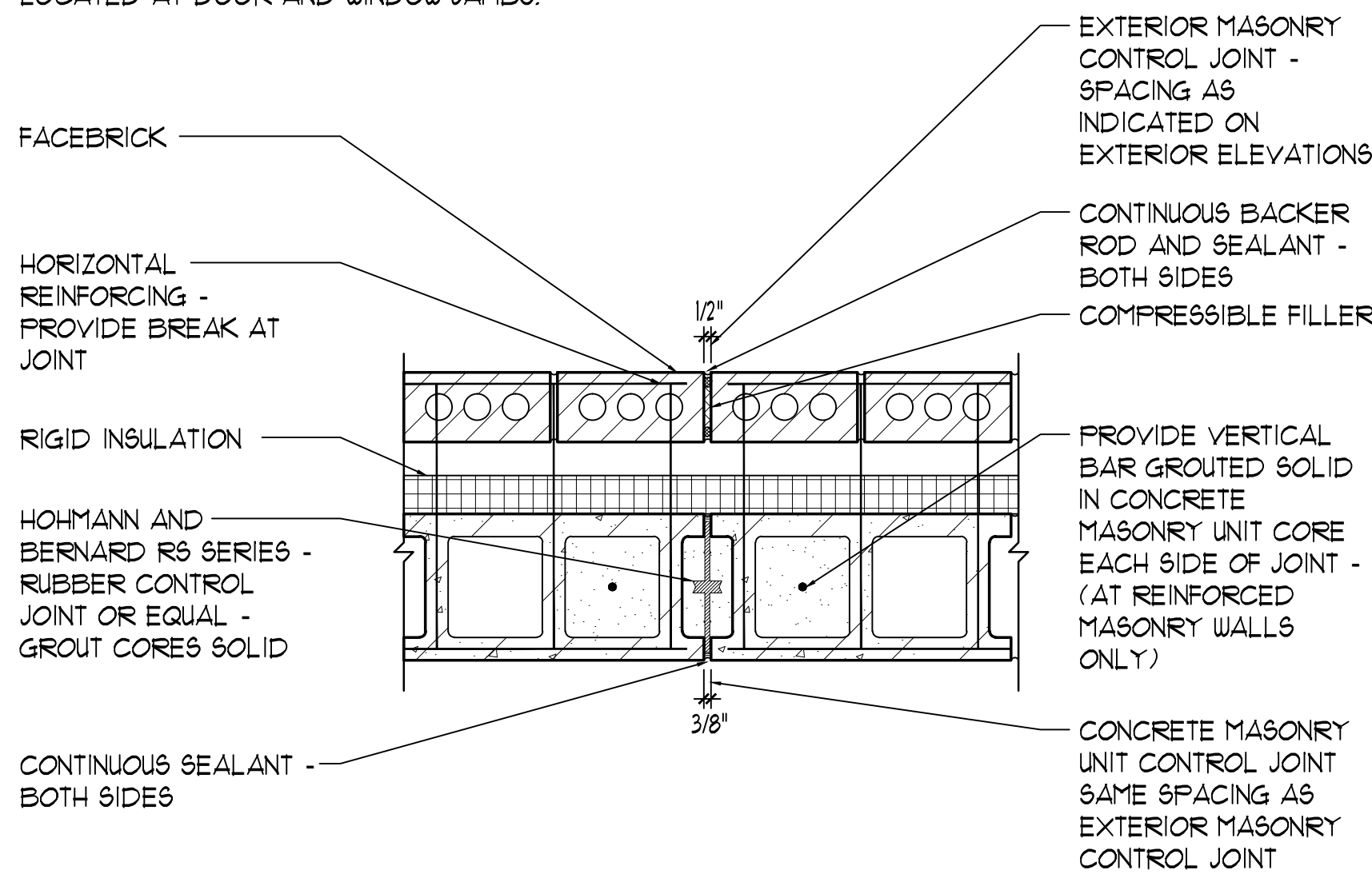


FLOOR PLAN REFERENCED NOTES

- EXISTING WALL CONSTRUCTION.
- EXISTING DOOR AND FRAME.
- EXISTING CONCRETE WALKWAY.
- EXISTING TREE - PROTECT DURING CONSTRUCTION.
- EXISTING LANDSCAPING/ GRASS LAWN.
- EXISTING ASPHALT DRIVE/PARKING AREA.
- EXISTING WOOD PLANTERS.
- EXISTING MANHOLE - REFER TO CIVIL DRAWINGS.
- EXISTING METAL PANEL FENCE.
- EXISTING LINE OF PRECAST CONCRETE PANELS ABOVE.
- EXISTING 5" TUBE COLUMN.
- EXISTING CURB AND APRON - REFER TO CIVIL DRAWINGS.
- PATCH AND PAINT WALL TO MATCH ADJACENT.
- CONCRETE STOOP - REFER TO STRUCTURAL AND CIVIL DRAWINGS.
- CONCRETE WALKWAY - REFER TO CIVIL DRAWINGS.
- AREA OF GRADE TO BE REPAIRED WITH SEED AND BLANKET INSTALLATION.
- LANDSCAPING/ GRASS LAWN TO MATCH ADJACENT - REFER TO CIVIL DRAWINGS.
- EXISTING MECHANICAL UNIT ABOVE.
- NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS.
- HOSE BIBB - REFER TO PLUMBING DRAWING.
- EXTERIOR POWER OUTLET - REFER TO ELECTRICAL DRAWINGS.
- ROOF DRAIN DOWNS TONGUE - REFER TO DETAIL 3/A5.00.
- ROOF DRAIN PIPE - REFER TO PLUMBING DRAWINGS.
- EXISTING DOOR AND FRAME - PAINT INTERIOR AND EXTERIOR, PT-4.
- CONCRETE SPLASH BLOCK.

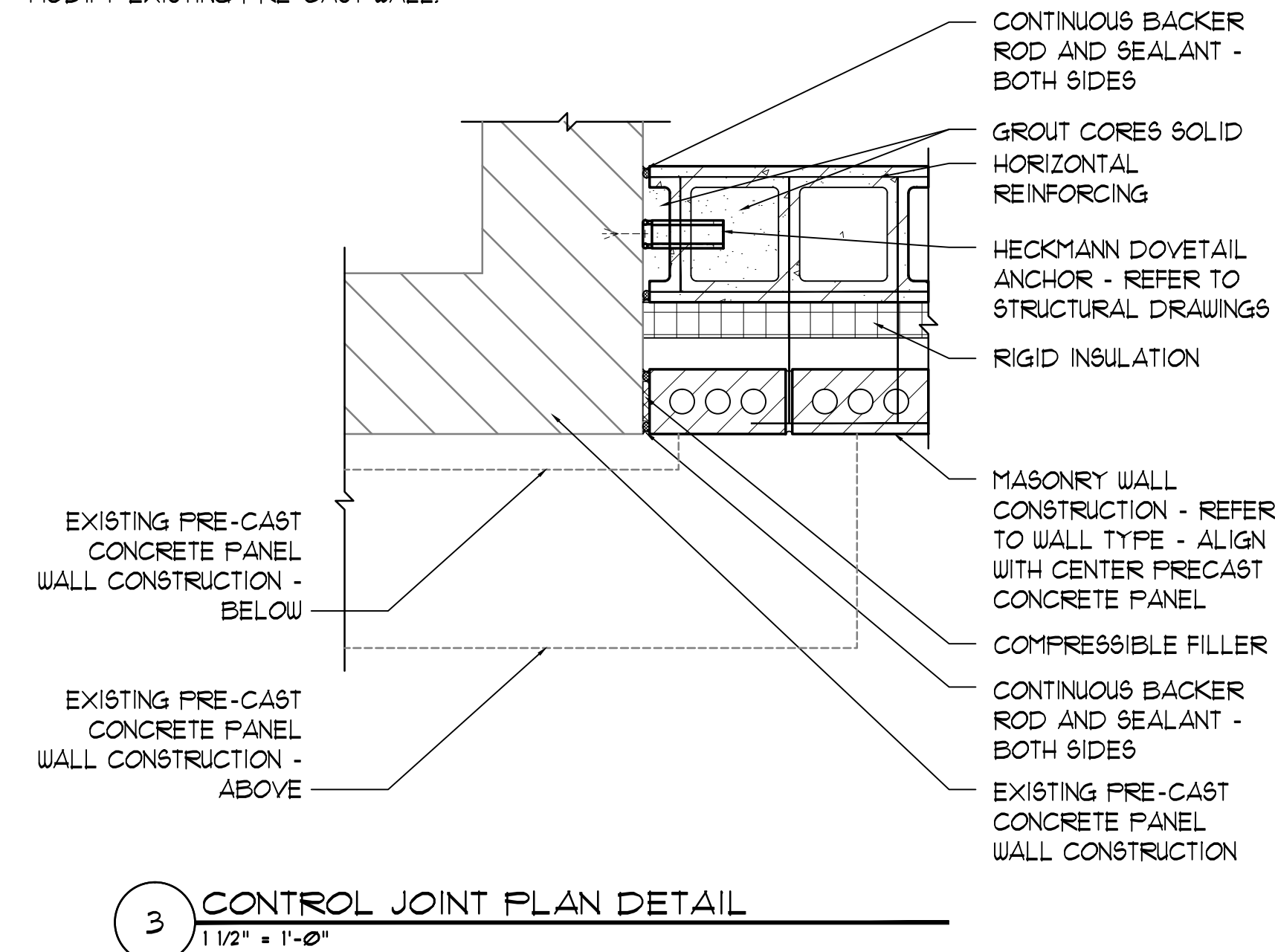
NOTE:
1. BOND BEAMS TO BE CONTINUOUS THRU CONTROL JOINT.

2. ALIGN CONCRETE MASONRY UNITS CONTROL JOINT WITH EXTERIOR MASONRY CONTROL JOINT WHERE LOCATED AT DOOR AND WINDOW JAMBS.



2 CONTROL JOINT PLAN DETAIL
1 1/2" = 1'-0"

NOTE:
1. MASONRY WALL CONSTRUCTION TO FOLLOW EXISTING PRE-CAST CONCRETE WALL. DO NOT CUT OR MODIFY EXISTING PRE-CAST WALL.



3 CONTROL JOINT PLAN DETAIL
1 1/2" = 1'-0"

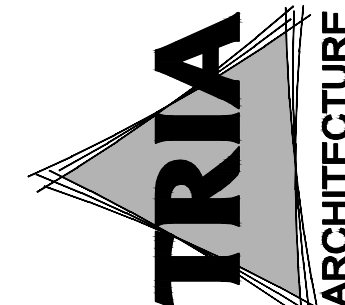
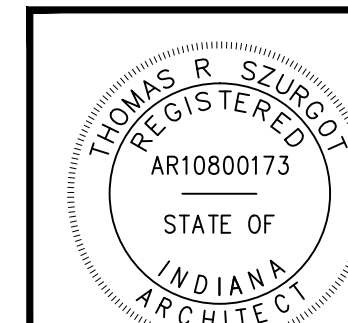
GENERAL NOTES

- VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD.
- ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
- REFER TO PROJECT MANUAL FOR PRODUCTS, MATERIALS, PROCEDURES AND ADDITIONAL INFORMATION NOT COVERED IN DRAWINGS.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- REFER TO SHEET A2.00 FOR DOOR AND FRAME SCHEDULE.
- REFER TO SHEET A2.00 FOR DESCRIPTION OF WALL TYPES.
- REFER TO SHEET A3.50 FOR ROOM FINISH SCHEDULE.
- PATCH, PAINT, AND CLEAN EXISTING WALLS, FLOORS, AND CEILINGS AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED, TOOTH IN MASONRY IN WHOLE UNITS. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE. REFER TO ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
- PAINT ALL EXPOSED WALL, PLASTER OR GYPSUM CEILING AND SOFFIT, AND EXPOSED STRUCTURE UNLESS NOTED OTHERWISE.
- ALL EXPOSED PIPING, DUCTWORK, ELECTRICAL CONDUIT, AND ALL OTHER EXPOSED MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS TO BE PAINTED UNLESS NOTED OTHERWISE.
- ALL HOLLOW METAL FRAMES (NEW AND EXISTING) WITHIN WORK AREAS SHALL BE PAINTED, UNLESS NOTED OTHERWISE - PAINT ALL EXPOSED SURFACES.
- AT REMOVED MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT, INFILL WALL CONSTRUCTION TO MATCH EXISTING ADJACENT WALL CONSTRUCTION. IF OPENING IS BELOW CEILING - PAINT.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- UPON REMOVAL OF EXISTING WALLS, CONTRACTOR SHALL GRIND HIGH SPOTS OR FILL DEPRESSIONS IN FLOOR WITH A MATERIAL SUITABLE TO THE FLOORING MANUFACTURER AT LOCATIONS OF EXISTING WALLS SCHEDULED TO BE REMOVED. PROVIDE A SMOOTH FLOOR SURFACE FLUSH WITH ADJACENT SURFACES.
- PROVIDE LINTELS ABOVE ALL DOORS, CUT PENETRATIONS, LOUVERS, ETC.
- CONTRACTOR TO REPAIR/PATCH ALL EXPOSED EXISTING HOLES IN EXISTING WALLS - FINISH TO MATCH EXISTING WALL CONSTRUCTION - AT FIRE RATED WALLS, PATCH ALL HOLES WITH APPROPRIATE MATERIAL TO PROVIDE CONTINUITY OF FIRE RATING.
- PATCH, SMOOTH AND LEVEL EXISTING FLOOR SURFACE AS REQUIRED BY FLOORING MANUFACTURER.

LEGEND

- EXISTING WALL CONSTRUCTION
- MASONRY WALL CONSTRUCTION
- CONCRETE STOOP/ WALKWAY - REFER TO CIVIL DRAWINGS

KEY PLAN
NOT TO SCALE

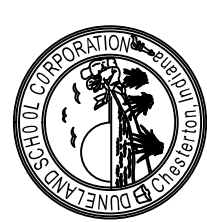


PROJECT ENGINEER
Miles Engineering Group
P: 773.634.0000
F: 773.634.0001
M: 773.634.0002
W: 773.634.0003
E: miles@triarch.com
111 W. WABASH ST. 11A
CHICAGO, ILLINOIS 60601

CIVIL ENGINEER
McMAHON
P: 773.667.7143
F: 773.667.7144
M: 773.667.7145
E: mcma@triarch.com
111 W. WABASH ST. 11A
CHICAGO, ILLINOIS 60601

STRUCTURAL ENGINEER
GreenbergFarrow
P: 773.667.7143
F: 773.667.7144
M: 773.667.7145
E: green@triarch.com
111 W. WABASH ST. 11A
CHICAGO, ILLINOIS 60601

DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304



PROJECT NUMBER: 11-003
PROJECT MANAGER: MFG
DESIGNER: PAN
DATE FOR BID AND PERMIT: 06/01/2018
PARTIAL FIRST FLOOR PLAN
AND DETAILS

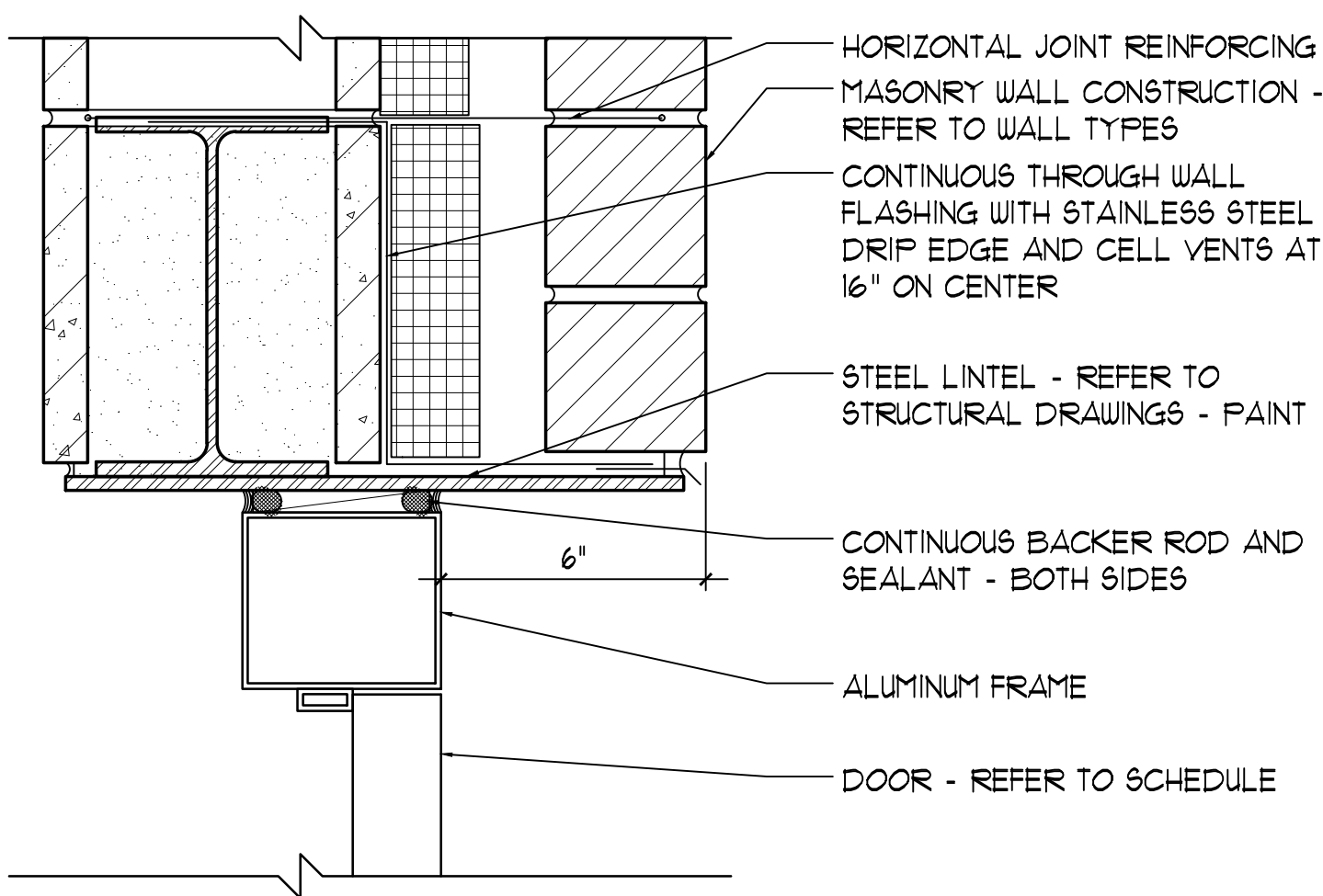
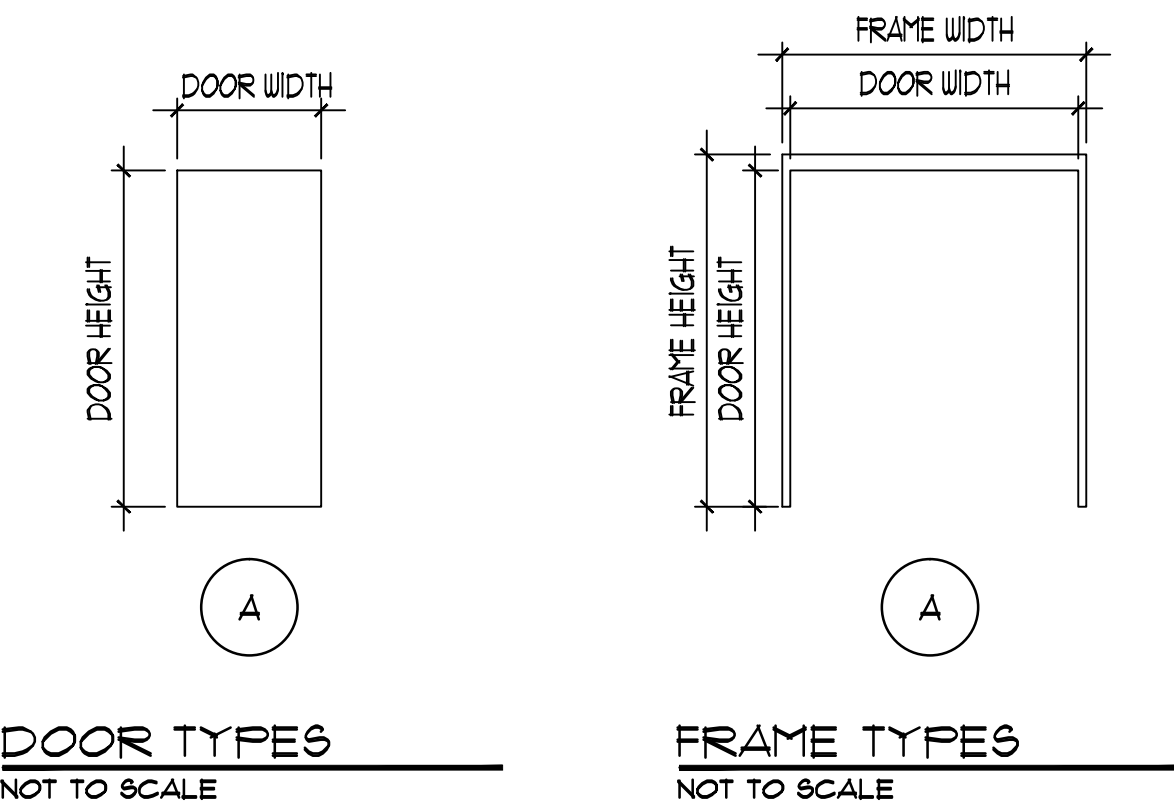
A1.10

DOOR AND FRAME SCHEDULE																		
INT/ EXT	ROOM NO.	OFNG NO.	DOOR						FRAME					DETAILS				REFERENCED NOTES
			SIZE		TYPE	MAT'L	HDWR SET	PROT. RATING HOURS	SIZE		TYPE	MAT'L	PROT. RATING HOURS	HEAD	JAMB	JAMB	SILL	
			WIDTH	HEIGHT					WIDTH	HEIGHT								
FIRST FLOOR																		
INT	A-131	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	3/A2.00	
EXT	C-100	2	PAIR 3'-0"	7'-0'	A	FRP	I	-	6'-4"	7'-4"	A	AL	-	1/A2.00	2/A2.00	2/A2.00	3/A2.00	I

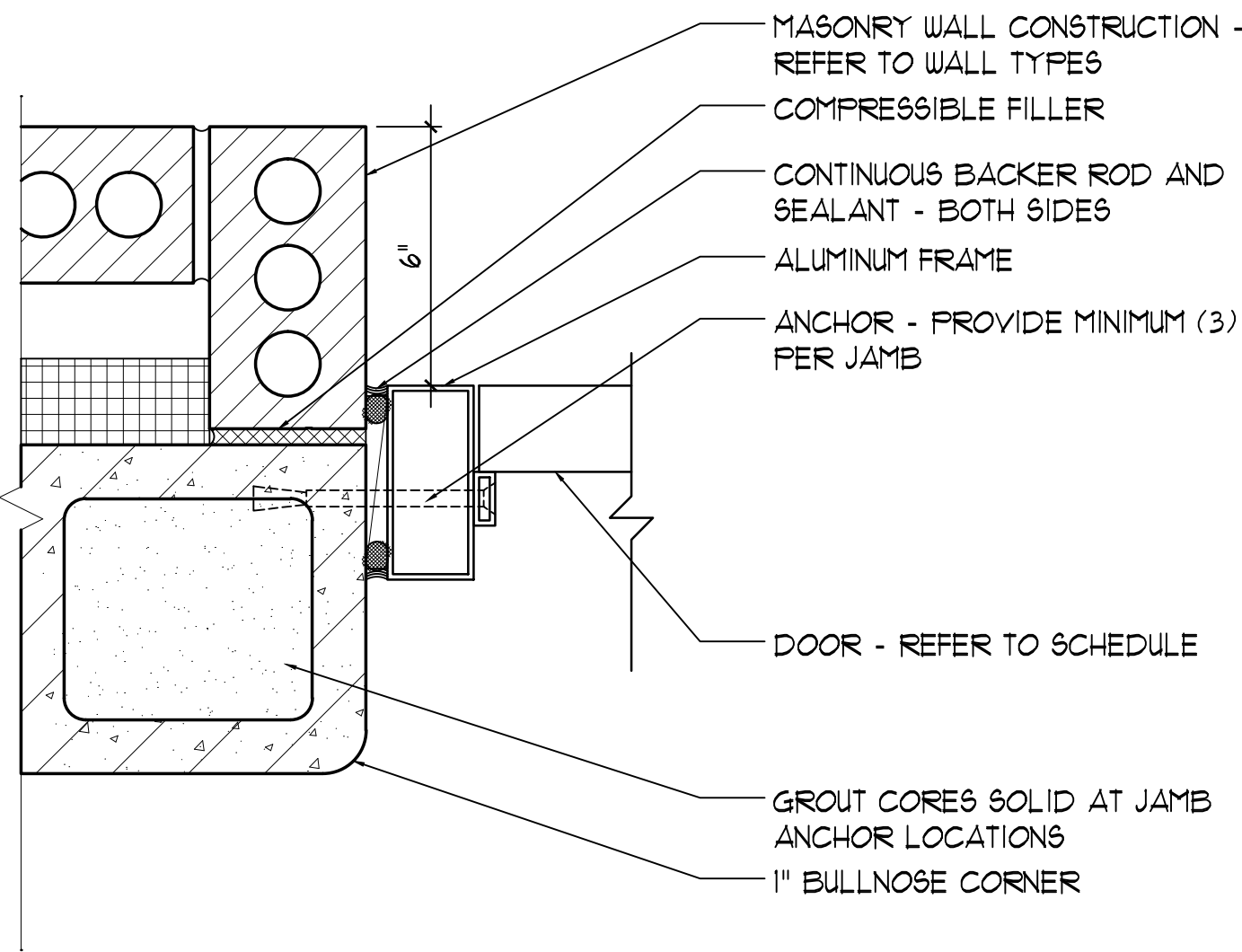
DOOR AND FRAME ABBREVIATIONS	
ALUM	ALUMINUM
FRP	FIBERGLASS REINFORCED POLYESTER
ME	MATCH EXISTING
SIM	SIMILAR
TYP	TYPICAL
VIF	VERIFY IN FIELD

DOOR AND FRAME GENERAL NOTES	
1.	CONTRACTOR TO VERIFY DIMENSIONS, QUANTITIES AND CONDITIONS OF ALL ROUGH OPENINGS IN FIELD.
2.	REFER TO WALL TYPES FOR WALL CONSTRUCTION AT DOOR LOCATIONS.
3.	REFER TO SPECIFICATIONS FOR DESCRIPTIONS OF HARDWARE SETS.
4.	GROUT JAMBS SOLID AT ALL FRAMES INSTALLED IN MASONRY OPENINGS.
5.	ALL EXPOSED ANCHORS ON HOLLOW METAL FRAMES ARE TO BE COUNTERSUNK INTO FRAMES, COVERED IN BONDO, SANDED SMOOTH, AND PAINTED TO MATCH FRAME.
6.	REFER TO STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
7.	VERIFY DIMENSIONS OF ALL DOORS AND FRAMES TO BE INSTALLED IN EXISTING WALL OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS.
8.	HEIGHT OF DOOR OPERATING HARDWARE SHALL BE NO LESS THAN 34" AND NO MORE THAN 48" ABOVE FINISHED FLOOR. COORDINATE EXACT HEIGHT WITH OWNER AND ARCHITECT.
9.	DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
10.	DOOR OPERATING FORCE SHALL NOT EXCEED: EXTERIOR HINGED DOORS: 8.5 LB INTERIOR HINGED DOORS: 5 LB
11.	ALL EGRESS DOORS ARE TO UTILIZE KEYLESS LOCKETS ON THE EGRESS SIDE. NO FLUSH BOLTS, DEAD OR DRAW BOLTS, ETC. WILL BE ALLOWED.

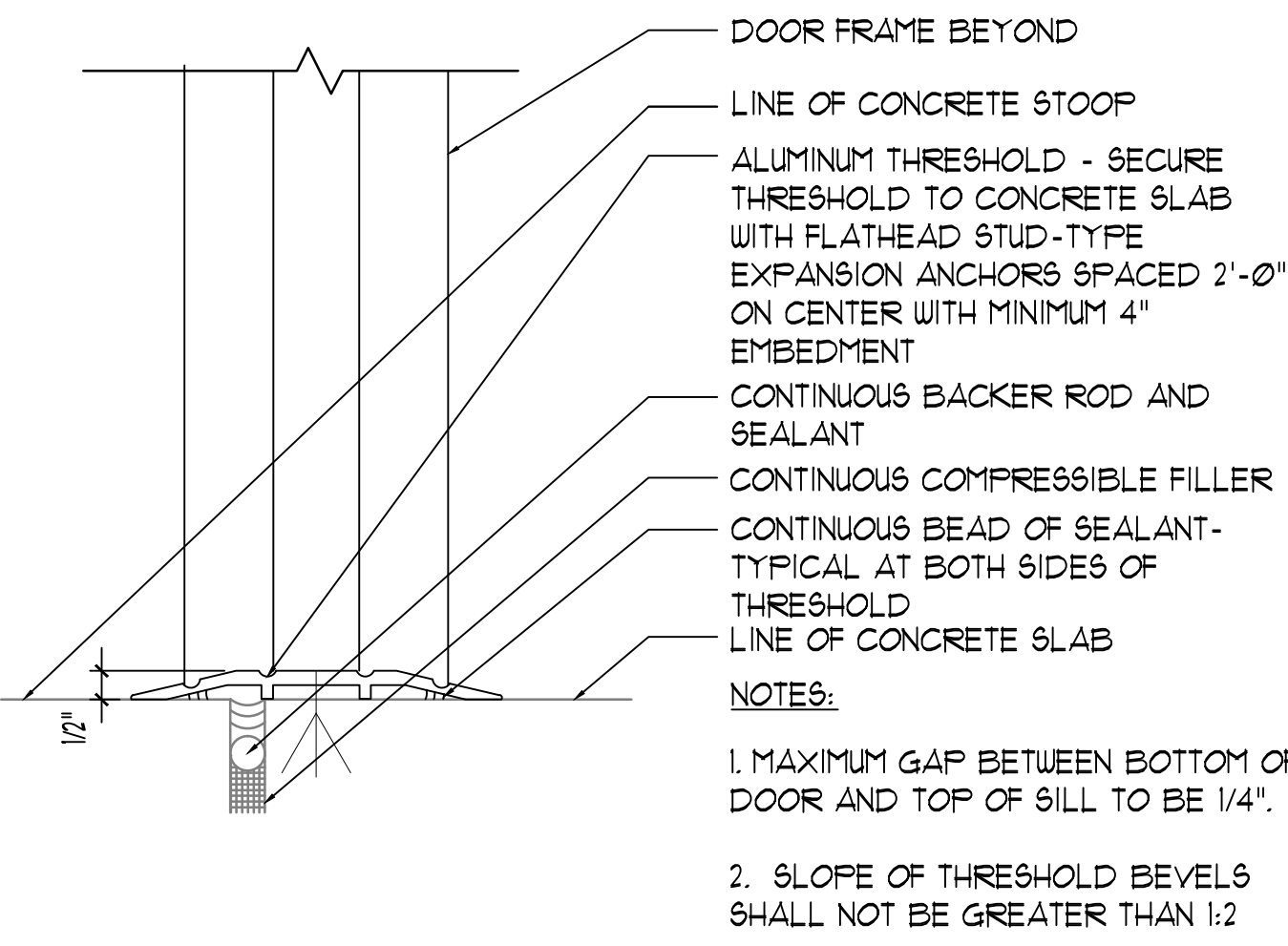
DOOR AND FRAME REFERENCED NOTES	
1.	DOOR TO RECEIVE ELECTRIC STRIKE AND CARD ACCESS READER SYSTEM - REFER TO ELECTRICAL DRAWINGS.



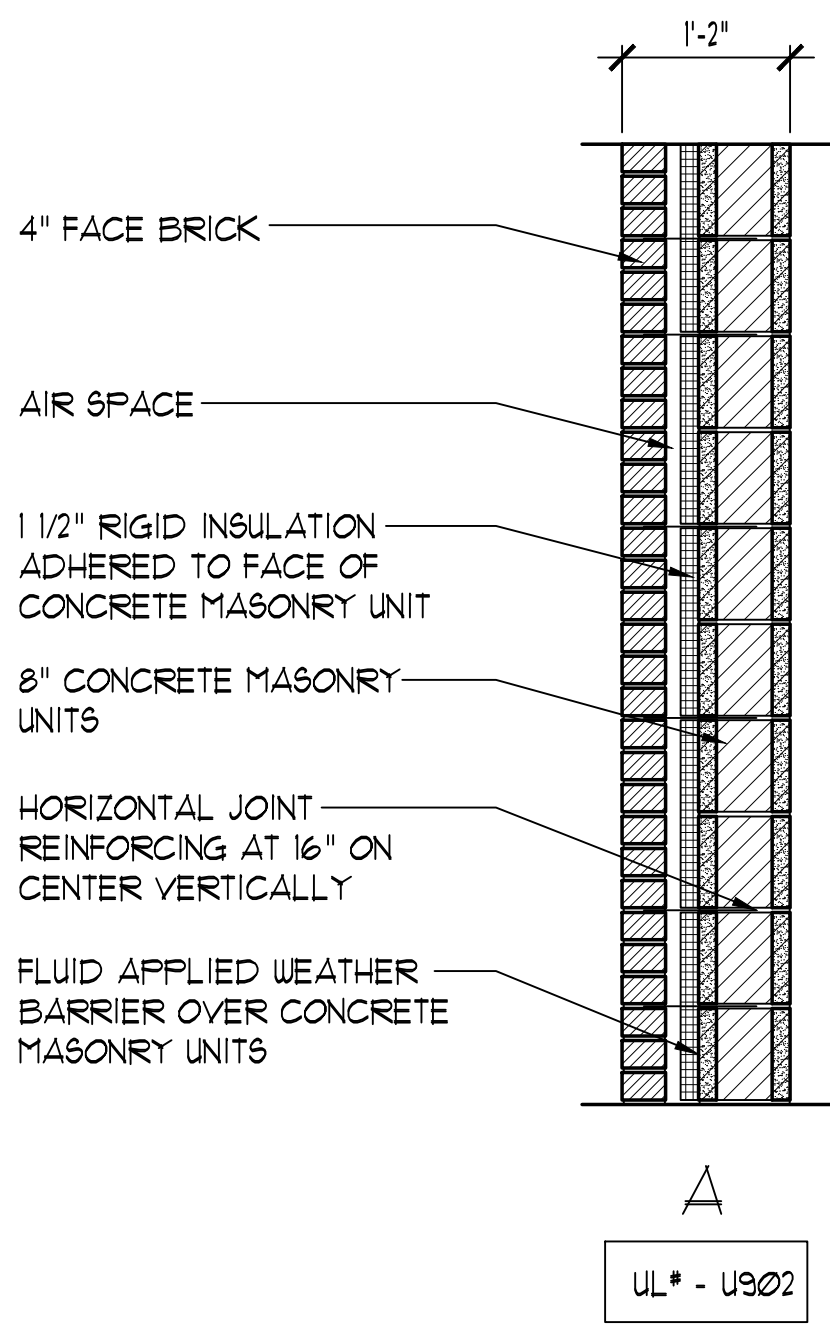
1 HEAD DETAIL
3" = 1'-0"



2 JAMB DETAIL
3" = 1'-0"

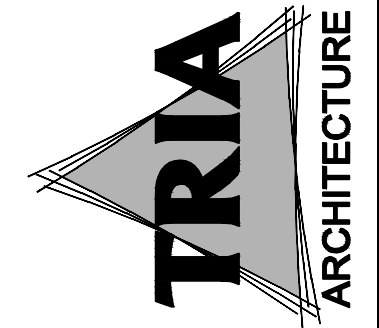


3 SILL DETAIL
3" = 1'-0"



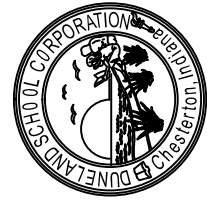
WALL TYPES
NOT TO SCALE

WALL TYPE GENERAL NOTES	
1.	PROVIDE HORIZONTAL JOINT REINFORCING AT FIRST TWO COURSES AT TOP AND BOTTOM OF ALL MASONRY WALLS AND ABOVE AND BELOW ALL MASONRY OPENINGS.
2.	ALL WALL TYPES ARE TO EXTEND UP THROUGH, AND AROUND, ALL STRUCTURES, AND INTERFERENCES TO MAINTAIN CONTINUITY UP TO DECK - UNLESS NOTED OTHERWISE.
3.	ALL WALL TYPES TO EXTEND ABOVE AND BELOW ALL OPENINGS AND PENETRATIONS.

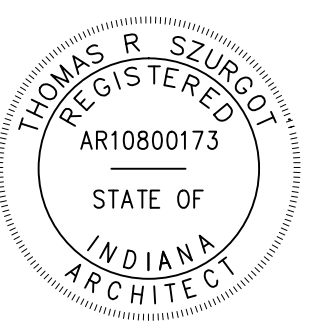


MILES ENGINEERING GROUP (P) 783.643.000 (F) 783.643.001 MILWAUKEE, WISCONSIN 53211	CIVIL ENGINEER (P) 783.643.000 (F) 783.643.001 MILWAUKEE, WISCONSIN 53211	STRUCTURAL ENGINEER (P) 783.643.000 (F) 783.643.001 MILWAUKEE, WISCONSIN 53211
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DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304



PROJECT NUMBER: 11-003	DESIGNER: TRIA
PROJECT MANAGER: MHA	PROJECT ENGINEER: MHA
DRAWN BY: FAN	PROJECT ENGINEER: MHA
BASED FOR BID AND PERMIT: 06/01/2018	PROJECT ENGINEER: MHA
DOOR AND FRAME TYPES SCHEDULE, DETAILS AND WALL TYPE	



A2.00

LEGEND

EXISTING CONSTRUCTION

FACE BRICK - ALL BRICK TO BE FIELD COLOR UNLESS NOTED OTHERWISE - REFER TO REFERENCED NOTES AND SPECIFICATIONS FOR MORE INFORMATION.

EPDM FLASHING

C.J.

REFER TO DETAIL 2/A110

EXTERIOR ELEVATION
REFERENCED NOTES

1. EXISTING PRE-CAST CONCRETE WALL PANELS.

2. EXISTING ALUMINUM WINDOW AND GLAZING SYSTEM.

3. EXISTING METAL PANEL FENCE.

4. EXISTING FACE BRICK.

5. EXISTING ALUMINUM COPING.

6. EXISTING ALUMINUM STOREFRONT AND GLAZING SYSTEM.

7. EXISTING DOOR AND FRAME.

8. EXISTING 5" STEEL COLUMN.

9. FACE BRICK - MATCH EXISTING.

10. FACE BRICK - SOLDIER COURSE.

11. EXTERIOR LED WALL SCONCE - REFER TO ELECTRICAL DRAWINGS.

12. FIBER REINFORCED POLYESTER DOOR AND ALUMINUM FRAME.

13. COWS TONGUE PIPE DISCHARGE - REFER TO PLUMBING DRAWINGS

14. EPDM FLASHING ON EXISTING WALL BEYOND

15. HOSE BIB - REFER TO PLUMBING DRAWING.

16. EXTERIOR ELECTRICAL OUTLET - REFER TO ELECTRIC DRAWING.

EXTERIOR ELEVATION
GENERAL NOTES

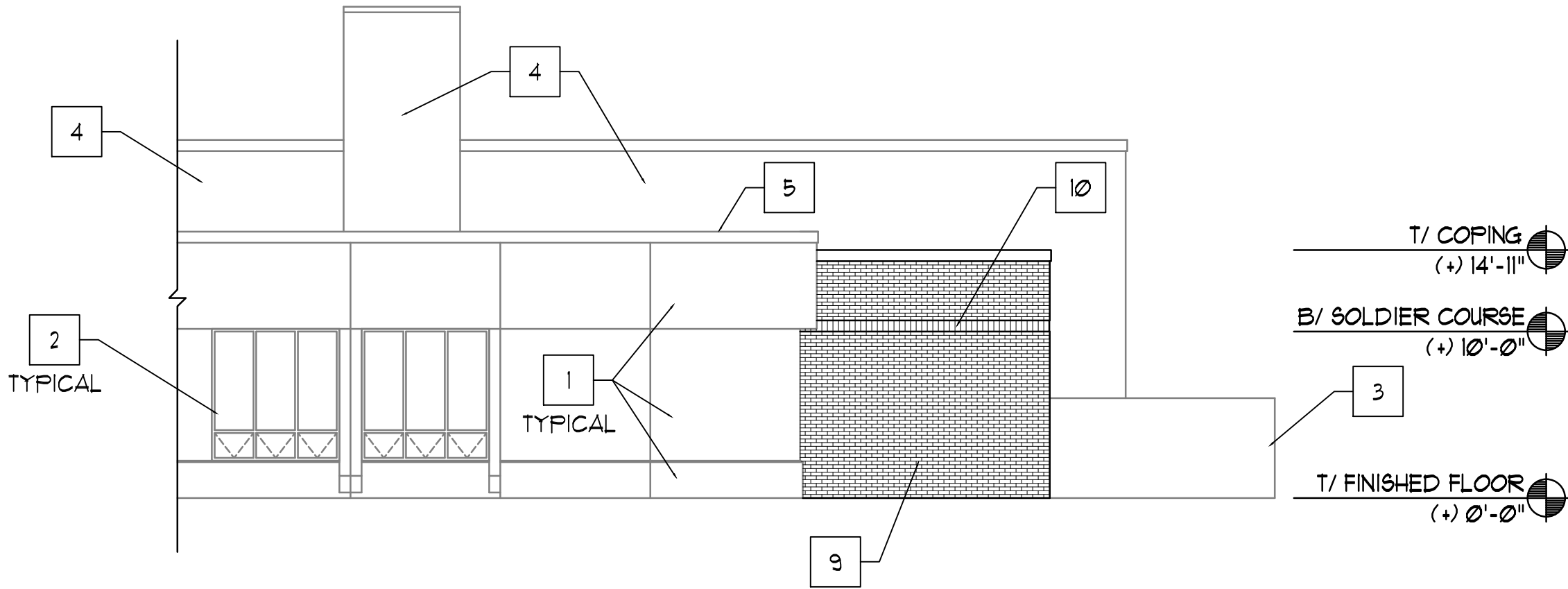
1. VERIFY EXACT DIMENSIONS OF ALL EXISTING CONDITIONS IN FIELD.

2. ALL CONTRACTORS SHALL REPORT ALL DISCREPANCIES OR DIMENSIONAL QUESTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.

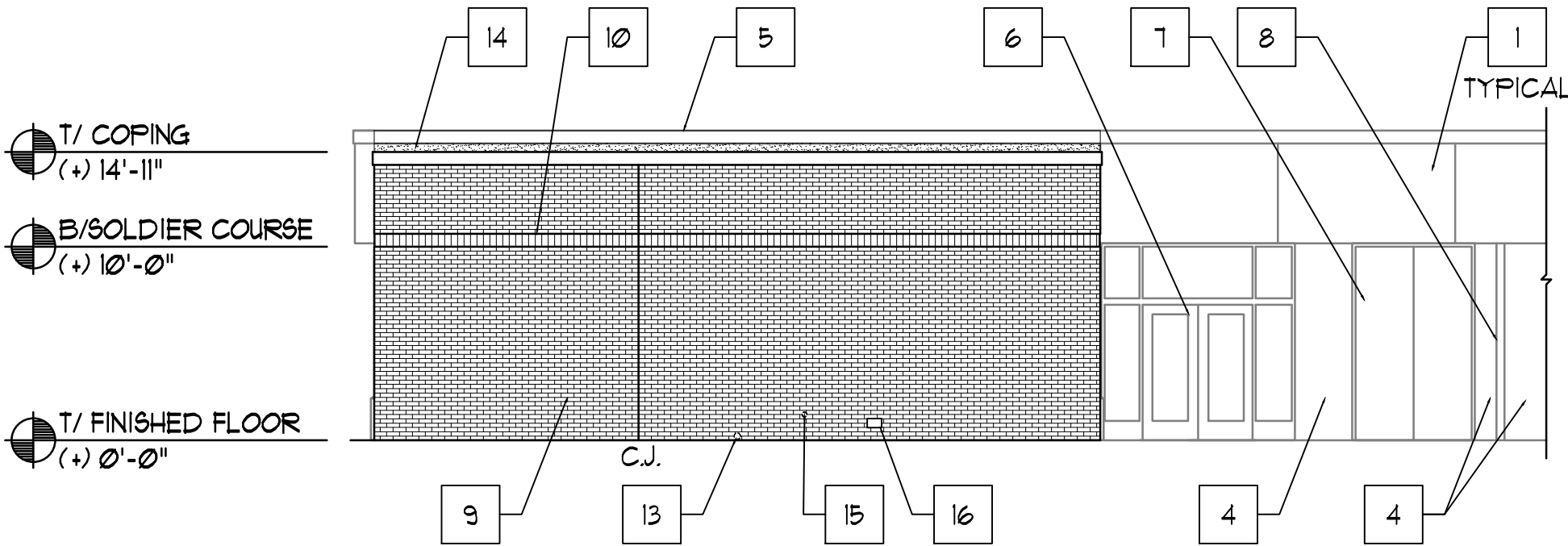
3. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

4. PATCH EXISTING CONSTRUCTION AT ALL LOCATIONS OF ITEMS SCHEDULED TO BE REMOVED. FINISH TO MATCH ADJACENT SURFACES IN MATERIAL AND TEXTURE - TOOTH-IN ALL MASONRY IN WHOLE UNITS - UNLESS OTHERWISE NOTED.

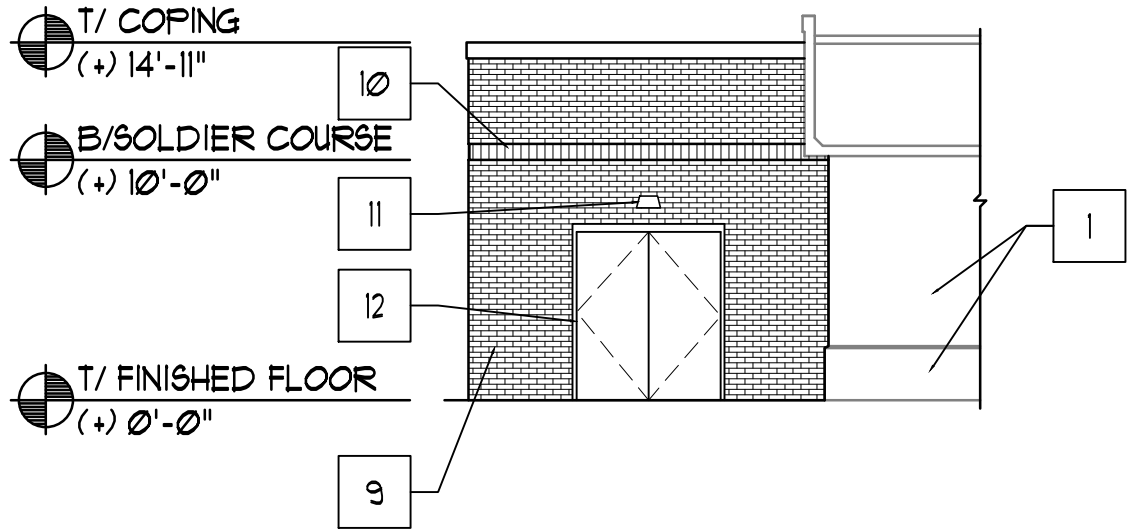
5. PROVIDE VERTICAL CONTROL JOINTS (C.J.) AT BRICK VENEER, TYPICAL - 24" FROM ANY CORNER (MINIMUM) AND 20'-0" ON CENTER (MAXIMUM) - REFER TO DETAIL 2/A110.



1 PARTIAL SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

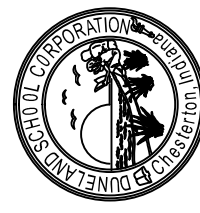


2 PARTIAL EAST EXTERIOR ELEVATION
1/8" = 1'-0"



3 PARTIAL NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304

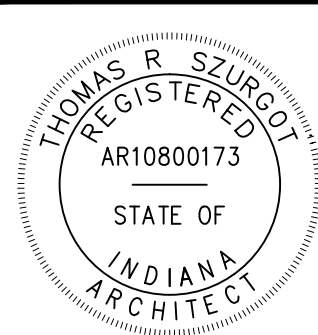


PROJECT NUMBER:	IT-003
PROJECT MANAGER:	MMG
DRAWN BY:	FSN
DATE FOR BID AND PERMIT:	06/01/2018
EXTERIOR ELEVATIONS	

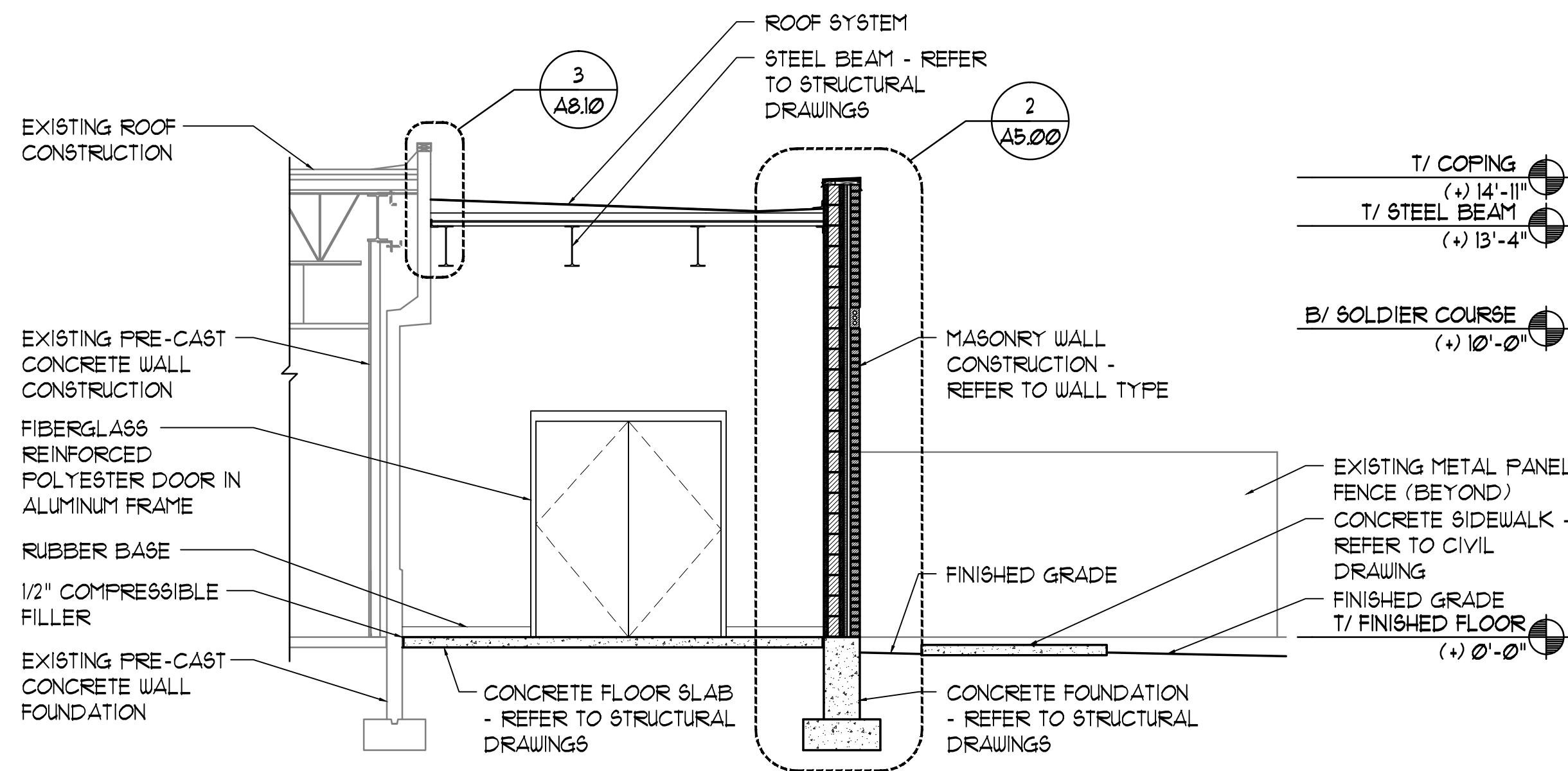
TRIA
ARCHITECTURE

Miles Engineering Group
7711 WINDWARD DR. #A
MUNSTER, INDIANA 46321
McMAHON
202 SOUTH STATE ROAD 2
PO BOX 1000
MUNSTER, INDIANA 46321
Greenbergfarrow
21 SOUTH PERRY DR. #200
MUNSTER, INDIANA 46321

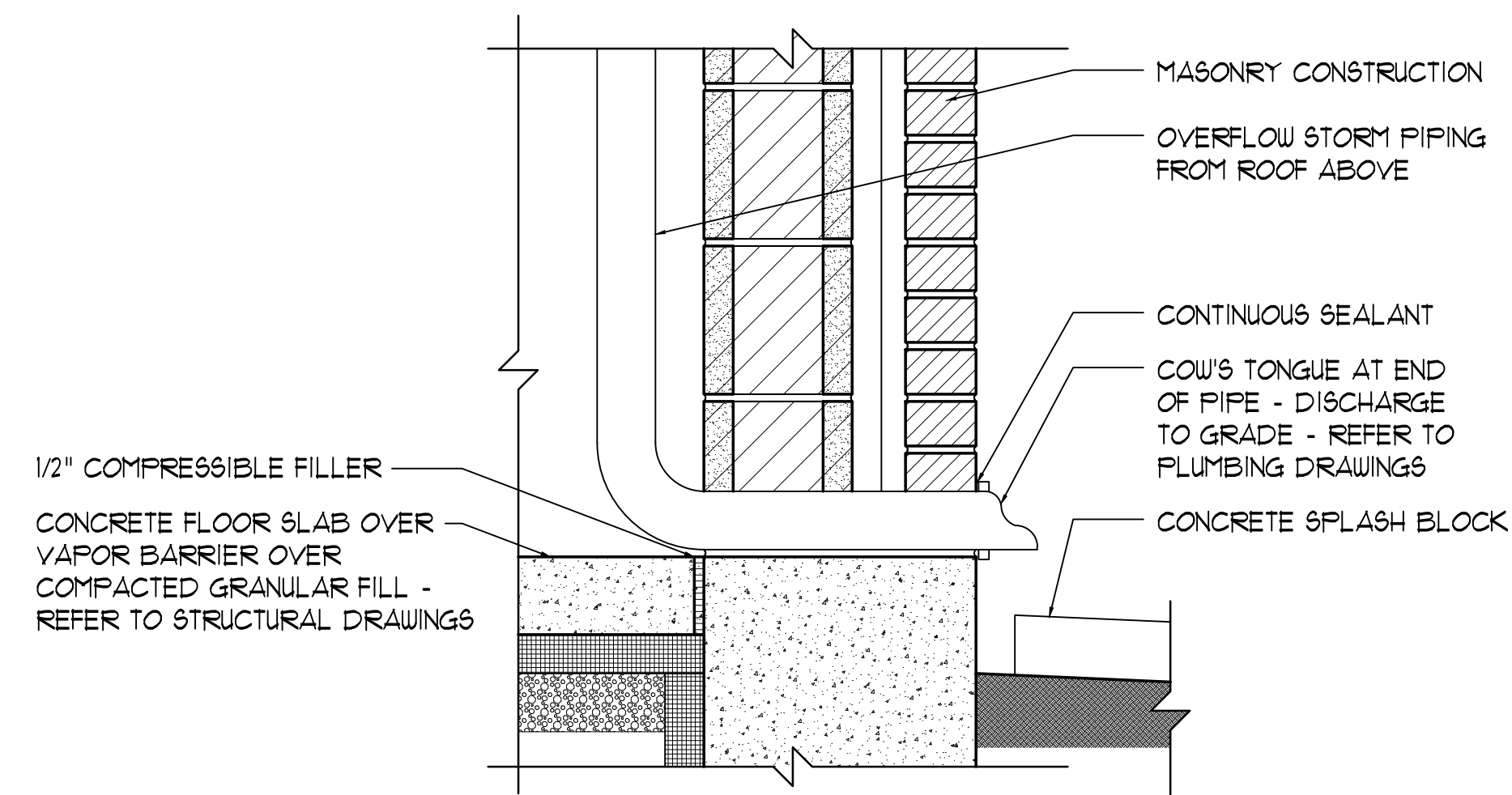
REGISTERED ENGINEER
(P) 783643600
(F) 783643601
CIVIL ENGINEER
(P) 783643714
(F) 783643646
STRUCTURAL ENGINEER
(P) 8411083300



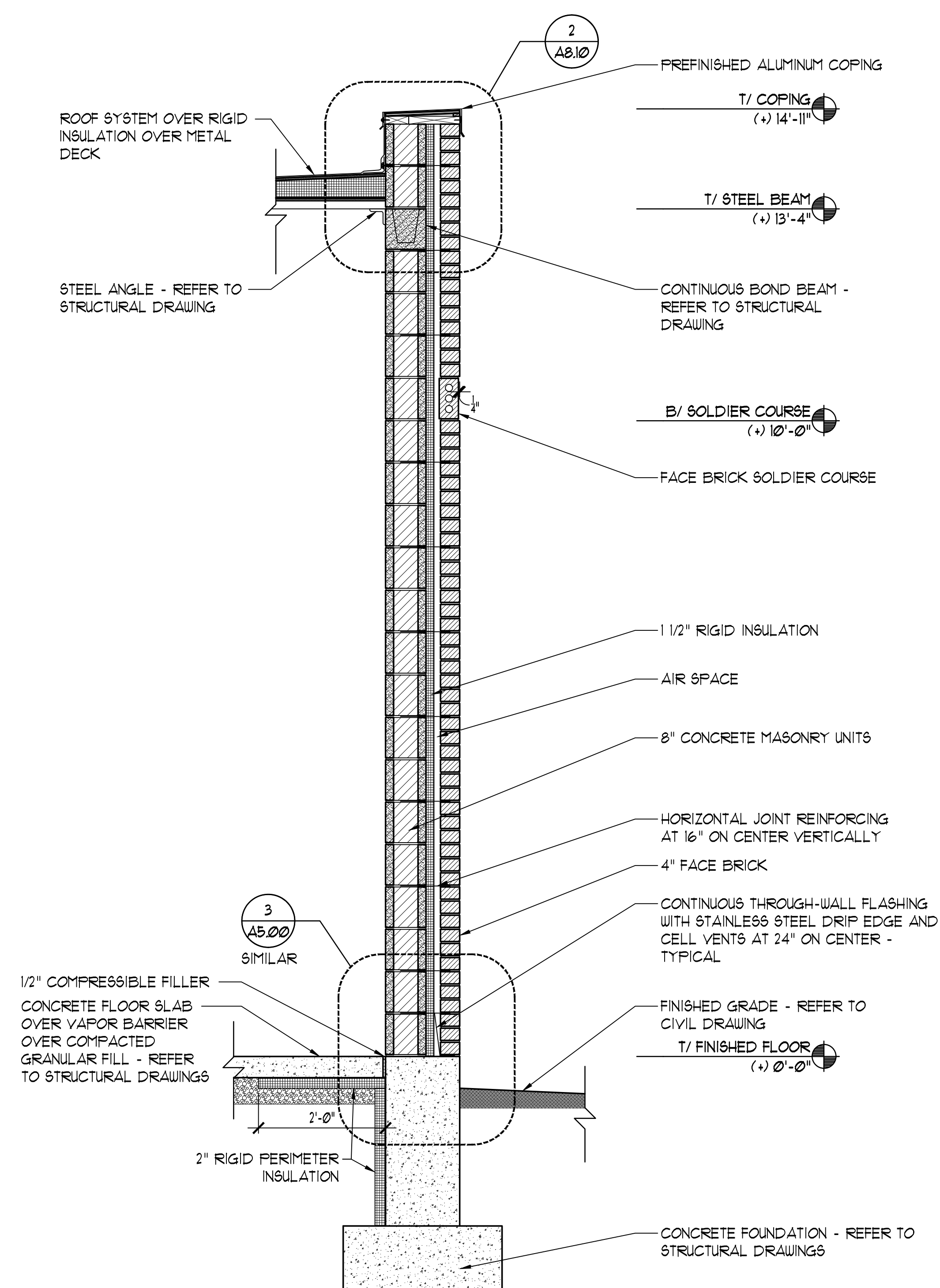
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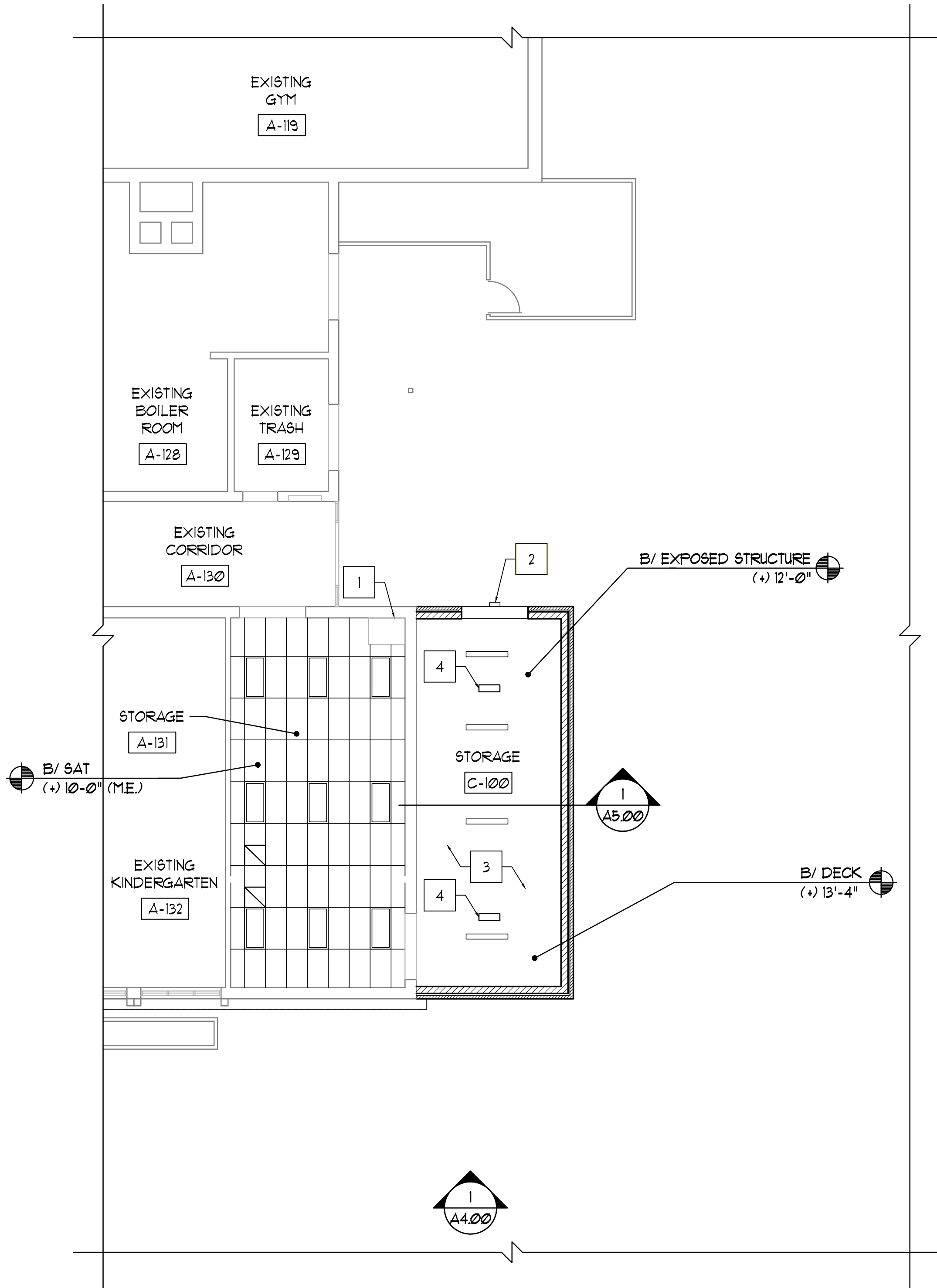
1 BUILDING SECTION
1/4" = 1'-0"



3 BASE DETAIL
1 1/2" = 1'-0"



2 WALL SECTION
3/4" = 1'-0"



1 PARTIAL FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



LEGEND

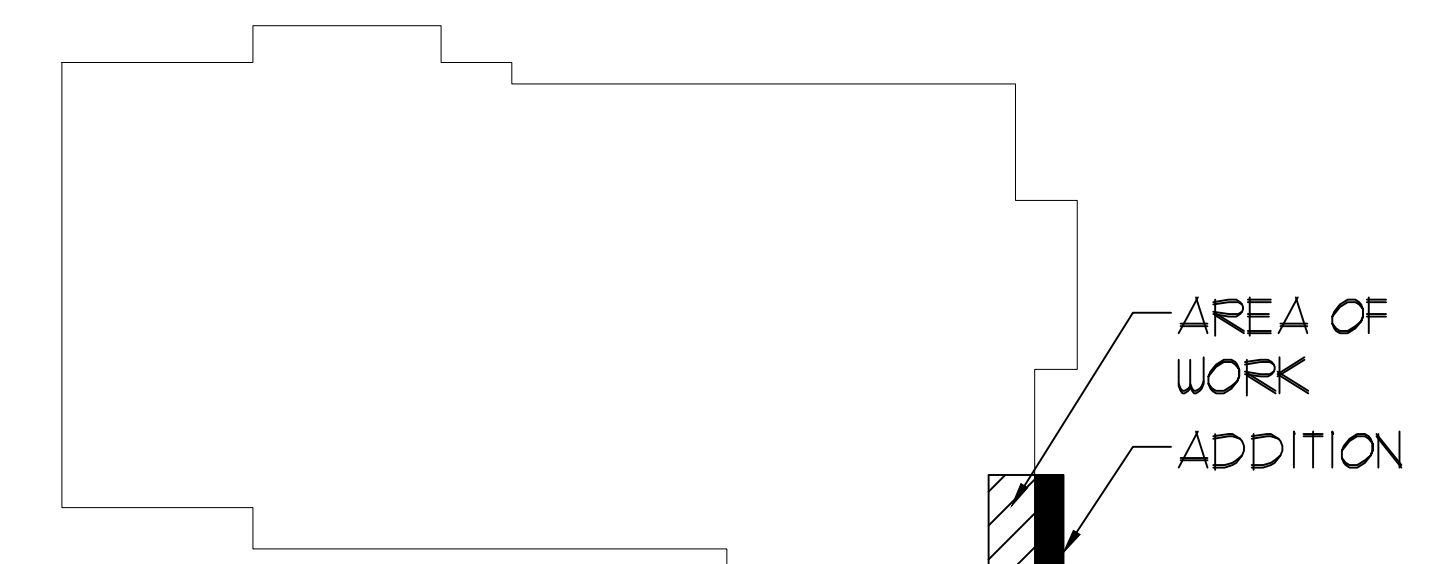
- 2'X4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM - TYPE I, UNLESS OTHERWISE NOTED - REFER TO SPECIFICATIONS
- 2' X 4' RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 1' X 4' PENDANT LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS
- MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS

REFLECTED CEILING PLAN GENERAL NOTES

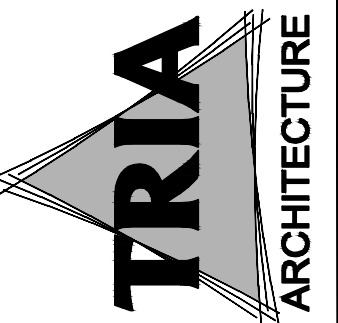
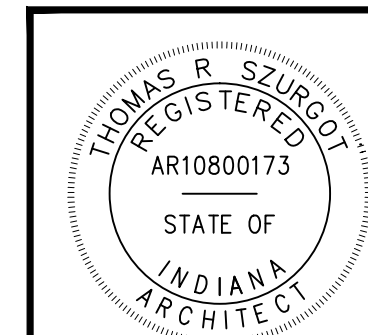
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL AREAS OF ABOVE CEILING WORK. REMOVE AND PATCH /OR RE-INSTALL EXISTING CEILINGS IN THESE LOCATIONS ONLY AS REQUIRED TO PROVIDE WORK INDICATED.
- CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO BEGINNING WORK ON ANY CEILING SCHEDULED TO RECEIVE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS. IN THE EVENT THAT AN ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM. ITEMS SHOWN ARE INDICATED TO GIVE A GENERAL SCOPE OF WORK. ANY ITEMS REQUIRING REMOVAL/DEMOLITION TO PROPERLY PERFORM CONTRACT WORK BUT NOT SPECIFICALLY SHOWN, SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL COST, PROVIDING THE CONDITION WAS VISIBLE DURING BIDDING.
- SHORE OR BRACE ALL EXISTING CONSTRUCTION AS REQUIRED TO PERFORM WORK.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, INFILLING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING, AND REFINISHING SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION.
- PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK NOT SCHEDULED TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED FINISHES, EQUIPMENT, OR ADJACENT SURFACES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ANY MATERIAL OR EQUIPMENT REMOVED.

REFLECTED CEILING PLAN REFERENCED NOTES

- EXISTING MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWING.
- EXTERIOR WALL MOUNTED LIGHT - REFER TO ELECTRICAL DRAWING.
- EXPOSED DECK AND STRUCTURE - PAINT.
- CEILING MOUNT MECHANICAL EQUIPMENT - REFER TO MECHANICAL DRAWINGS



KEY PLAN
NOT TO SCALE

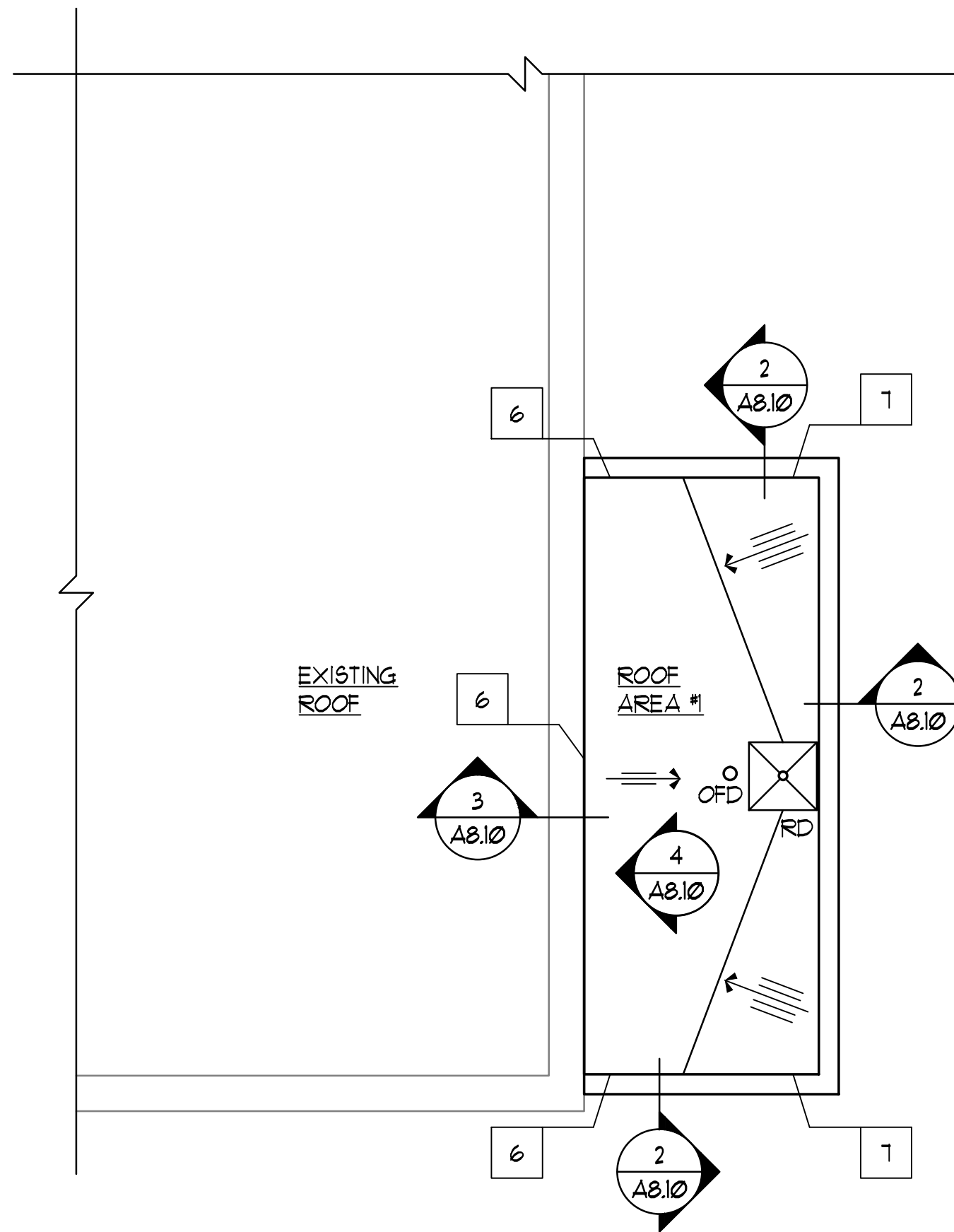


Millies Engineering Group
REGISTERED PROFESSIONAL ENGINEERS
PROJECT ENGINEER: JEFFREY A. MILLIES
CIVIL ENGINEER: JEFFREY A. MILLIES
STRUCTURAL ENGINEER: JEFFREY A. MILLIES
PROJECT ENGINEER: JEFFREY A. MILLIES
CIVIL ENGINEER: JEFFREY A. MILLIES
STRUCTURAL ENGINEER: JEFFREY A. MILLIES

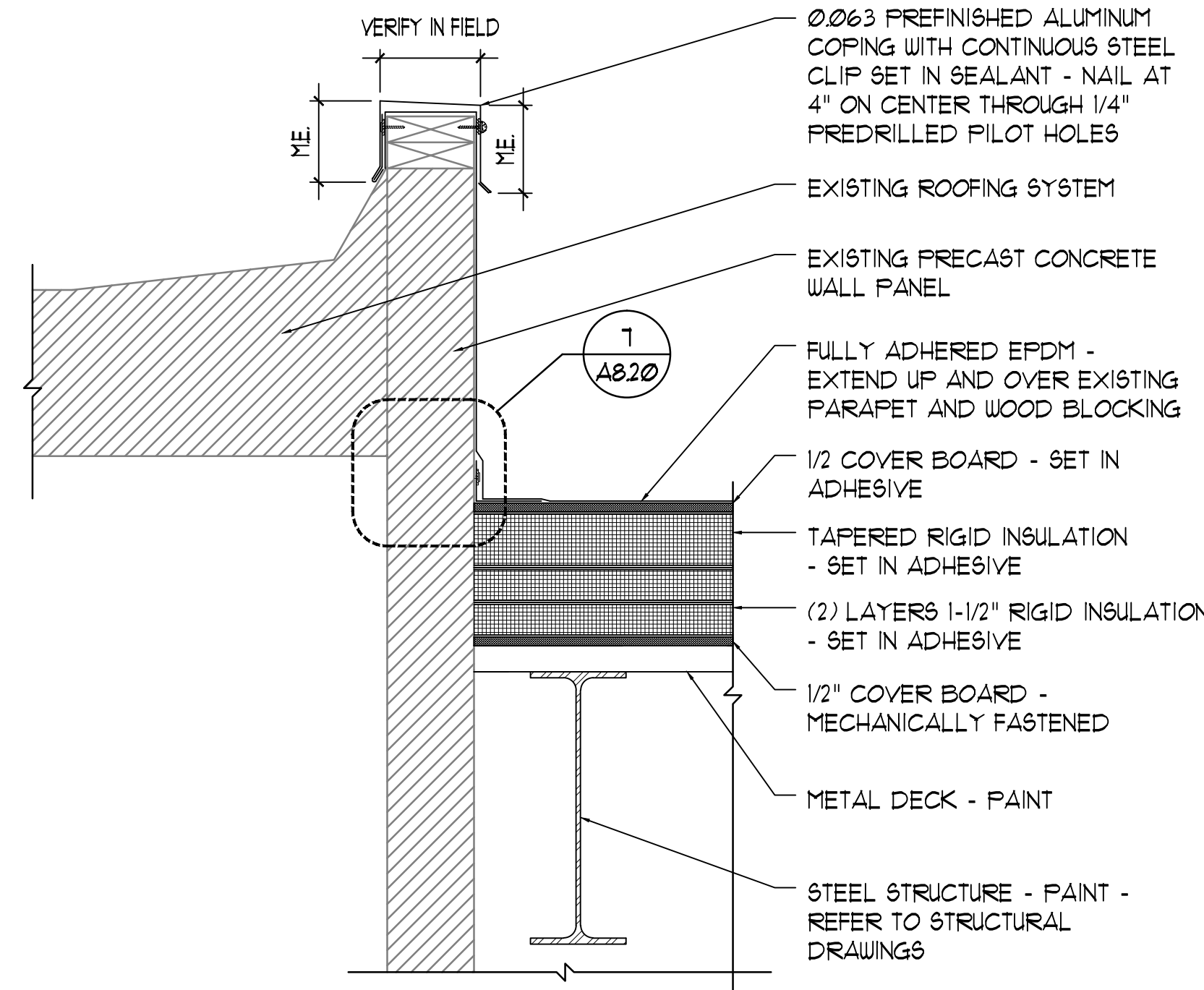
DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304

PROJECT NUMBER: 11-003
PROJECT MANAGER: JEFFREY A. MILLIES
DRAWN BY: JEFFREY A. MILLIES
DATE FOR BID AND PERMIT: 06/01/2018
PARTIAL FIRST FLOOR
REFLECTED CEILING PLAN

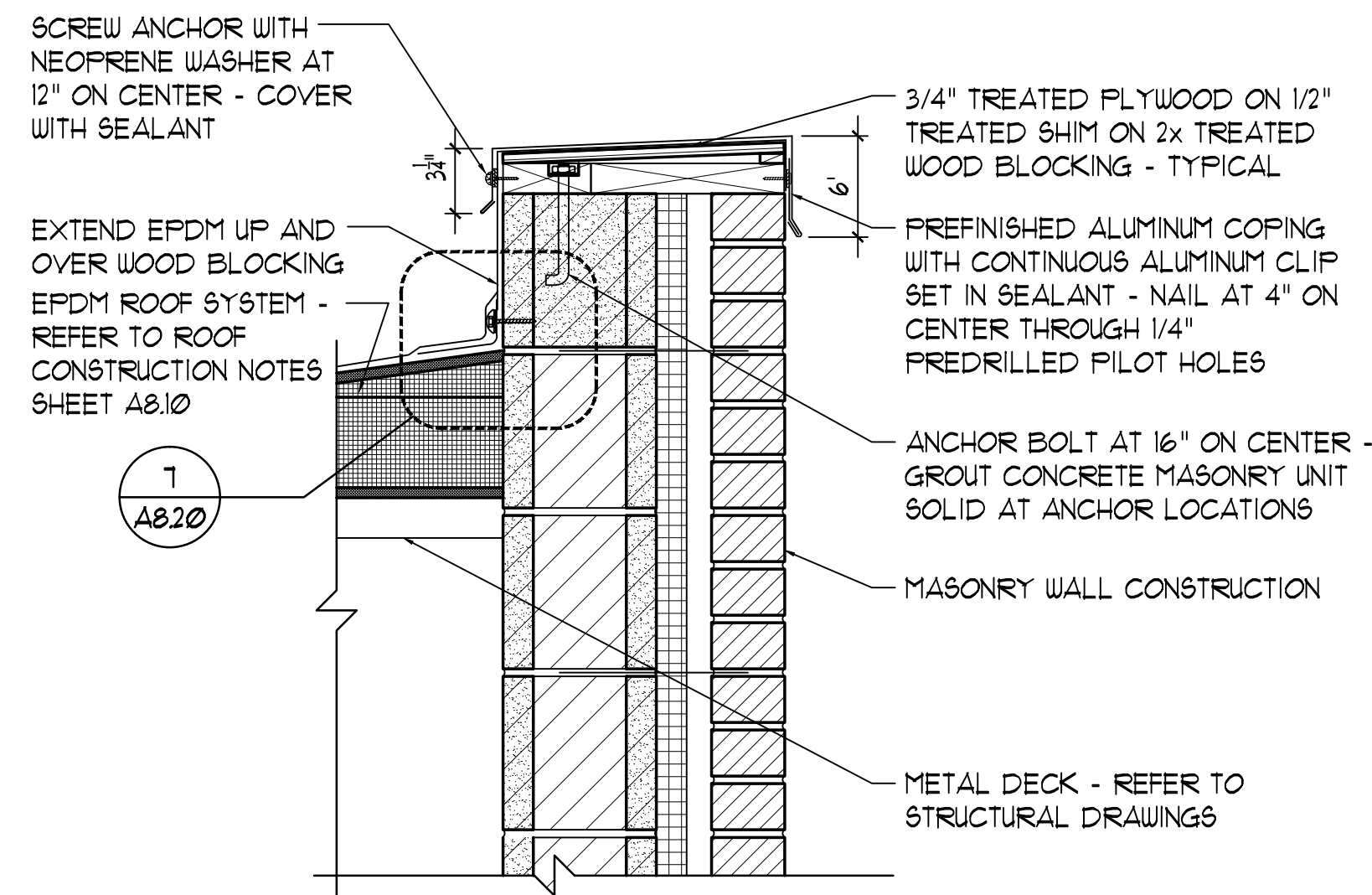
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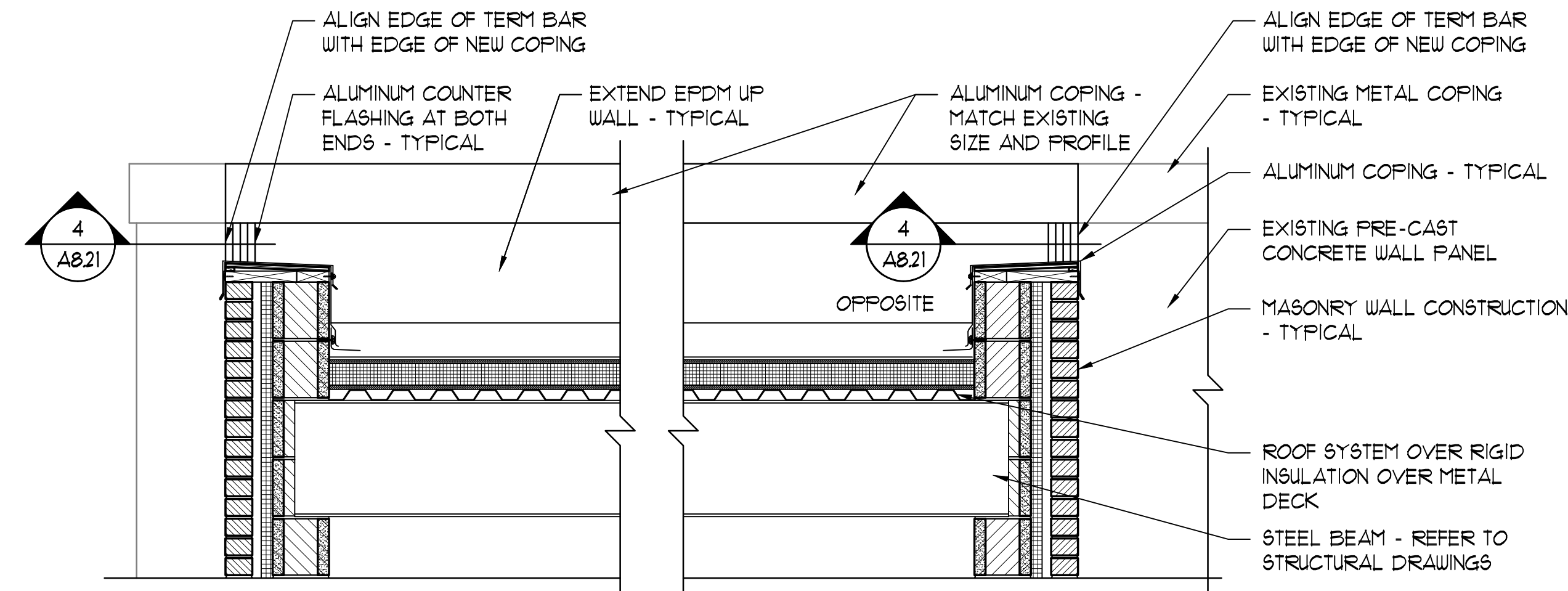
1 PARTIAL ROOF PLAN
1/8" = 1'-0"



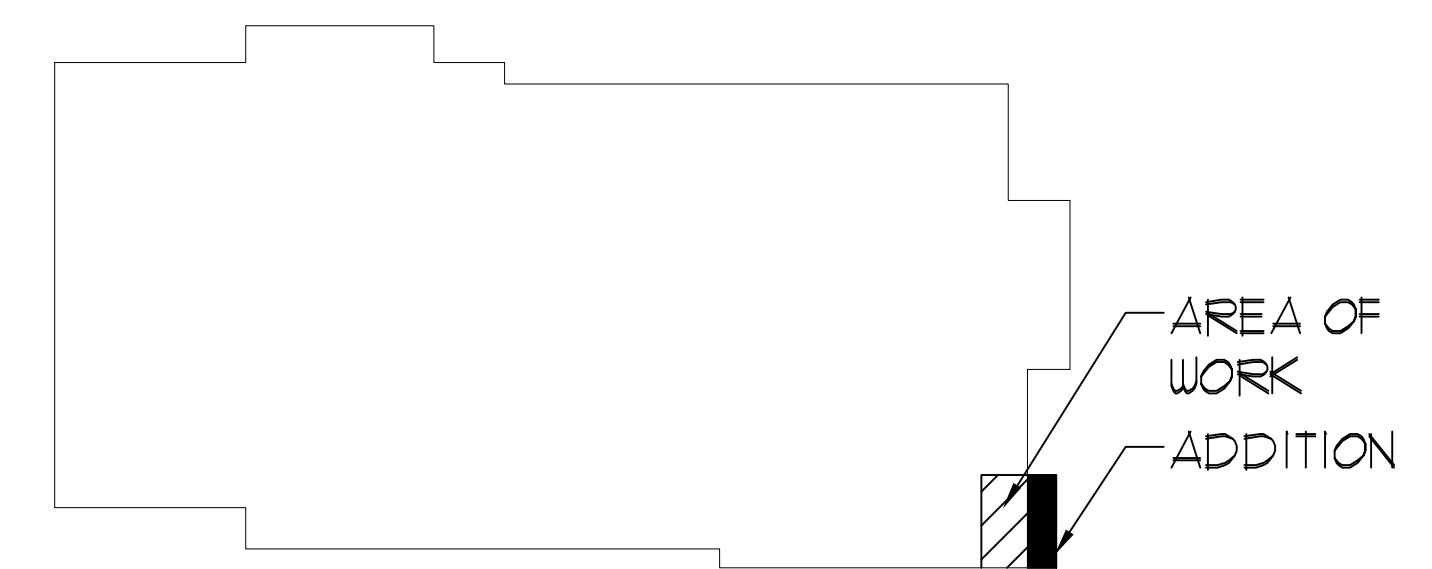
3 ROOF EDGE DETAIL
1 1/2" = 1'-0"



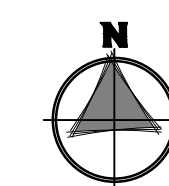
2 COPING DETAIL
1 1/2" = 1'-0"



4 PARAPET DETAIL
3/4" = 1'-0"



KEY PLAN
NOT TO SCALE



ROOF CONSTRUCTION NOTES

- AT LOW SLOPE ROOF AREA #1
(METAL DECK AND TAPERED INSULATION)
1. METAL DECK.
 2. INSTALL COVER BOARD - MECHANICALLY FASTENED.
 3. INSTALL VAPOR BARRIER.
 4. INSTALL (2) LAYERS OF 1 1/2" RIGID POLYISOCYANURATE INSULATION - SET IN ADHESIVE.
 5. INSTALL TAPERED INSULATION - SET IN ADHESIVE.
 6. INSTALL 1/2" COVER BOARD - SET IN ADHESIVE.
 7. INSTALL 60 MIL EPDM MEMBRANE (BLACK) - FULLY ADHERED.
 8. INSTALL PRE-FINISHED ALUMINUM FLASHING AND COPINGS.

FLASHING NOTES

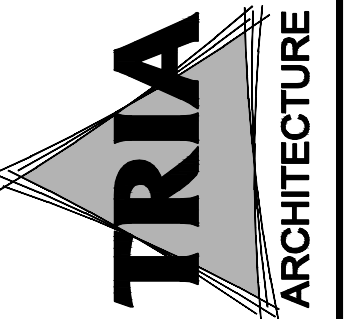
1. ALL FLASHING FLANGES ARE TO BE SET IN SEALANT.
2. FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
3. FOLLOWING INSTALLATION OF THE FLASHING, APPLY SEALANT TO ALL EXPOSED LEADING EDGES.
4. ALL SCREW ANCHOR LOCATIONS TO HAVE PRE-DRILLED 5/16" PILOT HOLES.
5. NON-EXPOSED NAIL FASTENERS TO BE 1-1/2" RING SHANK COPPER ROOFING NAILS.
6. NON-EXPOSED SCREW ANCHORS INTO WOOD TO BE 1-1/4" X 3/16" HHA ATLAS TYPE #A' POINT SCREWS.
7. EXPOSED SCREW ANCHORS INTO WOOD ARE TO BE 1-1/4" X 3/16" HHA ATLAS TYPE #A' POINT 304 SERIES.
8. NON-EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" TAPCONS.
9. EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" TAPCONS WITH CLIMASEAL CORROSION RESISTIVE COATING AND NEOPRENE WASHERS.
10. EXPOSED SCREW FASTENERS INTO SHEET METAL TO BE 3/4" X 1/4" TEKs WITH NEOPRENE WASHERS.
11. ALL EXPOSED SCREW FASTENERS ARE TO BE COVERED WITH SEALANT.

ROOF PLAN GENERAL NOTES

1. ALL INSULATION JOINTS ARE TO BE STAGGERED.
2. ALL GAPS IN INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED WITH INSULATION STRIPS.
3. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
4. ALL COUNTER FLASHING, COPING, AND MISCELLANEOUS METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
5. ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED WITH SEALANT FOLLOWING ARCHITECT'S APPROVAL.
6. APPLY EPDM MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
7. REFER TO SHEETS A8.21 AND A8.22 FOR TYPICAL FLASHING AND COPING DETAILS.
8. PROVIDE TAPERED INSULATION SADDLES AT ALL ROOF CURBS (NEW AND EXISTING - WHETHER INDICATED ON PLAN OR NOT) AS REQUIRED, UNLESS NOTED OTHERWISE. REFER TO DETAIL 12/A8.20.

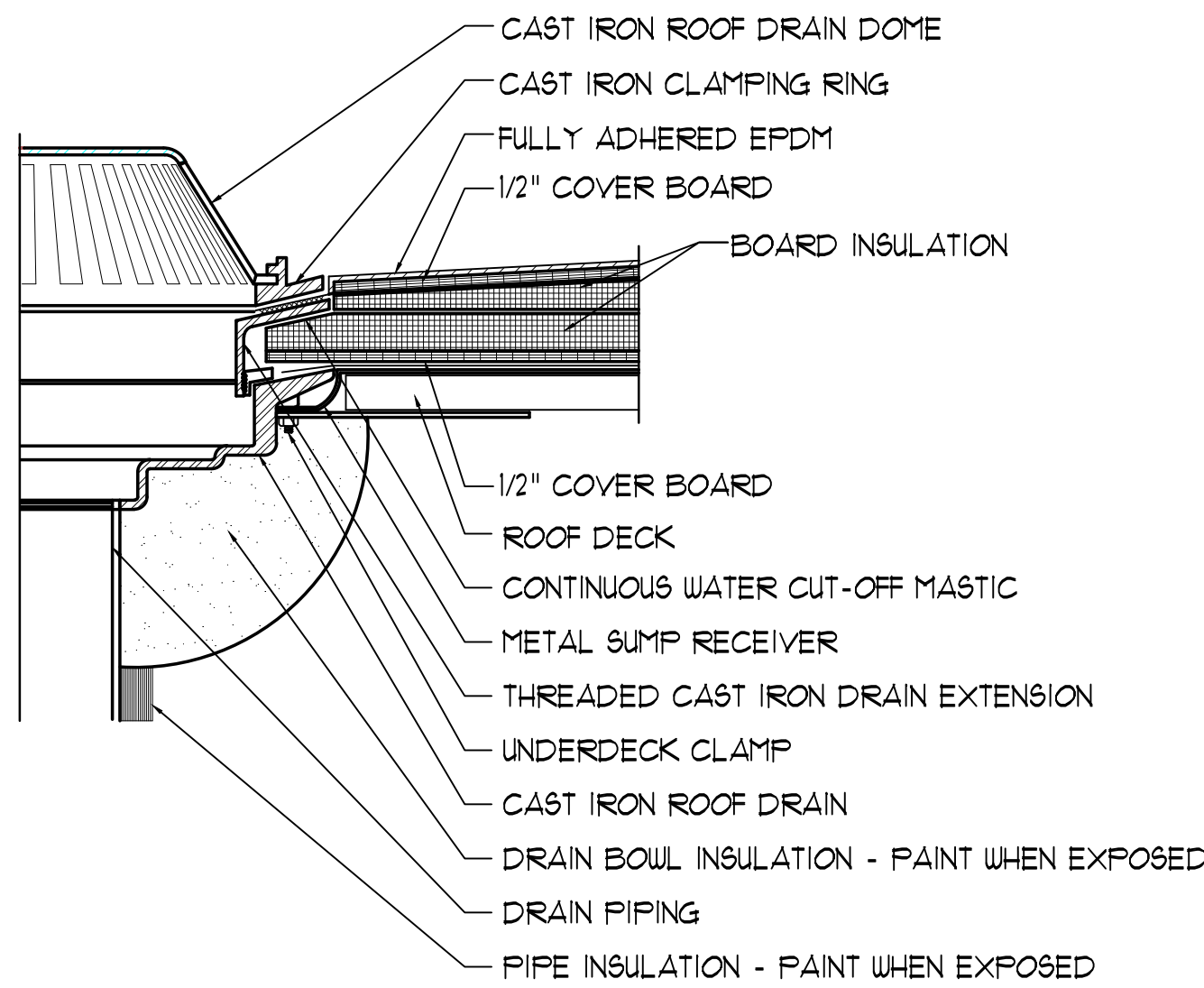
ROOF PLAN LEGEND

- RD ROOF DRAIN AND STORM PIPING - REFER DETAIL 1/A8.20 (EPDM ROOF) AND PLUMBING DRAWINGS.
- OFD OVERFLOW STORM DRAIN - REFER TO PLUMBING DRAWINGS.
- AREA OF 1/2" PER FOOT TAPERED INSULATION
- AREA OF 1/4" PER FOOT TAPERED INSULATION
- THICKNESS FROM TOP OF DECKING TO BOTTOM OF ROOF MEMBRANE

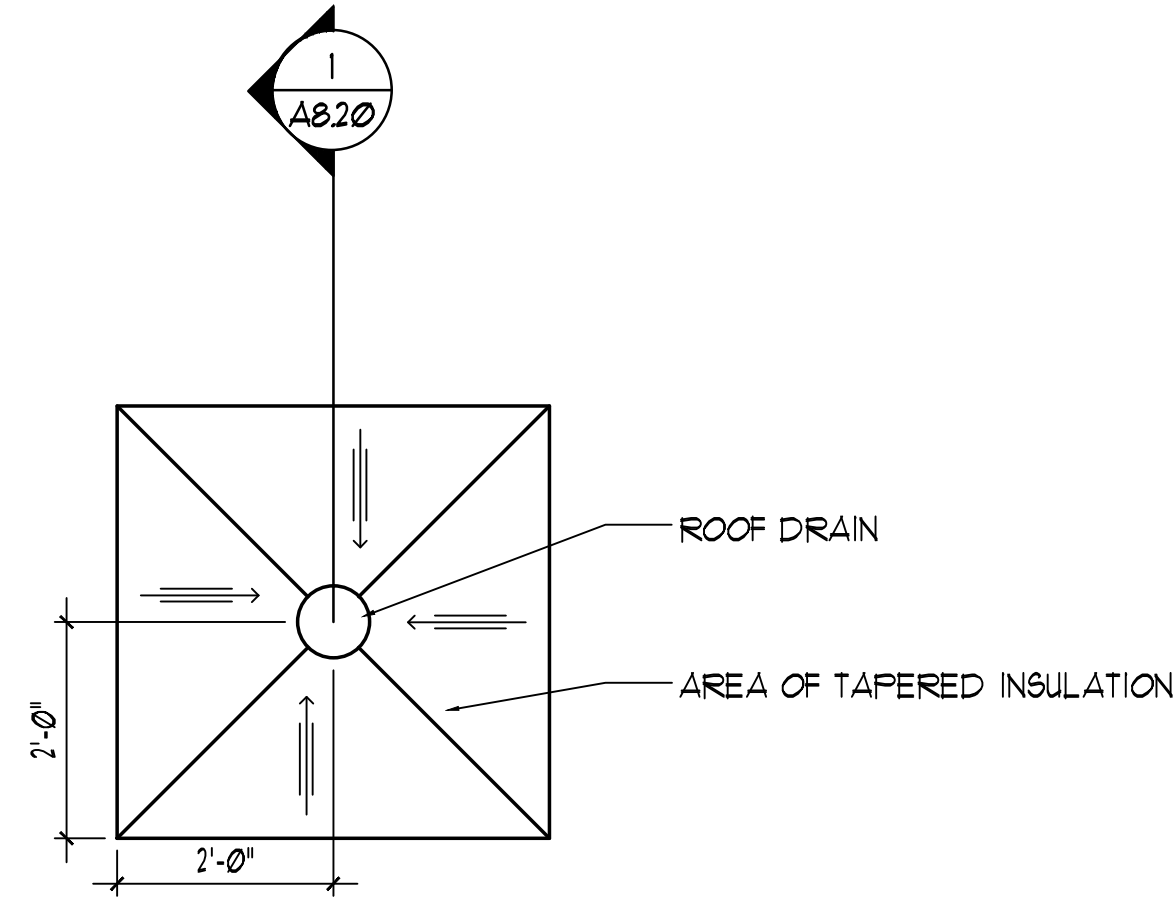


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NOTES:
1. SLIGHTLY BEVEL TOP EDGE OF BASE INSULATION AND INSERT UNDER DRAIN EXTENSION RING. TIGHTEN EXTENSION RING SO THAT TOP OF SAME IS FLUSH WITH TOP OF BASE INSULATION.
2. CUT TAPERED INSULATION PERPENDICULAR TO DRAIN CLAMPING RING - DO NOT BEVEL.
3. COORDINATE WITH PLUMBING DRAWINGS.

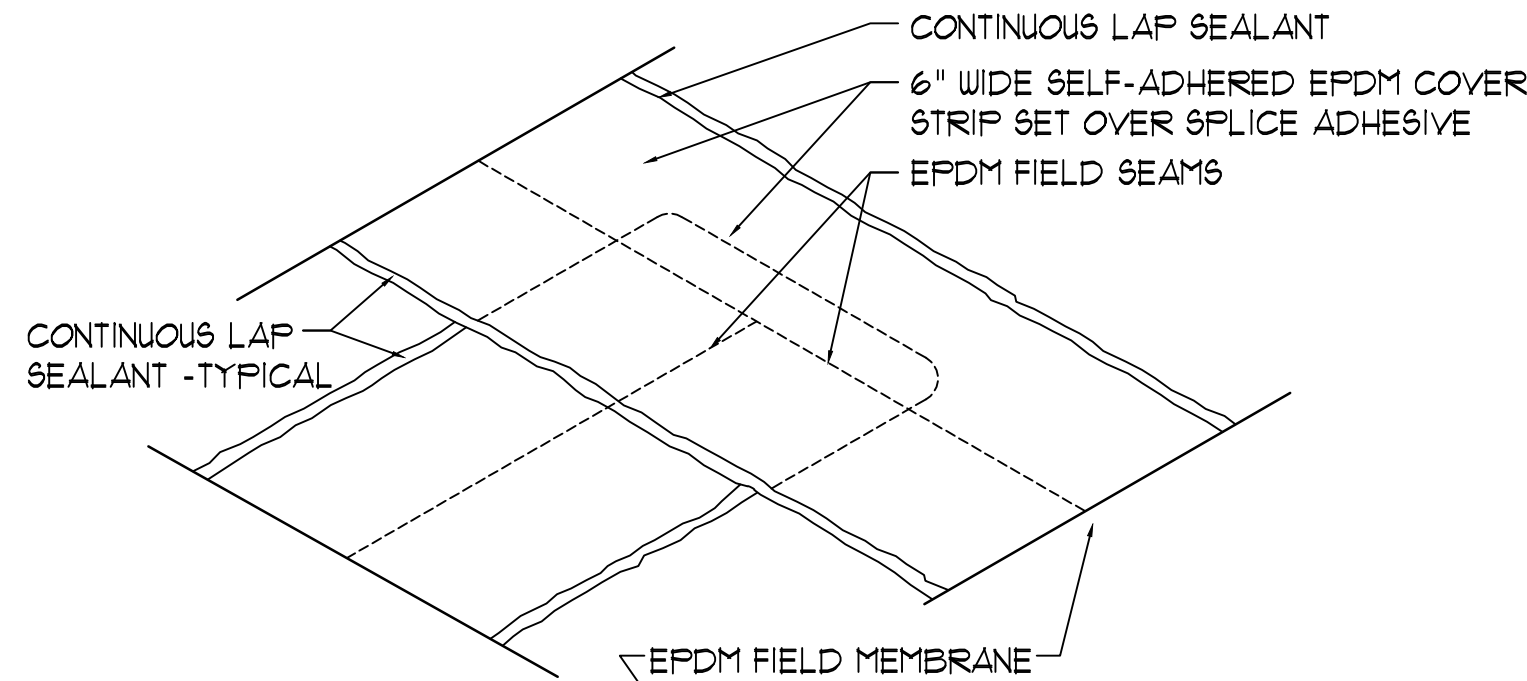


1 ROOF DRAIN DETAIL
1 1/2" = 1'-0"



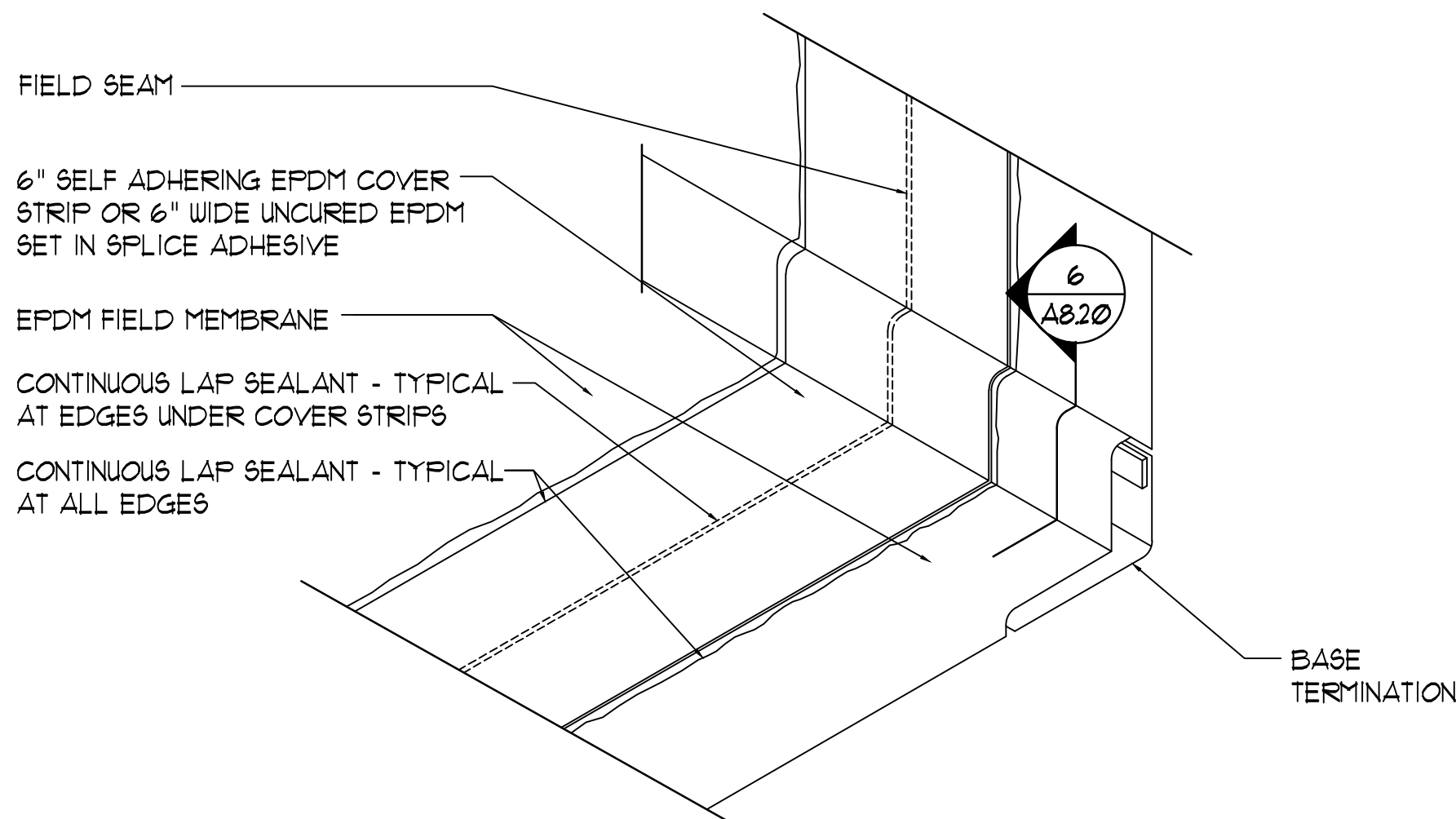
2 TAPERED INSULATION PLAN
1 1/2" = 1'-0"

NOTES:
1. ALL LAP SEAMS TO BE STRIPPED IN WHETHER SPLICE ADHESIVE OR SPLICE TAPE ARE UTILIZED.
2. WASH LAP SEAMS WITH WATER FOLLOWED BY SPLICE WASHING TO REMOVE CONTAMINANTS.



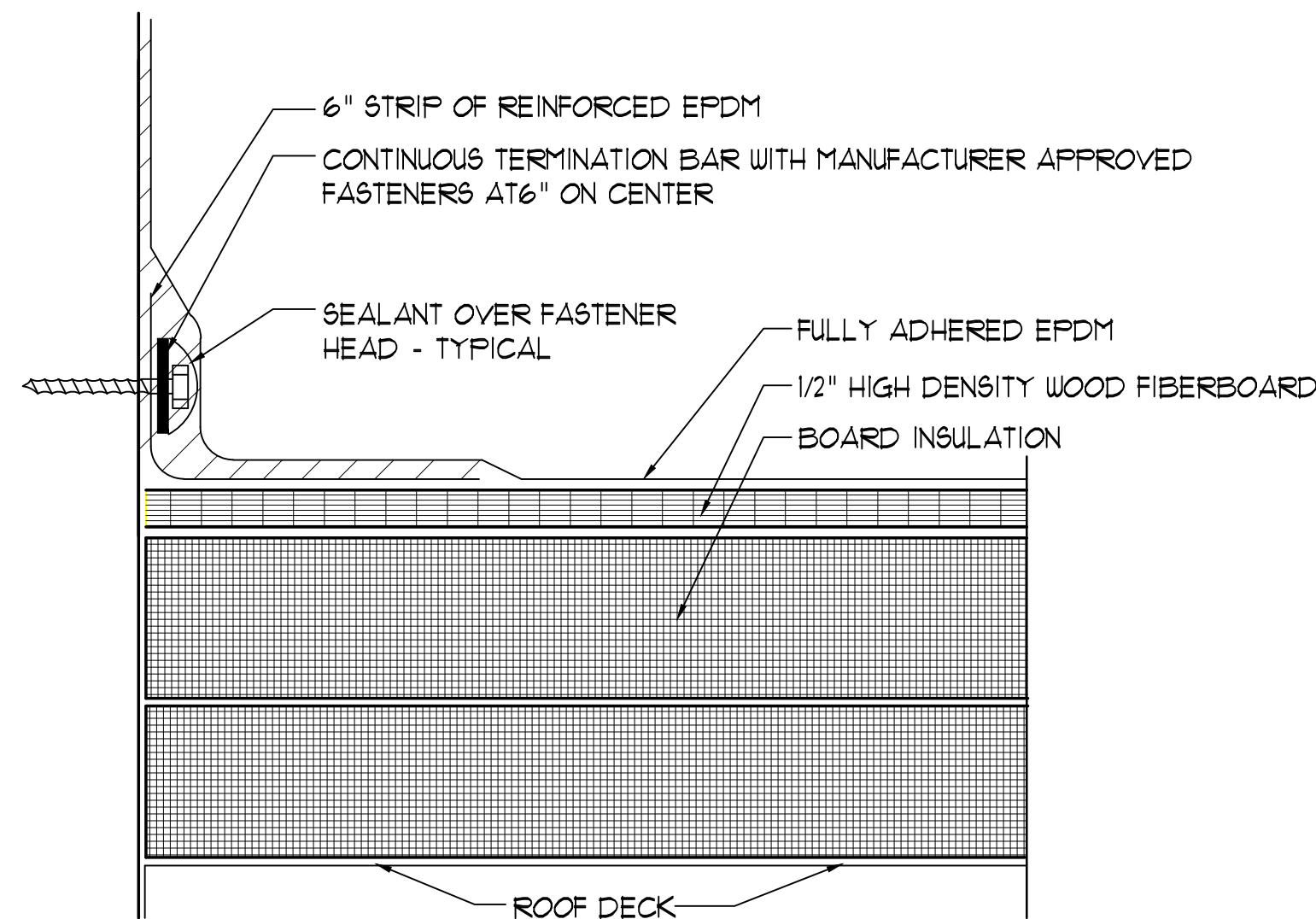
4 LAP SEAM COVER STRIP DETAIL
1 1/2" = 1'-0"

NOTES:
1. THIS BASE DETAIL IS APPLICABLE WHEN EPDM FIELD MEMBRANE IS UTILIZED AS BASE FLASHING.
2. BALLAST OMITTED FOR CLARITY.



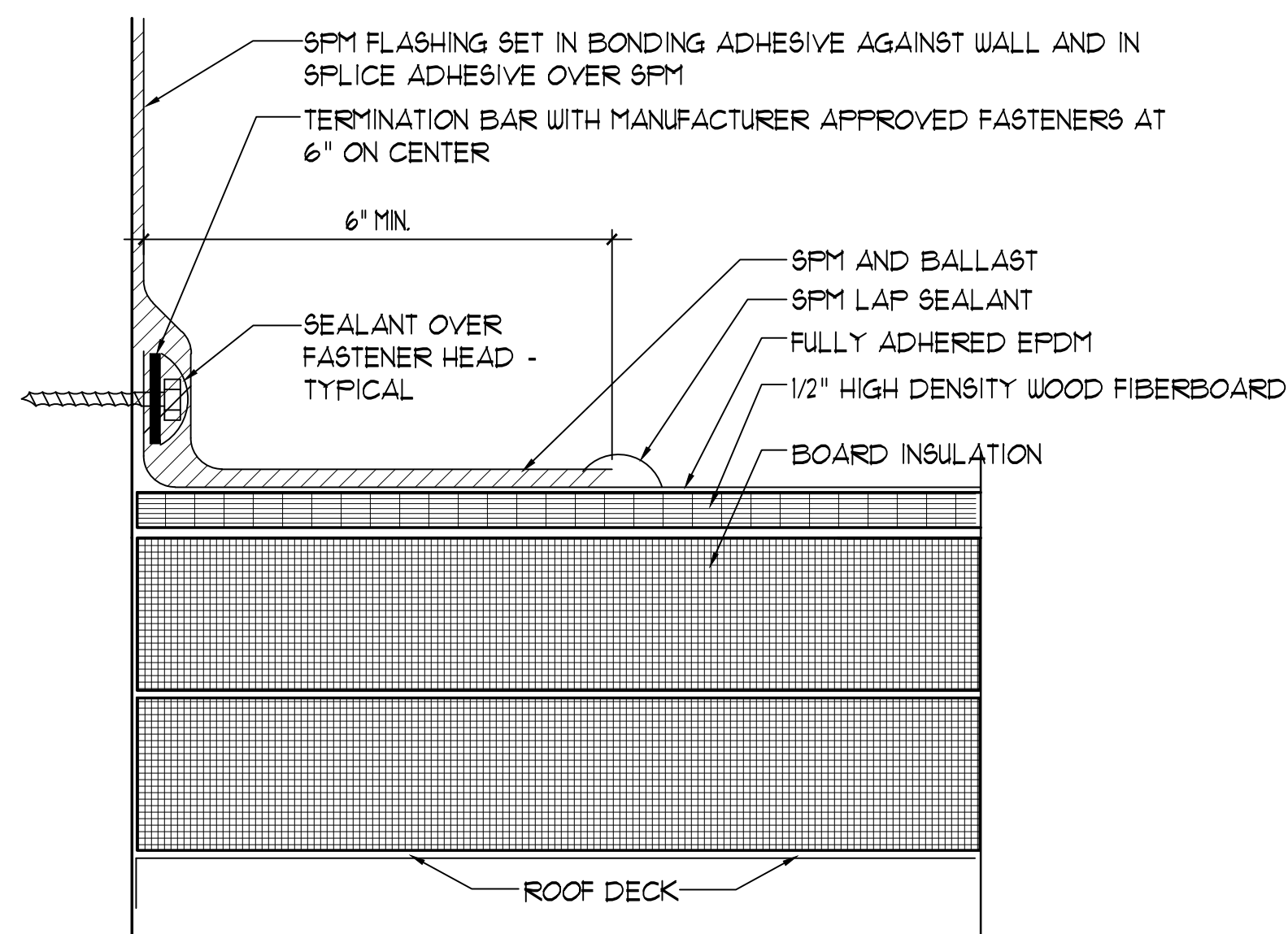
5 TYP. BASE FLASHING WITH COVER STRIP DETAIL
1 1/2" = 1'-0"

NOTES:
1. ON ROOF CURBS ALL CORNERS TO BE FLASHED WITH 2 LAYERS OF UNCURED EPDM.



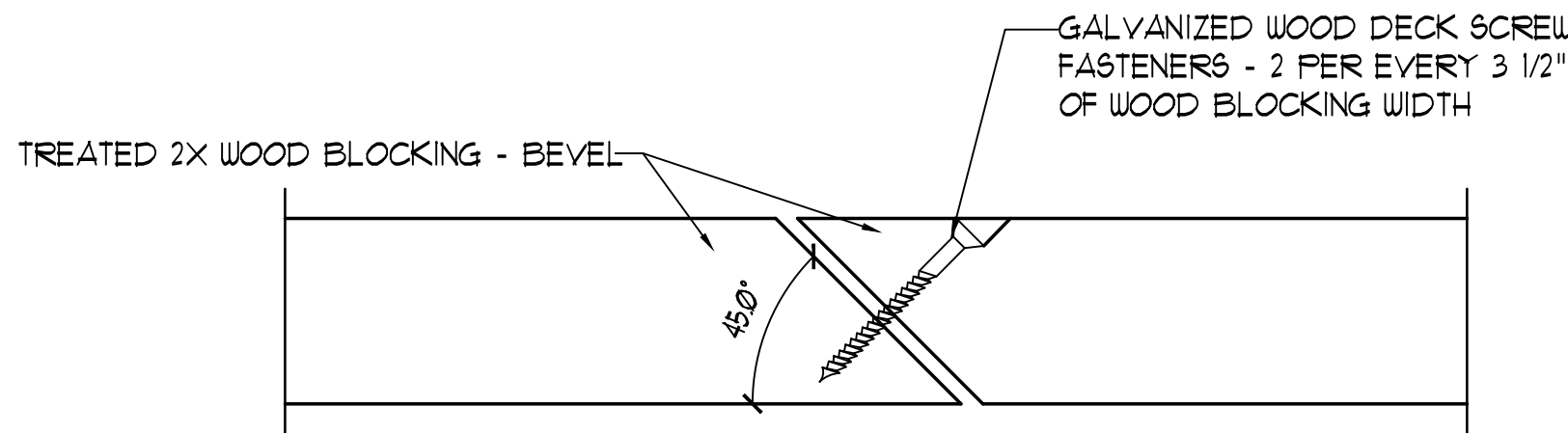
6 TYP. SPM ANCHOR STRIP DETAIL
6" = 1'-0"

NOTES:
1. ON ROOF CURBS ALL CORNERS TO BE FLASHED WITH 2 LAYERS OF UNCURED EPDM.

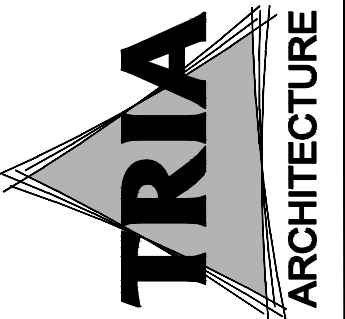


7 TYP. SPM ANCHOR STRIP DETAIL
6" = 1'-0"

NOTES:
1. ALL WOOD BLOCKING TO BE TREATED. JOINTS TO BE STAGGERED, MITERED, AND SCREWED TIGHT.



3 TYP. MITERED WOOD BLOCKING
6" = 1'-0"

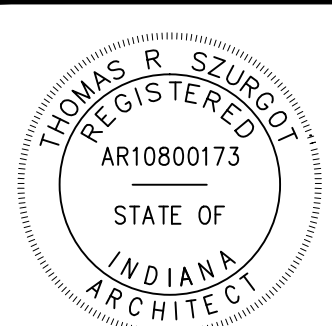
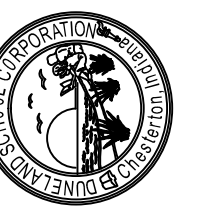


Miles Engineering Group
REGISTERED PROFESSIONAL ENGINEERS
PROJECT MANAGER: MEG
DRAWN BY: PSN
BASED FOR BID AND PERMIT: 01/10/08
ROOF DETAILS

McMAHON
REGISTERED PROFESSIONAL ENGINEERS
PROJECT MANAGER: MEG
DRAWN BY: PSN
BASED FOR BID AND PERMIT: 01/10/08
ROOF DETAILS

GreenbergFarrow
REGISTERED PROFESSIONAL ENGINEERS
PROJECT MANAGER: MEG
DRAWN BY: PSN
BASED FOR BID AND PERMIT: 01/10/08
ROOF DETAILS

DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304

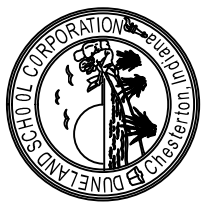


A8.20



MILES ENGINEERING GROUP 7111 N. WINDYBROOK DR. #A MUNSTER, INDIANA 46321 CIVIL ENGINEER F/735243600 F/735243601	CIVIL ENGINEER F/735243600 F/735243601	STRUCTURAL ENGINEER F/735243600 F/735243601

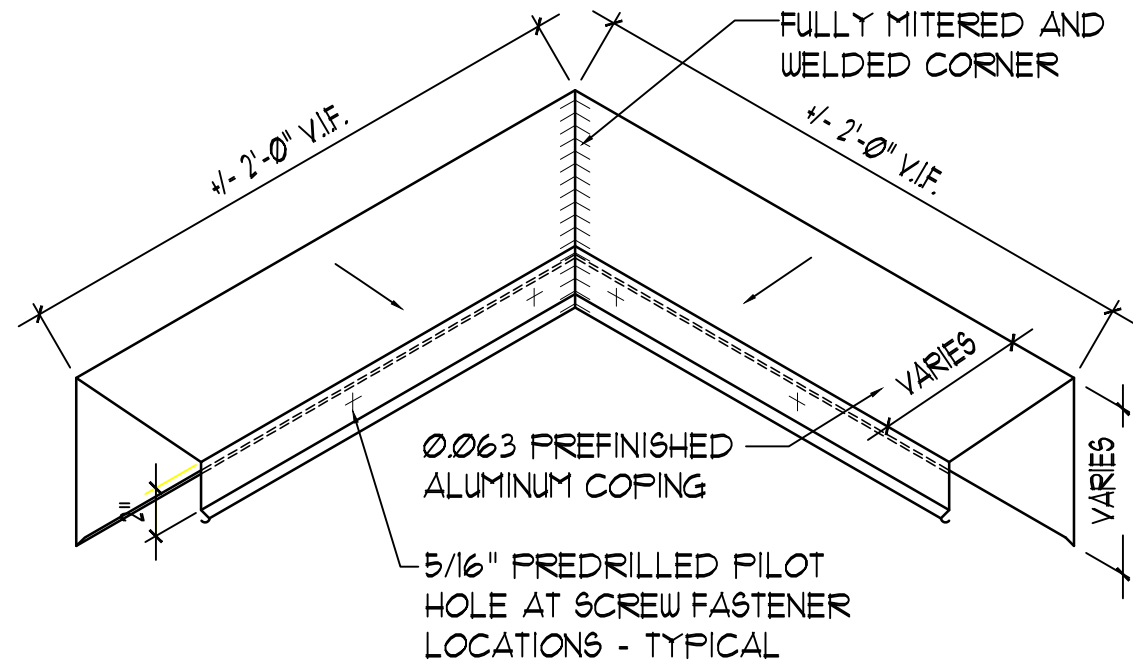
DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304



PROJECT NUMBER: 11-043	DESIGNER: T.R.S.
PROJECT MANAGER: NMG	DESIGNER: T.R.S.
DRAWN BY: PSN	DESIGNER: T.R.S.
BASED FOR BID AND PERMIT: 01/10/2018	DESIGNER: T.R.S.
ROOF DETAILS	DESIGNER: T.R.S.

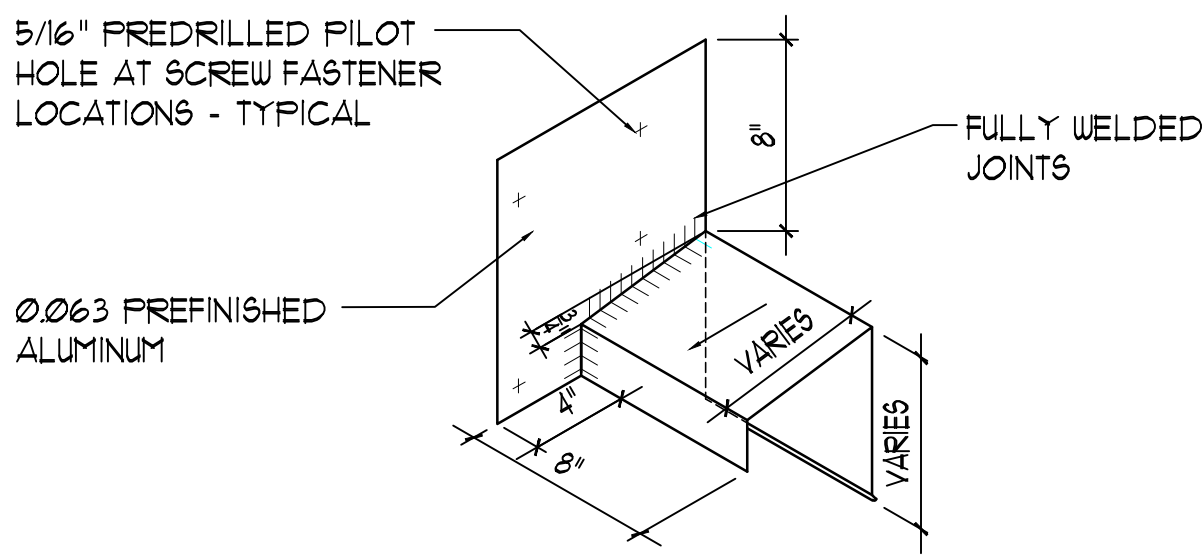
A8.21

- NOTES:
1. SHEET METAL CONTRACTOR TO VERIFY ANGLE OF COPING CORNER IN FIELD.
 2. ALL CORNERS TO BE FACTORY WELDED AND POST PAINTED.

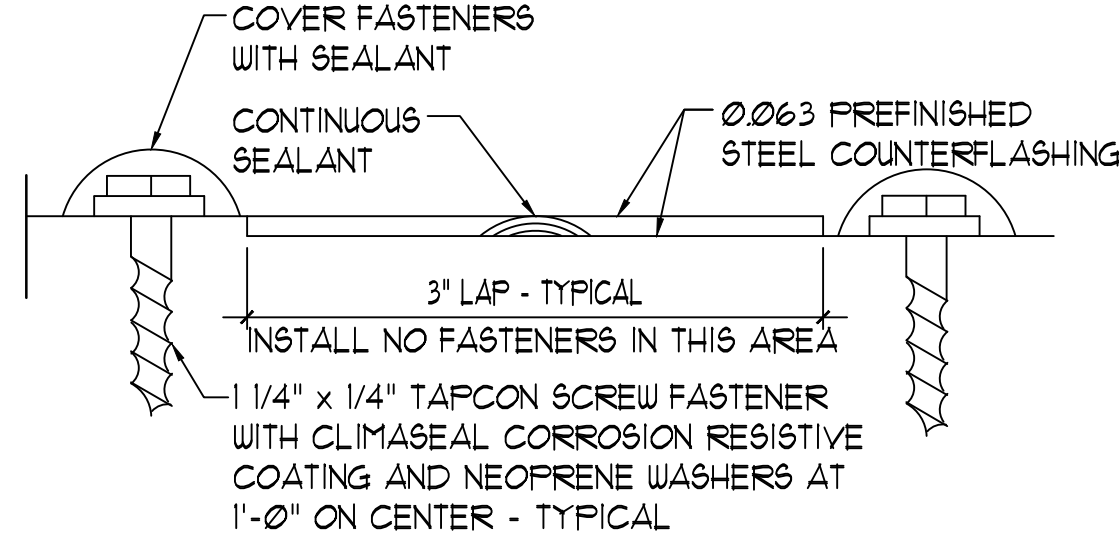


1 OUTSIDE CORNER COPING DETAIL
1 1/2" = 1'-0"

- NOTES:
1. ALL CORNERS TO BE FACTORY WELDED AND POST PAINTED.

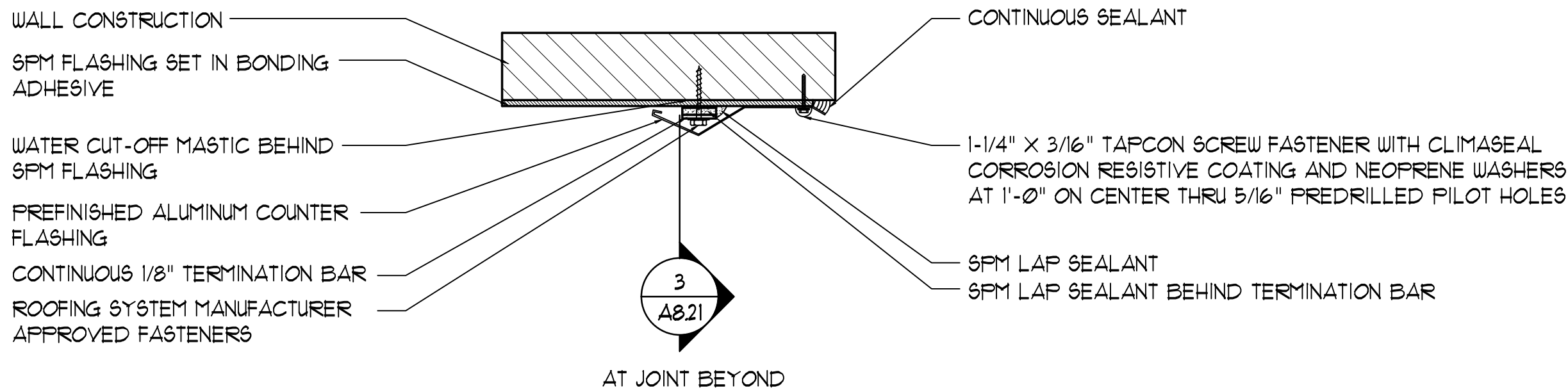


2 END WALL FLASHING DETAIL
1 1/2" = 1'-0"

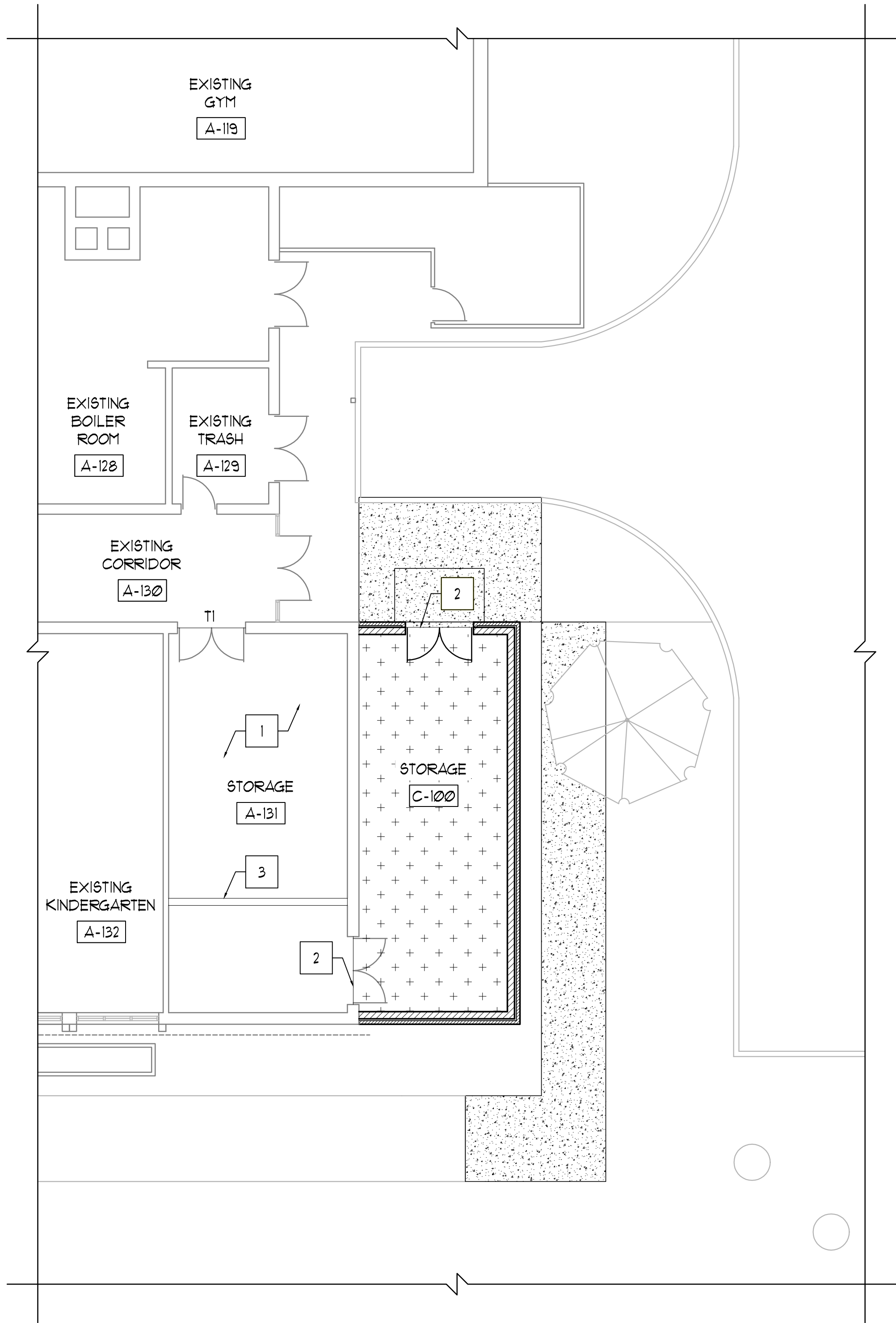


3 TYP. COUNTERFLASHING LAP JOINT
FULL SCALE

- NOTES:
1. TERMINATION BAR AND COUNTERFLASHING ARE TO BE INSTALLED VERTICALLY ACROSS EXISTING PRE-CAST CONCRETE WALL PANEL.
 2. TERMINATION BAR TO BE INSTALLED ON TOP OF SPM BASE FLASHING ON SAME DAY BASEFLASHING IS INSTALLED.



4 COUNTERFLASHING/SPM TERMINATION DETAIL
3" = 1'-0"



1 PARTIAL FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



FINISH PLAN REFERENCED NOTES

- EXISTING CONCRETE FLOOR SLAB.
- NEW DOOR THRESHOLD - REFER TO 3/A2.00.
- PATCH CONCRETE SLAB.

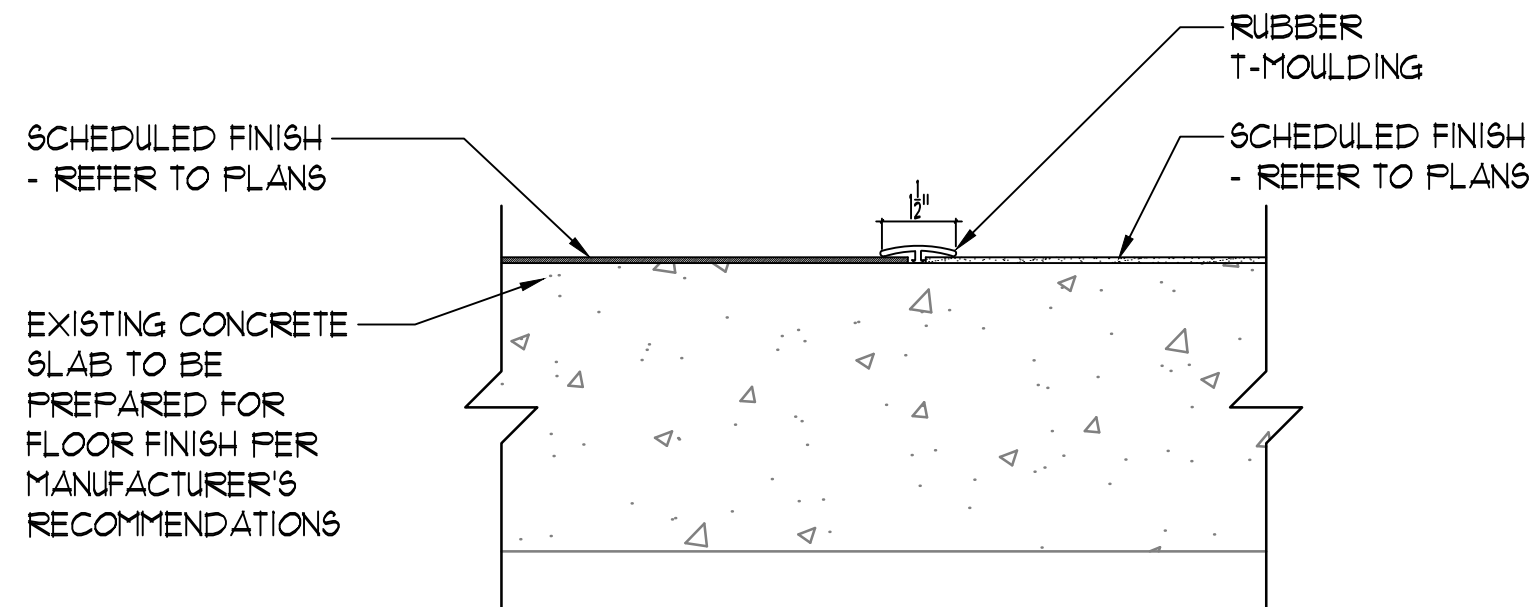
NOTE:
CONTRACTOR TO VERIFY CONDITIONS AT EACH TRANSITION AND SIZE REDUCERS ACCORDINGLY.

FINISH PLAN GENERAL NOTES

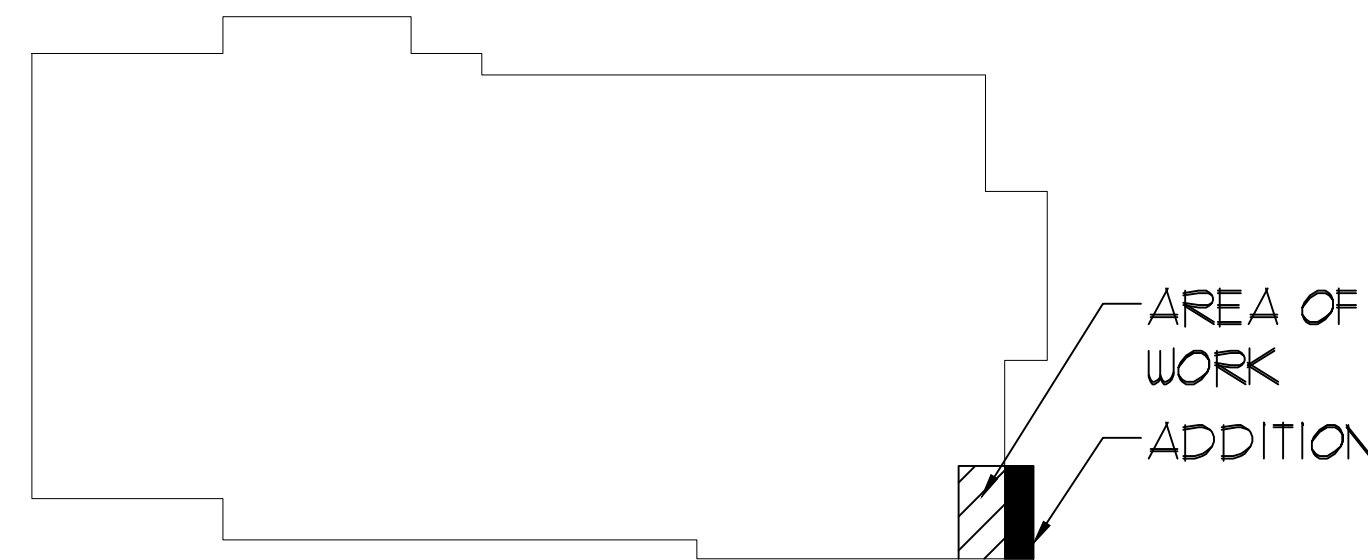
- REFER TO SHEET A9.50 FOR ROOM FINISH SCHEDULES AND ADDITIONAL NOTES/SCOPE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL PRODUCT INFORMATION.
- MAKE EXISTING FLOOR SLAB SMOOTH AND FLAT - OWNER TO INSTALL CARPET IN THE FUTURE.
- PROVIDE WALL BASE AT ALL LOCATIONS OF NEW FLOORING AND/OR NEW WALL CONSTRUCTION - UNLESS NOTED OTHERWISE.
- AT AREAS WHERE PATCHING OF WALL BASE IS REQUIRED - FINISH TO MATCH ADJACENT IN MATERIAL, COLOR, HEIGHT, FINISH AND PROFILE.
- DO NOT PAINT PRE-FINISHED ITEMS, FACE BRICK, AND TILE FINISHES.
- ALL TRANSITIONS BETWEEN DISSIMILAR FLOORING MATERIALS ARE TO RECEIVE A NEW TRANSITION STRIP - REFER TO DETAIL 2/A9.10.

FINISH LEGEND

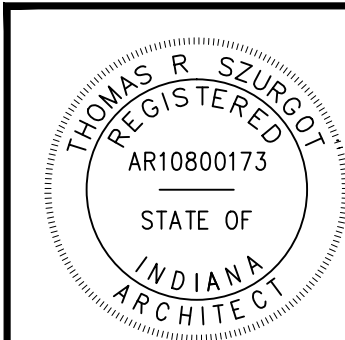
EXPOSED SEALED CONCRETE - REFER TO SPECIFICATION



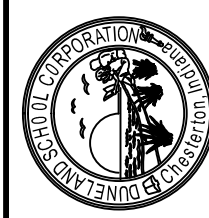
2 TI - TRANSITION DETAIL
3" = 1'-0"



KEY PLAN
NOT TO SCALE



DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304



PROJECT NUMBER: TI-003	REVISIONS:
PROJECT MANAGER: MNG	1
DRAWN BY: FAN	2
BASED FOR BID AND PERMIT: 06/01/2018	3
PARTIAL FIRST FLOOR FINISH PLAN	4

TRIA
ARCHITECTURE

Miles Engineering Group
1711 W. WINDYBROOK DR. A
MUNSTER, INDIANA 46341
REGISTERED PROFESSIONAL ENGINEER
(P) 783.443.000
(F) 783.443.001

McMAHON
100 SOUTH STATE ROAD 2
MUNSTER, INDIANA 46341
REGISTERED PROFESSIONAL ENGINEER
(P) 78.46.7143
(F) 78.46.4549

GreenbergFarrow
21 SOUTH PERSHING AVE. 2ND
MUNSTER, INDIANA 46341
REGISTERED PROFESSIONAL ENGINEER
(P) 84.1.108.3300

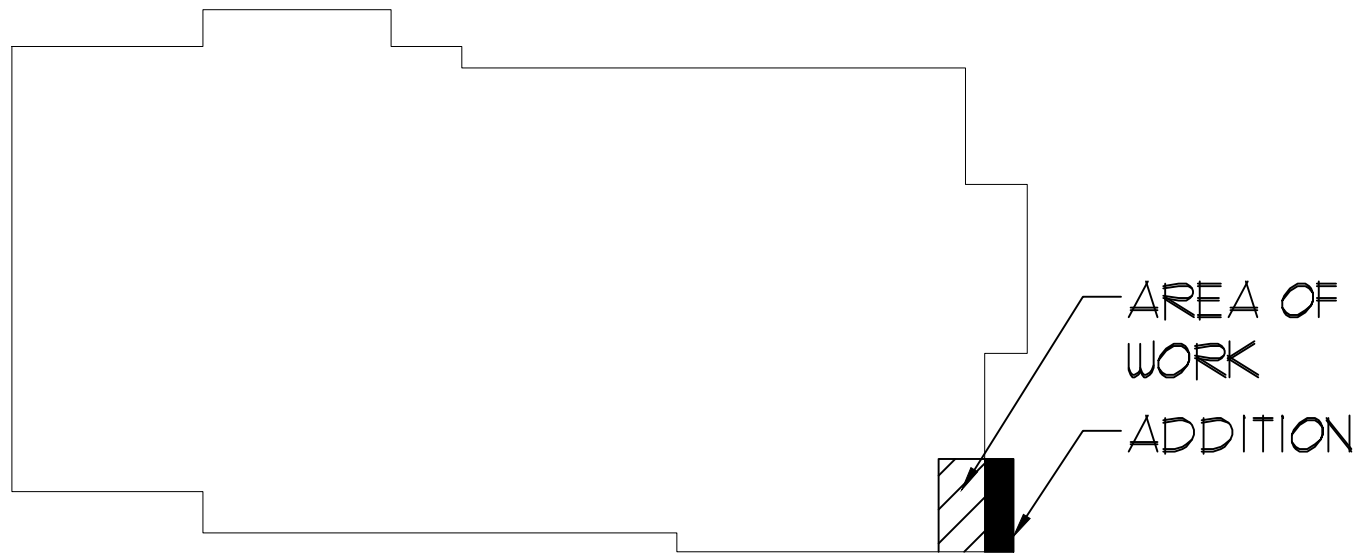
A9.10

ROOM FINISH SCHEDULE													
ROOM NO	ROOM NAME	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING	FLOORING	ROOM SIGN TYPE	REFERENCED NOTES
		WALL FINISH	WALL BASE	WALL FINISH	WALL BASE	WALL FINISH	WALL BASE	WALL FINISH	WALL BASE				
FIRST FLOOR													
A-131	STORAGE	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	SAT-1	EXP	-	1, 2, 4
C-100	STORAGE	PT-1	RBB-1	PT-1	RBB-1	PT-1	RBB-1	ETR	RBB-1	EXP/ PT-2	CONC	-	3, 4, 5

FINISH LEGEND	
PT-1	PAINT COLOR 1 (FIELD COLOR)
PT-2	PAINT COLOR 2 (EXPOSED METAL DECK AND STRUCTURE PAINT)
CONC	SEALED CONCRETE
EXP	EXPOSED STRUCTURE - PAINT
ETR	EXISTING TO REMAIN
RBB-1	RUBBER BASE BASE COLOR 1
SAT-1	SUSPENDED ACOUSTICAL TILE CEILING SYSTEM TYPE 1

ROOM FINISH REFERENCED NOTES	
1.	REPAIR AND PAINT NEWLY EXPOSED AREAS OF WALL WHERE EXISTING SHELVING/CASEWORK WERE REMOVED.
2.	AT WALL PATCHING - MASONRY IS TO BE TOOTHED-IN IN WHOLE UNITS - PAINT ALL NEW AND EXISTING MASONRY.
3.	PAINT ALL EXPOSED DECK, STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION UNLESS NOTED OTHERWISE.
4.	PROVIDE RUBBER BASE AT MASONRY WALL CONSTRUCTION (NEW AND EXISTING).
5.	DO NOT PAINT EXISTING CONCRETE PANEL WALL.

ROOM FINISH GENERAL NOTES	
1.	ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS.
2.	REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3.	REFER TO FLOOR PLANS AND WALL TYPES FOR WALL CONSTRUCTION.
4.	REFER TO REFLECTED CEILING PLANS FOR CEILING CONSTRUCTION.
5.	ALL FINISHES, FURNITURE, AND EQUIPMENT ARE TO BE PROTECTED DURING WORK.
6.	ALL EXPOSED NEW CONSTRUCTION (LISTED IN THE SCHEDULE OR NOT) SHALL BE PAINTED, EXCEPT FOR PREFINISHED MATERIALS, UNLESS NOTED OTHERWISE.
7.	ALL EXISTING CONSTRUCTION ON SURFACES LISTED IN SCHEDULE, EXCEPT FOR PREFINISHED ITEMS OR FOR SURFACES LISTED AS EXISTING TO REMAIN, SHALL BE PAINTED UNLESS NOTED OTHERWISE.
8.	ALL EXISTING PAINTED SURFACES IMMEDIATELY ADJACENT TO AREAS AFFECTED BY CONSTRUCTION SHALL BE PAINTED AS NEEDED TO BLEND NEW CONSTRUCTION INTO EXISTING AND TO TOUCH-UP DAMAGED PAINT SURFACES ON EXISTING SURFACES.
9.	ALL EXPOSED PIPING, DUCTWORK ELECTRICAL CONDUIT, SPRINKLER PIPING, AND ALL OTHER EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS TO BE PAINTED UNLESS NOTED OTHERWISE.
10.	ALL EXPOSED STRUCTURAL SURFACES INCLUDING, BUT NOT LIMITED TO, FRAMING, DECKING, LINTELS ETC. SHALL BE PAINTED UNLESS NOTED OTHERWISE.
11.	ALL EXISTING HOLLOW METAL DOORS AND FRAMES (ALL EXPOSED FACES) TO BE PAINTED, PT-4.
12.	AT ALL DOORS AND FRAMES INSTALLED IN EXISTING WALL CONSTRUCTION - PATCH AND PAINT EXISTING WALL, JAMB AND HEAD SURFACES AFTER FRAME INSTALLATION.
13.	AT ALL LOCATIONS OF EXISTING EQUIPMENT, CASEWORK, OR FURNISHINGS TO BE REMOVED, PAINT THE EXISTING WALL CONSTRUCTION EXPOSED BY REMOVAL OF THESE ITEMS TO MATCH EXISTING ADJACENT WALL FINISHES.
14.	DO NOT PAINT PREFINISHED ITEMS (FACE BRICK, FIRE ALARM DEVICES, TILE FINISHES, ETC.).
15.	ALL FLOORING SHALL BE STABLE, FIRM AND SLIP-RESISTANT AND SHALL COMPLY WITH THE STATE OF INDIANA ACCESSIBILITY CODE.
16.	ALL FLOOR DRAINS, CLEANOUT COVERS AND ELECTRICAL FLOOR DEVICES ARE TO BE FLUSH WITH FINISHED FLOORING. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
17.	TRANSITIONS IN FLOOR FINISHES, COLORS, OR PATTERNS ARE TO OCCUR AT THE CENTER OF DOORS UNLESS NOTED OTHERWISE.
18.	ALL TRANSITIONS BETWEEN FLOORING MATERIALS TYPES ARE TO RECEIVE A TRANSITION STRIP.
19.	FLOOR FINISHES INDICATED IN SCHEDULE SHALL CONTINUE UNDER ALL FIXTURES, EQUIPMENT, AND CASEWORK UNLESS NOTED OTHERWISE.
20.	PROVIDE WALL BASE AT ALL LOCATIONS OF NEW FLOOR FINISH OR NEW WALL CONSTRUCTION - UNLESS NOTED OTHERWISE.



KEY PLAN
NOT TO SCALE



PROJECT NUMBER: IT-003	REVISIONS:
PROJECT MANAGER: HMG	1
DRAWN BY: PSN	2
DATE FOR BID AND PERMIT: 06/01/2018	3
ROOM FINISH SCHEDULE AND NOTES	

A9.50

DUNELAND SCHOOL CORPORATION
2018 ADDITION AT:
BRUMMITT ELEMENTARY SCHOOL
2500 INDIAN BOUNDARY ROAD CHESTERTON, INDIANA 46304



Miles Engineering Group
1711 WINDYBROOK AVE
MUNSTER, INDIANA 46341
TEL: (219) 338-1000
FAX: (219) 338-1001

McMAHON
1802 SOUTH STATE ROAD 2
WESTMONTA, INDIANA 46383
TEL: (219) 464-4549
FAX: (219) 464-4548

GreenbergFarrow
11 SOUTH PERSHING AVE
MILWAUKEE, WISCONSIN 53233
TEL: (414) 188-3300
FAX: (414) 188-3301

TRIA
ARCHITECTURE